

Expectations of Councillors

Councillors must ensure that:

- a) Where appropriate, make sure stakeholders have an opportunity to be heard about decisions that affect them;
- b) They do not make allegations to or about other Councillors or members of the public which are defamatory, slanderous, derogatory or discriminatory;
- c) They behave in a manner that is free from discrimination, bullying or harassment;
- d) Comply with Council's policies and procedures relating to appropriate workplace behaviour including but not limited to discrimination, bullying and harassment;
- e) They listen to and respect each other's views in Council and committee meetings and any other proceedings of the Council, and make certain that issues, not personalities, are the focus of debate;
- f) They refrain from directing council staff, other than giving appropriate direction to the General Manager in the performance of the Council's functions by way of Council or committee resolution, or by the Mayor exercising his or her functions under Section 27(1(ba)) of the *Local Government Act*;
- g) They refrain from, in any public or private forum, directing or influencing, or attempting to direct or influence, any other member of the staff of the Council or a delegate of the Council, in the exercise of the functions of the member or delegate; and
- h) They refrain from contacting an employee of the Council unless in accordance with procedures governing the interaction of Councillors and Council employees that have been authorised by the General Manager.

Supporting examples

- 1) Councillors should show respect to all other Councillors, even if they hold different views and not try to change a view through intimidation or bullying.
- 2) Councillors should respect the impartiality and integrity of Council staff and behave towards them in a way that engenders mutual respect.
- 3) Councillors should treat all employees with courtesy and respect and observe any guidelines that the General Manager puts in place regarding contact with employees.
- 4) Councillors must not victimise another councillor for having made a complaint.
- 5) Councillors must not verbally attack another Councillor personally, only their views should be challenged in a rational and dignified manner.
- 6) When referring to other Councillors in a public forum, including electronic forms of communication, Councillors should be conscious of how their comments will be perceived. Councillors should ask themselves what a reasonable observer would think.

13. STANDARD OF CONDUCT 8 – REPRESENTATION OF THE COUNCIL

~~We all must be conscious of what is being said on behalf of Council, and who is saying it.~~

~~Only the Mayor may make media or public comment on behalf of the Council except where other arrangements have been agreed to. Councillors are permitted to make public comment on behalf of the Council when authorized to do so by the Mayor.~~

~~Councillors must ensure that when representing the Council they only do so within the ambit of their authority. Furthermore, councillors must make clear when a personal opinion, as opposed to a Council policy or decision, is being discussed.~~

~~Councillors, as members of the community, have the right to enter into public debate on political, professional and social issues. Care must be taken, however, to make sure that such comments cannot be seen as official comment on behalf of the Council.~~

Comment [ALM24]: This information has been summarised under Expectations of Councillors below.

Expectations of Councillors

Councillors must ensure that:

- a) When giving information to the community, they accurately represent the policies and decisions of the Council;
- b) They do not speak on behalf of the Council unless they have been specifically authorised or delegated by the Mayor;
- c) They clearly indicate when they are putting forward personal views;
- d) They do not knowingly misrepresent information they have obtained in the course of their duties; and
- e) When representing Council on external bodies, they make efforts to clearly understand the basis of the appointment and be aware of the ethical and legal responsibilities attached to such appointment.

Supporting example

The Mayor is spokesperson of Council. This does not mean that councillors cannot express a particular view, however, Councillors must report on Council's policies and decisions accurately and clearly distinguish between their personal views and the official position of the Council.

~~14. EXPENSES~~

~~Council accepts that Councillors will incur expenses in the performance of their public duties and undertakes to meet those costs and make appropriate reimbursement in accordance with any policy. Councillors should only claim or accept travelling and sustenance expenses related to matters which have a direct bearing on the services, policies or business of the council.~~

Comment [ALM25]: This section has been removed as it is covered in Policy 4 – Councillors Allowances, Travel and Other Expenses

~~15. CORRUPTION, MALADMINISTRATION, SERIOUS & SUBSTANTIAL WASTAGE~~

~~Tell someone if you know of 'something funny' going on.~~

~~Our Council is committed to maintaining high ethical standards. It is everyone's responsibility to not only act honestly but to report any instances of possible corruption, maladministration or serious and substantial wastage. Anyone who acts in an unethical manner can damage the reputation of not only the Council but its Councillors and employees.~~

~~Councillors also have an obligation to report any suspected breaches of the Code of~~

~~Conduct. They shall, however, refrain from making allegations at open council meetings.~~

~~You can report suspected instances to the General Manager or the Mayor.~~

~~Council is committed to ensuring that Councillors are not victimised as a result of reporting. All Councillors who report corrupt conduct, maladministration or substantial waste will be treated fairly.~~

~~Any matter reported will be handled confidentially, and Councillors will be advised of the result of any investigation. Please note, though, that allegations or complaints that are proven to be vexatious and/or malicious is in breach of this Code of Conduct.~~

Comment [ALM26]: This section has been removed as it is outside of the objective of the Code of Conduct – reporting a breach of the Code is covered in Sections 5 and 14.

14. BREACHES OF THE CODE

The primary responsibility for compliance with the Code of Conduct lies with each user.

In accordance with *Regulation 22B of the Local Government (General) Regulations 2005*, a complaint regarding the alleged failure of a Councillor to comply with any provision of this code of conduct for Councillors must:

- (a) *be in writing; and*
- (b) *be lodged with the mayor (or the deputy mayor if the complaint relates to the mayor; and*
- (c) *be lodged within 90 days after the alleged failure to comply with the code of conduct; and*
- (d) *contain particulars of the alleged failure; and*
- (e) *identify the complainant; and*
- (f) *be accompanied by the fee of 20 fee units (as specified in item 4 of Schedule 3), in accordance with S28F of the Local Government Act 1993*

Complaints about failures of a Councillor to comply with any provision of the Code of Conduct for Councillors will be referred to a Code of Conduct Panel or a Standards Panel in accordance with *sections 28F to 28I of the Local Government Act 1993 and Regulations 22A to 22U of the Local Government (General) Regulations 2005*.

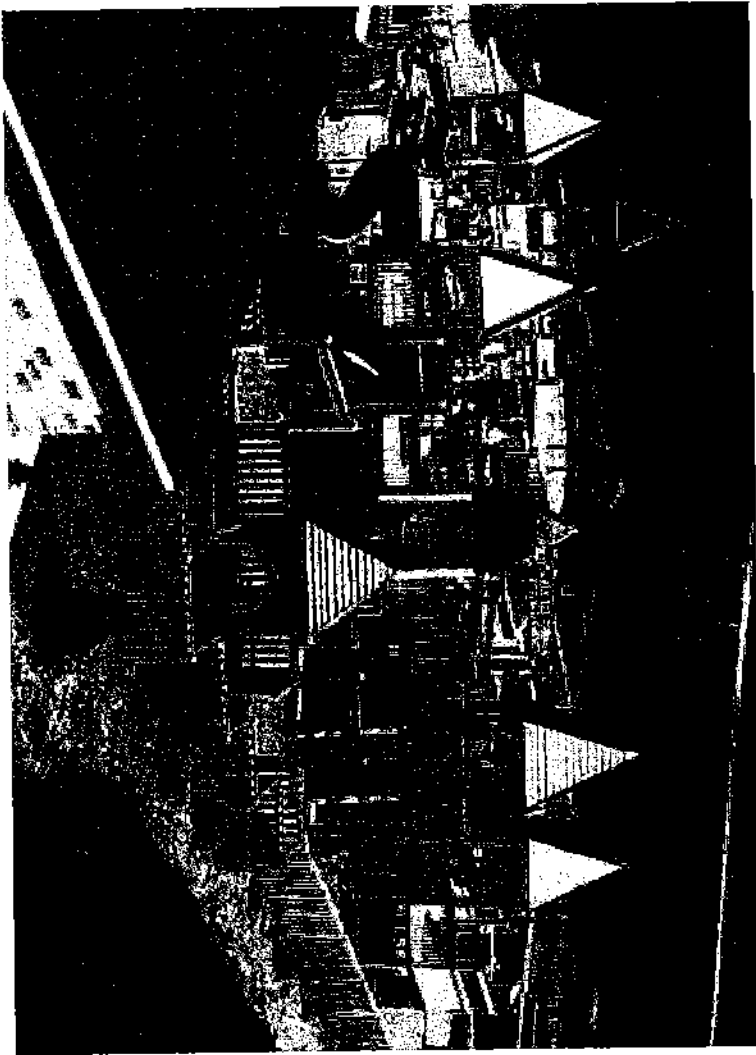
Where breaches of this code also constitute breaches of legislation, penalties may be imposed by legislation and any breach or complaint will be referred to the statutory authority for the relevant Act. Being found guilty of an offence may, in some instances, also lead to a Councillor being disqualified from holding office.

In all cases where a criminal offence has been committed the matter will be referred to the police.

15. REVIEW

This Policy is due for review by Council within 12 months of the next ordinary Council election which is due to be held in 2018.

Longford Play Space



Community

- More and more parents do not provide play spaces for children at their homes instead they rely on public space for children's outdoor play.
- NMC can help children in this community to develop important life skills through play by providing them with a play space that meets all five areas of well being.

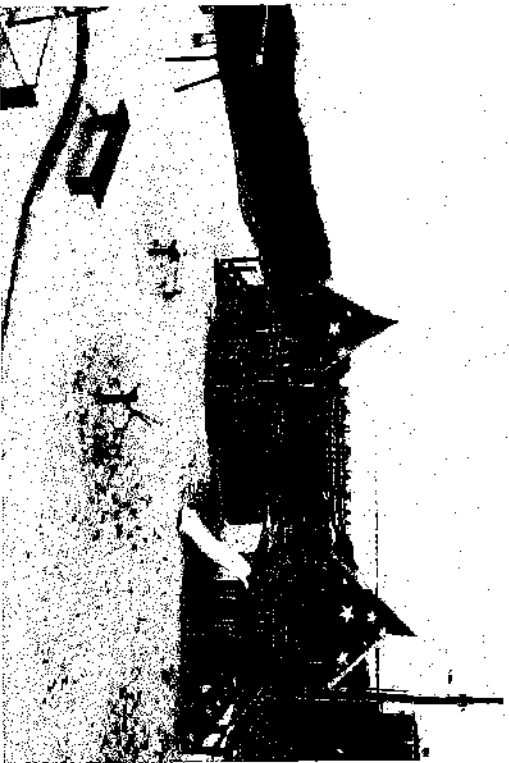
- Social - Relationships
- Emotional – positive self development
- Cognitive - creativity
- Spiritual - connectedness
- Physical – physical activity



Tourism

- An amazing play space would attract people to Longford from surrounding suburbs and tourists by;
 - Children wanting and asking to come play in the play space
 - Advertising on the NMC website
 - Signage to the play space
 - Free play space for children's birthday parties.

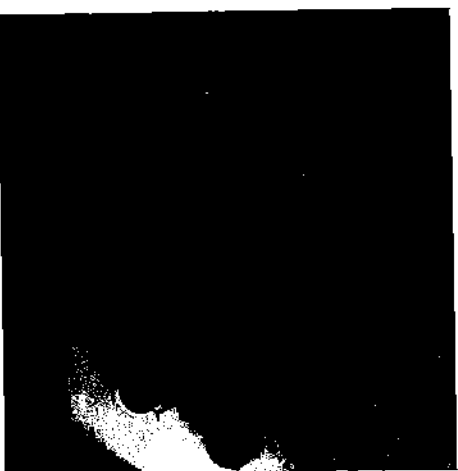
1-206



Play Spaces

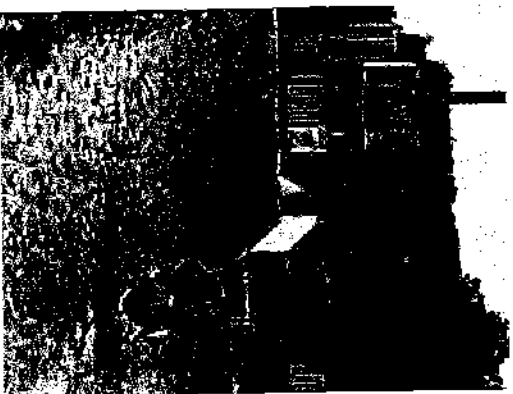
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- Recently a study was undertaken in Launceston 'Children's views on play spaces' this report provides some fantastic information for anyone developing a play space from a child's perspective.
- Communication with other councils in Tasmania and Victoria has provided some great contacts and information on developing a successful play space.



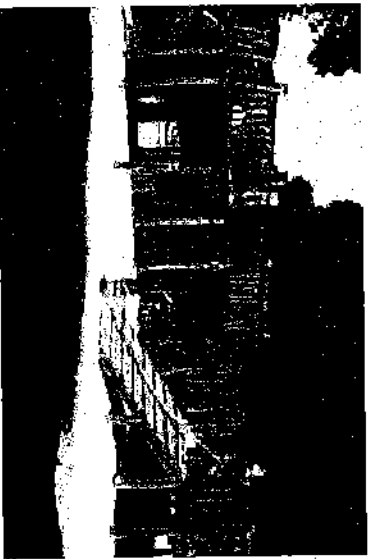
Ideas

- Incorporate a local theme
 - Agriculture
 - Car racing
 - River boating
 - Town history



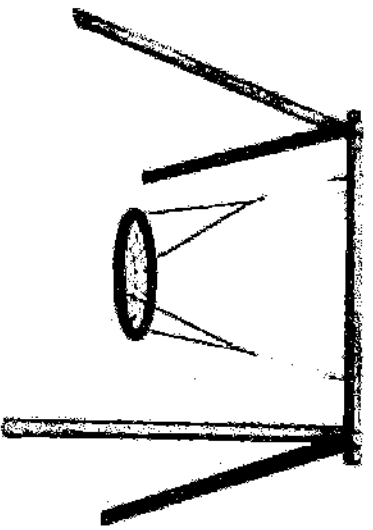
Cost

- So far this has not been looked into besides getting some rough figures from other councils and playground companies.
- Council support needs to be gained before this project will go any further
- Community fundraising?
- Community build – people with different skills within the community come along and help build the park, this also encourages community ownership of the park.
- Community grants could be looked at if there where any available at the time.



Where to from here

- Gain council support
- Put together a working group
- Seek funding options and decide on budget



Key to Success

- The key to developing a play space in Longford that would attract people to the area is to have something different that cannot be found elsewhere.
- The report that was undertaken in Launceston has given NIMC the information needed to create something unique and special for the area which will lead to successful outcome.



CORP 1

Northern Midlands Council
Bank Reconciliation as at 31 May 2015

Summary of Cash Transactions	May-15	Year to Date
Opening Balance	10,332,614.67	7,249,091.04
Add: Receipts	1,619,534.30	17,404,880.00
	11,952,148.97	24,653,971.04
Less: Payments	1,466,293.23	14,168,115.30
Closing Balance all Accounts	<u>\$10,485,855.74</u>	<u>\$10,485,855.74</u>

Summary of Investments and Other Balances as at 31 May 2015

Bank Balances and Cash	
Trading Accounts	1,001,223.64
Fixed Deposits	9,488,867.23
24 hr At Call Account	4,999.78
Cash Advances	600.00
	<u>10,495,690.65</u>
Unbanked collections	-
	<u>10,495,690.65</u>
Less	
Unpresented Cheques	9,834.91
Closing Balance all accounts	<u>\$10,485,855.74</u>

Northern Midlands Council

Schedule of Investments as at 31 May 2015

External Investments	Investment Date	Maturity Date	Interest Rate% (note 1)	Purchase Price (note 2)	Maturity Value (note 2)
Tasmanian Public Finance Corporation - Call Account	6/05/2015	31/05/2015	2.00	5,000	5,007
Commonwealth Bank - 24hr Call Account	6/05/2015	31/05/2015	1.90	504,990	505,647
Commonwealth Bank - Term Deposit	4/05/2015	4/06/2015	2.35	1,000,000	1,001,996
Commonwealth Bank - Term Deposit	18/05/2015	17/07/2015	2.50	1,500,000	1,506,164
ANZ Term Deposit	12/03/2015	12/09/2015	2.90	1,055,457	1,070,887
Westpac Banking Corporation	12/03/2015	14/09/2015	2.81	1,658,772	1,682,525
Bass & Equitable - Term Deposit	25/05/2015	23/11/2015	2.70	1,371,516	1,389,981
ANZ Term Deposit	14/05/2015	14/05/2016	2.80	1,277,499	1,313,367
Myl State Financial - Term Deposit	25/05/2015	25/05/2016	3.30	1,120,633	1,157,715
Total Investments				9,493,867	9,633,289
Actual Interest Earnings Year to Date:				296,791	

note 1 - For the Tasmanian Public Finance Corp and CBA Call Accounts, Interest Rate is Variable, the interest rate shown represents the rate for the month ending at the date of the statement.

note 2 - The Tasmanian Public Finance Corporation and CBA Call Accounts are shown at its value at the date of the statement, as term and interest rate are not fixed a maturity value can't be determined.

NORTHERN MIDLANDS COUNCIL

Summary of Rates and Charges Levied, Remitted and Collected as at 31 May 2015

	This Financial Year 31-May-15	to	Last Financial Year 31-May-14
Arrears bought forward 1 July	933,430.68		356,670.64
ADD Current Rates Levied including Supplementary Lists and Penalties	9,096,311.81		8,795,635.31
Gross Rates and Charges Demanded	<u>10,029,742.49</u>	-	<u>9,152,305.95</u>
LESS Rates and Charges Collected	86.11%		85.10%
LESS Remissions and Discounts	5.25%		5.58%
Total Credits	<u>91.35%</u>		<u>90.67%</u>
UNPAID RATES AND CHARGES TO 31 MAY 2015	8.65%		9.33%
	\$ 867,279.01		\$ 853,525.69
Variance from last year	-0.68%		

Northern Midlands Council Account Management Report

Income & Expenditure Summary for the Period Ended 31 May 2016 (92% of Year Completed)

Line Item Summary/ Totals	Operating Statement		Corporate Services		Economic & Community Dev		Planning & Development		Works		Total Operating Statement		% of Budget
	2014/15 Budget	2014/15 Actual	2014/15 Budget	2014/15 Actual	2014/15 Budget	2014/15 Actual	2014/15 Budget	2014/15 Actual	2014/15 Budget	2014/15 Actual	2014/15 Budget	2014/15 Actual	
Wages	301,338	270,346	489,463	418,840	479,793	374,361	605,466	496,172	1,384,305	1,076,846	3,250,385.00	2,636,585.00	81.12%
Material & Services Expenditure	361,990	325,239	386,804	344,929	242,743	179,677	276,133	283,329	3,233,104	2,786,052	4,490,894.00	3,904,125.00	86.87%
Depreciation Expenditure	48,220	42,550	46,570	46,620	70,130	63,690	16,220	13,960	4,412,120	4,034,980	4,596,440.00	4,201,670.00	91.41%
Government Levies & Charges	61,360	57,643	619,536	538,374	12,460	6,806	0	296	78,310	66,040	671,656.00	659,159.00	99.63%
Councillors Expenditure	191,290	146,650	0	0	0	0	0	0	0	0	191,290.00	146,650.00	76.14%
Other Expenditure	218,480	214,209	409,320	402,110	154,229	79,467	17,200	20,275	133,676	94,766	982,915.00	810,847.00	82.52%
Internal Plant Hire/Rental	130,134	116,258	201,787	182,806	75,672	56,548	245,188	190,693	610,049	388,218	1,162,810.00	914,328.00	78.65%
Internal Rental/Rates	290	13,156	10,770	16,569	18,110	14,615	65,080	57,749	11,330	0	12,220.00	0.00	0.00%
Other Internal Transfers Expenditure	0	1,293	6,504,214	5,900,094	18,000	16,740	0	0	25,910	24,990	6,549,124.00	5,942,517.00	90.75%
Oncoast Paid - Payroll	52,993	28,542	91,916	121,539	79,813	121,101	116,565	215,924	246,952	321,522	586,199.00	806,626.00	137.48%
Oncoast Paid - Non Payroll	85,746	60,577	126,728	111,519	127,942	97,310	173,742	138,988	389,896	310,358	864,054.00	719,252.00	81.36%
Plant Expenditure Paid	13,770	9,193	4,800	4,365	20,940	12,373	25,000	23,432	581,650	434,407	646,050.00	483,770.00	74.88%
Loss on Sale of Fixed Assets	0	0	0	0	0	4,478	0	0	450,000	17,738	450,000.00	22,218.00	4.94%
13	1,491,441	1,284,955	8,777,648	8,088,565	1,299,752	1,027,066	1,540,654	1,419,824	12,254,942	10,301,357	25,364,337	22,101,467	87.14%
Rate Revenue	0	0	(8,466,946)	(8,304,956)	0	0	(22,089)	(22,089)	(649,969)	(657,147)	(9,139,034.00)	(8,984,192.00)	98.31%
Recipients Grant Revenue	(2,182)	(2,182)	(1,520,357)	(1,813,365)	(250,870)	(255,636)	0	0	(2,345,000)	(2,313,216)	(4,418,609.00)	(4,384,398.00)	99.23%
Fees and Charges Revenue	(100)	0	(186,982)	(196,912)	(343,998)	(312,046)	(555,635)	(512,031)	(395,984)	(263,662)	(1,472,709.00)	(1,284,651.00)	87.23%
Interest Revenue	(285,000)	(155,546)	(59,771)	(112,120)	0	0	0	0	0	0	(344,771.00)	(267,686.00)	77.64%
Reimbursements Revenue	(2,583)	(621)	(38,074)	(27,211)	(29,710)	(40,873)	(25,800)	(25,800)	(12,601)	(37,217)	(37,217.00)	(37,217.00)	100.00%
Oncoast Recoveries - Internal Tier	(120,965)	(99,262)	(201,447)	(179,434)	(75,492)	(54,082)	(289,404)	(190,829)	(607,916)	(505,404)	(1,274,226.00)	(1,029,011.00)	80.76%
Plant Hire Income - Internal Tier	(20,000)	(16,156)	(10,760)	(14,480)	(18,120)	(13,058)	(40,000)	(59,548)	(1,024,170)	(974,986)	(1,112,990.00)	(1,076,626.00)	96.91%
Other Internal Transfers Income	(32,824)	(30,124)	(94,408)	(49,908)	(631,036)	(532,536)	(712,278)	(648,481)	(5,117,565)	(4,720,252)	(6,588,124.00)	(5,987,368.00)	90.79%
Other Revenue	(767,780)	(403,861)	(7,515)	(51,784)	0	(15,256)	(12,000)	(11,461)	(63,065)	(205,405)	(860,369.00)	(667,767.00)	80.88%
	(1,231,404)	(707,752)	(10,886,470)	(10,750,170)	(1,349,226)	(1,223,487)	(1,636,204)	(1,470,704)	(10,208,257)	(9,677,289)	(25,308,661)	(23,829,401)	94.15%
Operating (Surplus) / Deficit Before	260,037	576,903	(2,108,822)	(2,681,605)	(49,474)	(196,421)	(95,560)	(50,880)	2,048,585	624,069	54,776	(1,727,934)	
Capital Grant Revenue	0	0	0	0	0	483	0	0	(715,000)	(793,617)	(715,000)	(793,134)	
Subdivider Contributions	0	0	0	0	0	0	0	0	(350,000)	0	(350,000)	(350,000)	
Gain on sale of Fixed Assets	0	(142,102)	0	0	0	0	0	0	0	0	0	(142,102)	
	0	(142,102)	0	0	0	483	0	0	(1,065,000)	(793,617)	(1,065,000)	(935,236)	
Operating (Surplus) / Deficit	260,037	434,801	(2,108,822)	(2,681,605)	(49,474)	(195,938)	(95,560)	(50,880)	933,585	(169,548)	(1,010,224)	(2,663,170)	



NORTHERN
MIDLANDS
COUNCIL

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	Annual Budget %
Capital Expenditure - Governance					
Fleet, Plant & Equipment					
700009 Fleet - F9 Mazda CX7	\$15,000	\$13,750	\$0	\$15,000	0%
700183 Fleet - F183 General Managers Vehicle	\$15,000	\$13,750	\$39,215	-\$24,215	261%
780006 Gov - Office Equipment Purchases	\$8,100	\$7,420	\$11,214	-\$3,114	138%
780016 Gov - SES Campbell Town Equipment	\$0	\$0	\$4,100	-\$4,100	0%
780027 Gov - Wireless Access Point Establishment Longford	\$0	\$0	\$5,458	-\$5,458	0%
Total Fleet, Plant & Equipment	\$38,100	\$34,920	\$59,986	-\$21,886	157%
Total Capital Expenditure - Governance	\$38,100	\$34,920	\$59,986	-\$21,886	157%
Grand Total	\$38,100	\$34,920	\$59,986	-\$21,886	157%

1-216



NORTHERN
MIDLANDS
COUNCIL

Northern Midlands Council
Account Management Report
for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
Capital Expenditure - Corporate Services					
Equipment & Buildings - Corporate Services					
707914 Ross - Restoration of Godfrey Rivers Painting	\$500	\$460	\$25,000	-\$24,500	5000%
707915 Clown - Restoration of Godfrey Rivers Painting	\$5,000	\$4,580	\$25,000	-\$20,000	500%
715300 Corp - Computer System Upgrade	\$158,450	\$145,250	\$51,070	\$107,380	32%
715310 Corp - Purchase Office Equipment	\$1,900	\$1,740	\$1,771	\$129	93%
720112 Corp - Office Redevelopment Council Chambers	\$200,000	\$183,330	\$59,310	\$140,690	30%
Total Equipment & Buildings - Corporate Services	\$365,850	\$335,360	\$162,151	\$203,699	44%
Total Capital Expenditure - Corporate Services	\$365,850	\$335,360	\$162,151	\$203,699	44%
Grand Total	\$365,850	\$335,360	\$162,151	\$203,699	44%

1-217



NORTHERN
MIDLANDS
COUNCIL

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	Annual Budget %
Capital Expenditure - Economic & Community Develop					
Equipment & Buildings					
750202 Ec & Comm Dev - Sports Centre Equipment Purchases / Improvements	\$20,000	\$18,330	\$3,885	\$16,115	19%
780025 Ec & Comm Dev - Purchase of Office Equipment	\$0	\$0	\$0	\$0	0%
791097 Rural & Remote Child Care - Office Equipment	\$0	\$0	\$1,015	-\$1,015	0%
791098 Perth Child Care - Office Equipment	\$0	\$0	\$322	-\$322	0%
Total Equipment & Buildings	\$20,000	\$18,330	\$5,222	\$14,778	26%
Fleet					
700008.7 Fleet 8.7 - Care A Car	\$22,500	\$20,620	\$22,508	-\$8	100%
Total Fleet	\$22,500	\$20,620	\$22,508	-\$8	100%
Child Care					
707901 Cry - Childcare Footpath to Back Door	\$1,000	\$920	\$3,154	-\$2,154	315%
707907 Pth - Childcare Centre Rubber Soft Fall	\$14,000	\$12,830	\$13,720	\$280	98%
Total Child Care	\$15,000	\$13,750	\$16,874	-\$1,874	112%
Total Capital Expenditure - Economic & Community	\$57,500	\$52,700	\$44,605	\$12,895	78%
Grand Total	\$57,500	\$52,700	\$44,605	\$12,895	78%



NORTHERN
MIDLANDS
COUNCIL

Northern Midlands Council
Account Management Report
for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
Capital Expenditure - Planning & Development					
Fleet, Plant & Equipment					
700006 Fleet - F6 Building Inspectors Vehicle	\$15,000	\$13,750	\$0	\$15,000	0%
715330 Fleet - Purchase of Office Equipment	\$0	\$0	\$1,772	-\$1,772	0%
Total Fleet, Plant & Equipment	\$15,000	\$13,750	\$1,772	\$13,228	12%
Total Capital Expenditure - Planning & Development					
Grand Total	\$15,000	\$13,750	\$1,772	\$13,228	12%

1-219

Northern Midlands Council Account Management Report for year to May 2015

Capital Expenditure - Works Department

Fleet, Plant & Depot

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
700005 Fleet - F5 Works Supervisors Vehicle	\$0	\$0	\$795	-\$795	0%
700015 Fleet - F15 Light Truck	\$2,310	\$2,120	\$0	\$2,310	0%
700021 Fleet - F21 Utility	\$20,000	\$18,330	\$80	\$19,920	0%
700029 Fleet - F29 Utility	\$20,000	\$18,330	\$80	\$19,920	0%
700030 Fleet - F30 Flocon	\$200,000	\$183,330	\$0	\$200,000	0%
700035 Fleet - F35 Street Sweeper	\$120,000	\$110,000	\$0	\$120,000	0%
700038 Fleet - F38 Light Truck	\$20,000	\$18,330	\$80	\$19,920	0%
700053 Fleet - F53 Backhoe	\$3,085	\$2,825	\$0	\$3,085	0%
700055 Fleet - F55 Float for Backhoe	\$8,385	\$7,685	\$10,695	-\$2,310	128%
700059 Fleet - F59 Forklift	\$0	\$0	\$0	\$0	0%
700109 Fleet - F109 Ride on Mower Reserves North	\$14,000	\$12,830	\$0	\$14,000	0%
700196 Fleet - F196 Zero Turn Mower	\$9,450	\$8,660	\$9,450	\$0	100%
700197 Fleet - F197 Slasher	\$40,485	\$37,115	\$10,485	\$30,000	26%
700198 Fleet 198 - John Deere Gator	\$0	\$0	\$0	\$0	0%
707848 Lfd - Hay Sil Depot Improvements	\$20,000	\$18,330	\$3,248	-\$3,248	0%
708320 Works - Purchase Small Plant	\$20,000	\$18,330	\$8,556	\$11,444	43%
708200 Works - Longford Depot Improvements	\$10,000	\$9,170	\$12,583	\$7,417	63%
720201 Works - Clown Depot Improvements	\$10,000	\$9,170	\$21,145	-\$11,145	211%
Total Fleet, Plant & Depot	\$507,715	\$465,385	\$77,197	\$430,518	15%

Recreation

707774 Evan - Lamp Posts Main Street	\$25,000	\$22,920	\$0	\$25,000	0%
707792 Lfd - Recreation Ground Raw Water Watering System	\$5,000	\$4,580	\$0	\$5,000	0%
707793 Lfd - Rec Ground/Little Aths Ground and Facility	\$17,000	\$15,580	\$13,025	\$3,975	77%
707801 Rec - Private Power Poles All Areas	\$20,000	\$18,330	\$1,610	\$18,330	8%
707814 Rec - Street Tree Program All Areas	\$100,000	\$91,670	\$14,069	\$85,931	14%
707855 Lfd - Town Entrance Access Road and Landscaping	\$10,000	\$9,170	\$12,469	-\$2,469	125%
707883 Evan - Falls Park Sewer Dump Point	\$0	\$0	\$0	\$0	0%
707910 Rec - Topdressing Recreation Ground	\$6,000	\$5,500	\$2,300	\$3,700	38%
707912 Rec - Playground Development	\$50,000	\$45,830	\$15,494	\$34,506	31%
707913 Cry - Recreation Ground Sewer Dump Point	\$0	\$0	\$0	\$0	0%
707917 Cry - Boat Ramp Proposal	\$5,000	\$4,580	\$5,150	-\$150	103%
707918 Evan - Moiven Park Sewer Dump Point Screening	\$3,000	\$2,750	\$0	\$3,000	0%
707919 Evan - War Memorial Hall Grounds Monument and Murral	\$0	\$0	\$22,000	-\$22,000	0%
751506 Evan - Parking Area Reconstruction Morven Park	\$60,000	\$55,000	\$57,571	\$2,429	96%
Lfd - Village Green to Mill Dam Project					
707789 Lfd - Village Green to Mill Dam Project	\$100,000	\$91,670	\$4,809	\$95,191	5%
707789.67 Lfd - Village Green to Mill Dam Project - St Georges Sq Footpaths	\$0	\$0	\$1,309	-\$1,309	0%
Total Lfd - Village Green to Mill Dam Project	\$100,000	\$91,670	\$6,117	\$93,883	6%
Total Recreation	\$401,000	\$367,580	\$149,805	\$251,195	37%

Buildings

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
707805	\$3,500	\$3,210	\$4,927	-\$1,427	141%
707847	\$10,000	\$9,170	\$9,091	\$909	91%
707849	\$5,000	\$4,580	\$1,944	\$3,056	39%
707871.1	\$30,000	\$27,500	\$51,998	-\$21,998	173%
707877	\$45,000	\$41,250	\$523	\$44,477	1%
707880	\$50,000	\$45,830	\$34,516	\$15,384	69%
707887	\$261,802	\$239,982	\$276,673	-\$14,871	106%
707887.5	\$80,000	\$73,330	\$113,986	-\$33,986	142%
707895	\$5,000	\$4,580	\$0	\$5,000	0%
707897	\$38,234	\$35,054	\$16,607	\$21,627	43%
707899	\$45,000	\$41,250	\$30,704	\$14,296	68%
707902	\$30,000	\$27,500	\$2,296	\$27,704	8%
707903	\$15,000	\$13,750	\$9,644	\$5,356	64%
707904	\$15,000	\$13,750	\$23,719	-\$8,719	158%
707905	\$20,000	\$18,330	\$11,944	\$8,056	60%
707906	\$100,000	\$91,670	\$69,437	\$30,563	69%
707908	\$12,000	\$11,000	\$0	\$12,000	0%
707909	\$0	\$0	\$0	\$0	0%
707911	\$20,000	\$18,330	\$19,010	\$990	95%
715255	\$50,000	\$45,830	\$23,357	\$26,643	47%
715350	\$107,535	\$98,575	\$0	\$107,535	0%
	\$943,071	\$864,471	\$700,478	\$242,593	74%

Waste Management
 712952 Waste - MGB Purchases \$25,000 \$22,920 \$22,160 \$2,840 89%
 728755 Waste - WTS Improvements \$25,000 \$22,920 \$5,404 \$19,596 22%
Total Waste Management \$50,000 \$45,840 \$27,564 \$22,436 55%

Roads

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
Avoca - Churchill St Falmouth to St Pauls Verge					
750281 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain	\$120,000	\$110,000	\$16,476	\$103,524	14%
750281.1 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Excavation	\$0	\$0	\$9,422	-\$9,422	0%
750281.2 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Sub Base	\$0	\$0	\$5,580	-\$5,580	0%
750281.3 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Base	\$0	\$0	\$16,311	-\$16,311	0%
750281.4 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Prep for Seal	\$0	\$0	\$3,828	-\$3,828	0%
750281.5 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Seal	\$0	\$0	\$4,543	-\$4,543	0%
750281.7 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Naturstrip	\$0	\$0	\$2,547	-\$2,547	0%
750281.8 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Prep for Seal	\$0	\$0	\$1,008	-\$1,008	0%

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
750281.9 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain Other	\$0	\$0	\$1,425	-\$1,425	0%
750281.91 Avoca - Churchill St Falmouth to St Pauls Verge K&G and Soakage Drain - Stormwater	\$0	\$0	\$25,382	-\$25,382	0%
Total Avoca - Churchill St Falmouth to St Pauls Verge	\$120,000	\$110,000	\$86,522	\$33,478	72%
Clown - Glenelg St Ch 0.285 to Ch 0.640	\$300,000	\$275,000	\$33,289	\$266,711	11%
750493.1 Clown - Glenelg St Ch 0.285 to Ch 0.640 K&G	\$0	\$0	\$32,176	-\$32,176	0%
750493.1 Clown - Glenelg St Ch 0.285 to Ch 0.640 Excavation	\$0	\$0	\$23,572	-\$23,572	0%
750493.2 Clown - Glenelg St Ch 0.285 to Ch 0.640 Subbase	\$0	\$0	\$44,096	-\$44,096	0%
750493.3 Clown - Glenelg St Ch 0.285 to Ch 0.640 Base	\$0	\$0	\$4,395	-\$4,395	0%
750493.4 Clown - Glenelg St Ch 0.285 to Ch 0.640 Prep for Seal	\$0	\$0	\$2,095	-\$2,095	0%
750493.5 Clown - Glenelg St Ch 0.285 to Ch 0.640 Seal	\$0	\$0	\$1,882	-\$1,882	0%
750493.6 Clown - Glenelg St Ch 0.285 to Ch 0.640 Footpaths	\$0	\$0	\$18,042	-\$18,042	0%
750493.7 Clown - Glenelg St Ch 0.285 to Ch 0.640 Naturestrips	\$0	\$0	\$43,237	-\$43,237	0%
750493.8 Clown - Glenelg St Ch 0.285 to Ch 0.640 Driveways	\$0	\$0	\$5,810	-\$5,810	0%
750493.9 Clown - Glenelg St Ch 0.285 to Ch 0.640 Other	\$0	\$0	\$14,000	-\$14,000	0%
750493.91 Clown - Glenelg St Ch 0.285 to Ch 0.640 Stormwater	\$0	\$0	\$222,593	-\$14,000	0%
Total Clown - Glenelg St Ch 0.285 to Ch 0.640	\$300,000	\$275,000	\$222,593	\$77,407	74%
Clown - Macquarie Road Reconstr Ch 36.52 to 38.20	\$0	\$0	\$0	\$0	0%
750778 Clown - Macquarie Rd Recon Chn 36.520 to 38.200	\$0	\$0	\$0	\$0	0%
Total Clown - Macquarie Road Reconstr Ch 36.52 to 38.20	\$0	\$0	\$0	\$0	0%
Cry - Burlington Rd Reconstruction Stage 1	\$160,000	\$146,670	\$1,731	\$158,269	1%
750231.1 Cry - Burlington Rd Reconstruction Stage 1	\$0	\$0	\$3,540	-\$3,540	0%
750231.1 Cry - Burlington Rd Reconstruction Stage 1 Excavation	\$0	\$0	\$35,464	-\$35,464	0%
750231.2 Cry - Burlington Rd Reconstruction Stage 1 Subbase	\$0	\$0	\$29,991	-\$29,991	0%
750231.3 Cry - Burlington Rd Reconstruction Stage 1 Base	\$0	\$0	\$5,125	-\$5,125	0%
750231.4 Cry - Burlington Rd Reconstruction Stage 1 Prep for Seal	\$0	\$0	\$25,365	-\$25,365	0%
750231.5 Cry - Burlington Rd Reconstruction Stage 1 Seal	\$0	\$0	\$1,640	-\$1,640	0%
750231.7 Cry - Burlington Rd Reconstruction Stage 1	\$0	\$0	\$4,876	-\$4,876	0%
750231.8 Cry - Burlington Rd Reconstruction Stage 1 Driveways	\$0	\$0	\$19,584	-\$19,584	0%
750231.9 Cry - Burlington Rd Reconstruction Stage 1 Other	\$0	\$0	\$29,400	-\$29,400	0%
750231.91 Cry - Burlington Rd Reconstruction Stage 1 Stormwater	\$0	\$0	\$156,715	-\$3,285	98%
Total Cry - Burlington Rd Reconstruction Stage 1	\$160,000	\$146,670	\$156,715	\$3,285	98%
Cry - Green Rises Road Recon Ch 5.9 to 7.0	\$220,000	\$201,670	\$9,561	\$210,439	4%
750522.1 Cry - Green Rises Road Reconstruction Ch 5.9 to 7.0	\$0	\$0	\$9,810	-\$9,810	0%
Excavation	\$0	\$0	\$12,055	-\$12,055	0%
750522.2 Cry - Green Rises Road Reconstruction Ch 5.9 to 7.0	\$0	\$0	\$91,764	-\$91,764	0%
Subbase	\$0	\$0	\$6,002	-\$6,002	0%
750522.3 Cry - Green Rises Road Reconstruction Ch 5.9 to 7.0	\$0	\$0	\$6,002	-\$6,002	0%
Base	\$0	\$0	\$6,002	-\$6,002	0%
750522.4 Cry - Green Rises Road Reconstruction Ch 5.9 to 7.0	\$0	\$0	\$6,002	-\$6,002	0%

Northern Midlands Council

Account Management Report

for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
Prep for Seal					
750522.5 CRY - Green Rises Road Reconstruction Ch 5.9 to 7.0 Seal	\$0	\$0	\$43,496	-\$43,496	0%
750522.8 CRY - Green Rises Road Reconstruction Ch 5.9 to 7.0 Driveways	\$0	\$0	\$332	-\$332	0%
750522.9 CRY - Green Rises Road Reconstruction Ch 5.9 to 7.0 Other	\$0	\$0	\$12,093	-\$12,093	0%
750522.91 CRY - Green Rises Road Reconstruction Ch 5.9 to 7.0 Stormwater	\$0	\$0	\$433	-\$433	0%
Total CRY - Green Rises Road Recon Ch 5.9 to 7.0	\$220,000	\$201,670	\$185,547	\$34,453	84%
Lfd - Archer St George to Wellington					
750015 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Kerb	\$50,000	\$45,830	\$29,090	\$20,910	58%
750015.1 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Excavation	\$0	\$0	\$11,297	-\$11,297	0%
750015.2 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Subbase	\$0	\$0	\$2,741	-\$2,741	0%
750015.3 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Base	\$0	\$0	\$17,946	-\$17,946	0%
750015.4 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Prep for Seal	\$0	\$0	\$0	\$0	0%
750015.5 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Seal	\$0	\$0	\$7,322	-\$7,322	0%
750015.9 Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Other	\$0	\$0	\$89	-\$89	0%
Total Lfd - Archer St George to Wellington	\$50,000	\$45,830	\$68,406	-\$18,486	137%
Pth - Arthur St Reconstruction before railway line					
750036.6 Pth - Arthur St Reconstruction Before Railway Line Footpath	\$5,000	\$4,580	\$1,811	\$3,189	36%
750036.9 Pth - Arthur St Reconstruction Before Railway Line - Other	\$0	\$0	\$300	-\$300	0%
Total Pth - Arthur St Reconstruction before railway line	\$5,000	\$4,580	\$2,111	\$2,889	42%
Pth - Main St Phillip to Train Line West Side					
750805 Pth - Phillip to Train Line West Side Reconstruction K&G	\$56,409	\$51,709	\$17,727	\$38,682	31%
750805.1 Pth - Phillip to Train Line West Side Reconstruction Excavation	\$0	\$0	\$9,174	-\$9,174	0%
750805.2 Pth - Phillip to Train Line West Side Reconstruction Subbase	\$0	\$0	\$9,056	-\$9,056	0%
750805.3 Pth - Phillip to Train Line West Side Reconstruction Base	\$0	\$0	\$9,635	-\$9,635	0%
750805.4 Pth - Phillip to Train Line West Side Reconstruction Prep for Seal	\$0	\$0	\$2,136	-\$2,136	0%
750805.5 Pth - Phillip to Train Line West Side Reconstruction Seal	\$0	\$0	\$0	\$0	0%

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
750805.6 Pth - Phillip to Train Line West Side Reconstruction Footpath	\$0	\$0	\$0	\$0	0%
750805.7 Pth - Phillip to Train Line West Side Reconstruction Nature Strip	\$0	\$0	\$9,903	-\$9,903	0%
750805.8 Pth - Phillip to Train Line West Side Reconstruction Driveways	\$0	\$0	\$4,717	-\$4,717	0%
750805.9 Pth - Phillip to Train Line West Side Reconstruction - Other	\$8,542	\$7,832	\$17,645	-\$9,103	207%
750805.91 Pth - Phillip to Train Line West Side Reconstruction - Stormwater	\$8,637	\$7,917	\$11,999	-\$3,362	139%
Total Pth - Main St Phillip to Train Line West Side	\$73,588	\$67,458	\$91,992	-\$18,404	125%
Ross - Tooms Lake Rd Recon Ch 4.075 to 6.360					
751218 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Recon	\$315,000	\$288,750	\$1,636	\$313,364	1%
751218.1 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Excavation	\$0	\$0	\$31,800	-\$31,800	0%
751218.2 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Subbase	\$0	\$0	\$216,638	-\$216,638	0%
751218.3 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Base	\$0	\$0	\$127,982	-\$127,982	0%
751218.4 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Prep for Seal	\$0	\$0	\$12,179	-\$12,179	0%
751218.5 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Seal	\$0	\$0	\$87,226	-\$87,226	0%
751218.8 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Driveways	\$0	\$0	\$2,354	-\$2,354	0%
751218.9 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Recon Other	\$0	\$0	\$34,685	-\$34,685	0%
751218.91 Ross - Tooms Lake rd Ch 4.075 to Ch 5.390 Recon Drainage Work	\$0	\$0	\$53,901	-\$53,901	0%
751219 Ross - Tooms Lake rd Ch 5.390 to Ch 6.360 Recon	\$230,000	\$210,830	\$457	\$229,543	0%
Total Ross - Tooms Lake Rd Recon Ch 4.075 to 6.360	\$545,000	\$499,580	\$568,957	-\$23,857	104%
Ross Streetscape Improvements					
714846 Ross - Streetscape Improvements	\$60,000	\$55,000	\$5,366	-\$4,634	9%
Total Ross Streetscape Improvements	\$60,000	\$55,000	\$5,366	-\$4,634	9%
Resealing Program					
715005 Roads - Resealing All Areas	\$680,000	\$623,330	\$0	\$680,000	0%
715005.000 Crown - Reseal Adelaide St Ch 0.000 to Ch 0.040	\$0	\$0	\$921	-\$921	0%
715005.000 Crown - Reseal Adelaide St Ch 0.04 to 0.17	\$0	\$0	\$1,632	-\$1,632	0%
715005.010 Crown - Reseal Bedford St Ch 0.212-0.269	\$0	\$0	\$526	-\$526	0%
715005.011 Crown - Reseal Bedford St Franklin to Monatague	\$0	\$0	\$3,334	-\$3,334	0%
715005.011 Crown - Reseal Bellevue Rd Ch 2.66-3.21	\$0	\$0	\$10,308	-\$10,308	0%
715005.017 Crown - Reseal Bridge St King to Queen	\$0	\$0	\$5,158	-\$5,158	0%
715005.018 Crown - Reseal Bridge St Midlands Highway to Pedder St	\$0	\$0	\$2,827	-\$2,827	0%
715005.018 Crown - Reseal Bridge St Pedder to Bond	\$0	\$0	\$9,971	-\$9,971	0%
715005.018 Crown - Reseal Bridge St Bond St to Clare St	\$0	\$0	\$10,170	-\$10,170	0%
715005.018 Crown - Reseal Bridge St Clare to End of Seal	\$0	\$0	\$1,871	-\$1,871	0%
715005.019 Crown - Reseal Broad St Bridge to Ch 0.150	\$0	\$0	\$2,410	-\$2,410	0%
715005.025 Ltd - Reseal Chatsworth Lane Marlborough to Ch 0.245	\$0	\$0	\$2,591	-\$2,591	0%

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
715005.027 Clown - Church St Junction with West Street	\$0	\$0	\$11,524	-\$11,524	0%
715005.039 Clown - Reseal Elizabeth Court 0.00 to 0.87	\$0	\$0	\$3,218	-\$3,218	0%
715005.045 Clown - Reseal Franklin St, Forster to Bedford	\$0	\$0	\$1,536	-\$1,536	0%
715005.084 Ltd - Reseal Marlborough St Ch 5.345 to Ch 6.125	\$0	\$0	\$11,941	-\$11,941	0%
715005.087 Clown - Reseal Montague St Ch 0.315 to Forster	\$0	\$0	\$2,183	-\$2,183	0%
715005.092 Conara - Reseal Panec St Ch 0.048 to Ch 0.136	\$0	\$0	\$2,206	-\$2,206	0%
715005.092 Conara - Reseal Panec St Ch 0.136 to Conara Rd	\$0	\$0	\$4,614	-\$4,614	0%
715005.103 Ltd - Reseal Pulney St Pakenham to Catherine	\$0	\$0	\$4,901	-\$4,901	0%
715005.120 Ross - Reseal The Boulewards Chiswick Rd to Bond Street	\$0	\$0	\$8,167	-\$8,167	0%
715005.125 Clown - Reseal Torresse St Ch 0.394 to 0.394	\$0	\$0	\$522	-\$522	0%
715005.126 Ross - Reseal Torresse St Ch 0.394 to Ch 0.446	\$0	\$0	\$1,563	-\$1,563	0%
715005.126 Clown - Reseal Truelands Rd East St to Ch 0.027	\$0	\$0	\$391	-\$391	0%
715005.135 Ltd - Reseal Wellington St Ch 1.004 Ch 1.201	\$0	\$0	\$9,657	-\$9,657	0%
715005.141 Ltd - Reseal Woolmers Lane Ch 6.660 to 7.770	\$0	\$0	\$27,917	-\$27,917	0%
Total Resealing Program	\$680,000	\$623,330	\$141,761	\$538,239	21%
Resheeting Program					
715125 Southern - Resheeting	\$210,000	\$192,500	\$44,335	\$165,665	21%
715460 Roads Northern - Resheeting	\$210,000	\$192,500	\$85,357	\$124,643	41%
Total Resheeting Program	\$420,000	\$385,000	\$129,692	\$290,308	31%
Footpath Construction Program					
750000.61 All Areas - Unallocated Brought Forward Expenditure	\$4,000	\$3,670	\$0	\$4,000	0%
Footpaths					
750011.6 Cry - Archer St from King St Footpath	\$12,000	\$11,000	\$0	\$12,000	0%
750037.6 Pth - Arthur St Fairdlough to Clarence Footpath	\$110,000	\$100,830	\$0	\$110,000	0%
750176.6 Clown - Bridge St Esplanade to King St Footpath	\$70,000	\$64,170	\$17	\$69,983	0%
750244.6 Ltd - Catherine St Hobhouse to Bulwer Footpath	\$0	\$0	\$0	\$0	0%
750435.6 Pth - Fairdlough Over Railway Line Footpath	\$0	\$0	\$1,394	-\$1,394	0%
750473.6 Pth - George St Fairdlough to Clarence Footpath	\$0	\$0	\$46,253	-\$46,253	0%
750548.6 Evam - High St Leighlands to West Cambock Footpath	\$65,000	\$59,580	\$39,868	\$25,132	61%
750642.6 Cry - King St Gravel Section to Ch 0.314	\$16,000	\$14,670	\$0	\$16,000	0%
750794.6 Cry - Main St, No 120 to South Footpath	\$35,000	\$32,080	\$0	\$35,000	0%
750795.6 Cressy - Footpaths Main Street Bus Park 530 to 630	\$18,000	\$16,500	\$15,795	\$2,205	88%
750800.6 Cry - Main St, No 18 to William Footpath	\$11,000	\$10,080	\$0	\$11,000	0%
750802.6 Cry - Main St, No 146 to Stock Route Footpath	\$4,300	\$3,940	\$3,739	\$561	87%
751017.6 Evam - Ploughmans Court Footpath	\$9,000	\$8,250	\$0	\$9,000	0%
751133.6 Evam - Shearers Court Stockmans to End Footpath	\$11,000	\$10,080	\$0	\$11,000	0%
751165.6 Avoca - St Pauls Place Arthur to End Footpath	\$0	\$0	\$3,462	-\$3,462	0%
751169.6 Evam - Stockmans Road Footpath	\$35,000	\$32,080	\$0	\$35,000	0%
751197.6 Pth - Talisker St Midlands Hwy to Clarence	\$0	\$0	\$900	-\$900	0%
751346.6 Ltd - Wellington Bakery to Archer St Footpath	\$30,000	\$27,500	\$0	\$30,000	0%
751352.6 Ltd - Wellington St High to Swan Footpath	\$26,000	\$23,830	\$0	\$26,000	0%
751566.6 Pth - Youl Rd Edward to Phillip Footpath	\$100,000	\$91,670	\$0	\$100,000	0%
751568.6 Ltd - St Georges Square Smith St to Tasman Avenue Footpath	\$50,000	\$45,830	\$0	\$50,000	0%

Northern Midlands Council

Account Management Report

for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
Cry - Saundridge St Charles to Mufret St Footpath					
751122	\$0	\$0	\$1,073	-\$1,073	0%
Cry - Saundridge St Charles St to Mufret St Kerb					
751122.6	\$30,000	\$27,500	\$13,058	\$16,942	44%
Cry - Saundridge St Charles St to Mufret St Footpath					
751122.8	\$0	\$0	\$6,719	-\$6,719	0%
Cry - Saundridge St Charles St to Mufret St Other					
751122.9	\$0	\$0	\$1,724	-\$1,724	0%
Cry - Saundridge St Charles St to Mufret St Other					
Total Cry - Saundridge St Charles to Mufret St Footpath	\$30,000	\$27,500	\$22,574	\$7,426	75%
Evan - Coachmans Rd Footpath					
750300.6	\$0	\$0	\$3,387	-\$3,387	0%
Evan - Coachmans Rd Footpaths					
750300.8	\$0	\$0	\$836	-\$836	0%
Evan - Coachmans Rd Driveways					
750301.6	\$14,150	\$12,970	\$8,155	\$5,995	58%
Evan - Coachmans Rd Seal Change to End Footpath					
750301.8	\$0	\$0	\$1,338	-\$1,338	0%
Evan - Coachmans Rd Seal Change to End Driveways					
Total Evan - Coachmans Rd Footpath	\$14,150	\$12,970	\$13,716	\$434	97%
Evan - Leighlands Rd Evan Main Rd to Railway Line					
751567.6	\$10,000	\$9,170	\$2,992	\$7,008	30%
Evan - Leighlands Rd Footpath Evandale Main Rd to Railway Line					
751567.9	\$0	\$0	\$5,380	-\$5,380	0%
Evan - Leighlands Rd Footpath Evandale Main Rd to Railway Line Other					
Total Evan - Leighlands Rd Evan Main Rd to Railway Line	\$10,000	\$9,170	\$8,372	\$1,628	84%
Evan - Saddlers Court Footpath					
751102	\$0	\$0	\$10,296	-\$10,296	0%
Evan - Saddlers Court Replace K&G and Footpath					
751102.6	\$13,500	\$12,370	\$1,731	\$11,769	13%
Evan - Saddlers Court Footpath					
751102.8	\$0	\$0	\$764	-\$764	0%
Evan - Saddlers Court Driveways					
Total Evan - Saddlers Court Footpath	\$13,500	\$12,370	\$12,791	\$710	95%
Evan - Richard St Ch 0.253 to 0.449 Footpath					
751054.6	\$3,960	\$3,630	\$3,960	\$0	100%
Evan - Richard St Ch 0.253 to Ch 0.358 Footpath					
751487.6	\$10,890	\$9,980	\$10,890	\$0	100%
Evan - Richard St Ch 0.358 to Ch 0.449 Footpath					
Total Evan - Richard St Ch 0.253 to 0.449 Footpath	\$14,850	\$13,610	\$14,850	\$0	100%
Lfd - Archer St George to Wellington Footpath					
750015.6	\$40,000	\$36,670	\$36,908	\$3,092	92%
Lfd - Archer St George to Wellington Footpath					
750015.7	\$0	\$0	\$1,053	-\$1,053	0%
Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Naturestrip					
750015.8	\$0	\$0	\$1,071	-\$1,071	0%
Lfd - Archer St George to Wellington Reconstruction KG & Verge North Side Driveways					
Total Lfd - Archer St George to Wellington Footpath	\$40,000	\$36,670	\$39,031	\$969	98%
Pth - Elizabeth St William to Clarence Footpath					
750399.6	\$7,000	\$6,420	\$0	\$7,000	0%
Pth - Elizabeth St William to Clarence Footpath					
750399.9	\$0	\$0	\$5,947	-\$5,947	0%
Pth - Elizabeth St William to Clarence Other					
750401	\$0	\$0	\$1,558	-\$1,558	0%
Pth - Elizabeth / Main Street Intersection					
Total Pth - Elizabeth St William to Clarence Footpath	\$7,000	\$6,420	\$7,505	-\$505	107%
Lfd - Tannery Rd Rail to Factory Entrance Footpath					
751507.6	\$40,000	\$36,670	\$14,721	\$25,279	37%
Lfd - Tannery Rd Railway to Factory Entrance Footpath					

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	% Annual Budget
751507.9 Lfd - Tannery Rd Railway to Factory Entrance F'path - Other	\$0	\$0	\$23,479	-\$23,479	0%
Total Lfd - Tannery Rd Rail to Factory Entrance Footpath	\$40,000	\$36,670	\$38,200	\$1,800	96%
Total Footpath Construction Program	\$775,800	\$711,140	\$268,368	\$507,432	35%
Other Road Projects					
718470 Roads - Replacement of Crossovers All Areas	\$0	\$0	\$770	-\$770	0%
750329 Pth Cromwell St Ch 0.073 (End of Kerb Southern End)	\$0	\$0	\$0	\$0	0%
750329.1 to North K&G	\$0	\$0	\$1,592	-\$1,592	0%
750329.2 Pth Cromwell St Ch 0.073 (End of Kerb Southern End)	\$0	\$0	\$2,466	-\$2,466	0%
750329.3 to North Subbase	\$0	\$0	\$2,128	-\$2,128	0%
750329.7 to North Base	\$0	\$0	\$130	-\$130	0%
750329.8 Pth Cromwell St Ch 0.073 (End of Kerb Southern End)	\$0	\$0	\$0	\$0	0%
750329.8 Pth Cromwell St Ch 0.073 (End of Kerb Southern End)	\$40,000	\$36,670	\$0	\$40,000	0%
750329.8 Pth Cromwell St Ch 0.073 (End of Kerb Southern End)	\$40,000	\$36,670	\$0	\$40,000	0%
750414 Side	\$18,444	\$16,907	\$2,121	\$16,323	11%
750420 Evau - English Town Rd Ch 0.00 to 2.50 Reconstruct part of Segment	\$40,000	\$36,670	\$0	\$40,000	0%
750436 Pth - Esdleigh Road Intersection Reconstruction	\$12,700	\$11,642	\$0	\$12,700	0%
750545.9 Town - Traffic Islands Cnr High/Commonwealth Lane	\$0	\$0	\$8,024	-\$8,024	0%
750715 Evau - Logan Rd Traffic Islands outside Falls Park	\$15,000	\$13,750	\$0	\$15,000	0%
750774 Town - Macquarie Rd Ch 32.940 to 33.865 Reconstruction	\$200,000	\$183,330	\$44	\$199,956	0%
750774.9 Town - Macquarie Rd Ch 32.940 to 33.865 Reconstruction Other	\$0	\$0	\$800	-\$800	0%
751197 Pth - Talisker St Midlands Hwy Junction	\$70,000	\$64,170	\$10,719	\$59,261	15%
751197.9 Pth - Talisker St Carpark	\$0	\$0	\$41,823	-\$41,823	0%
751548 Town - Macquarie Rd Ch 33.865 to Ch 34.215 Reconstruction	\$75,000	\$68,750	\$0	\$75,000	0%
Total Other Road Projects	\$471,144	\$431,889	\$70,617	\$400,527	15%
Total Roads	\$3,880,532	\$3,557,147	\$1,998,627	\$1,881,905	52%
Bridges					
742030 Cny - Bridge 2030, Powrana Rd Macquarie River	\$1,230,000	\$1,127,500	\$44,296	\$1,185,704	4%
743767 Avoca - Bridge 3767, Royal George Rd, Unnamed Crk	\$75,000	\$68,750	\$0	\$75,000	0%
747350 Cny - Bridge 7350, Cressy Rd, Lake River	\$0	\$0	\$0	\$0	0%
Total Bridges	\$1,305,000	\$1,196,250	\$44,296	\$1,260,704	3%
Urban Stormwater Drainage					

Northern Midlands Council Account Management Report for year to May 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance	Annual Budget %
788565 Pth - Stormwater West Perth Catchment Survey	\$0	\$0	\$5,773	-\$5,773	0%
788576 Lfd - Stormwater Detention Basin Paton Street	\$136,240	\$124,890	\$72,739	\$63,501	53%
788588 Clowm - Stormwater Glenelg Street	\$313,459	\$287,339	\$496,054	-\$182,595	158%
788590 Lfd - Flood Levee Stormwater Improvements Union Street	\$0	\$0	\$7,492	-\$7,492	0%
788593 Lfd - Flood Levee Clay/Concrete Interface Works	\$0	\$0	\$32,353	-\$32,353	0%
788594 Lfd - Flood Levee Pump Testing Site South Esk	\$10,000	\$9,170	\$0	\$10,000	0%
788597 Pth - Frederick St Stormwater	\$3,070	\$2,810	\$6,857	-\$3,787	223%
788598 Pth - Stormwater Cromwell St	\$70,000	\$64,170	\$61,734	\$8,266	88%
788599 Lfd - Stormwater Craecroft Street	\$40,000	\$36,670	\$42,393	-\$2,393	106%
788600 Lfd - Stormwater St Georges Square	\$50,000	\$45,830	\$29,649	\$20,351	59%
788601 Lfd - Stormwater Translink Upgrade	\$72,000	\$66,000	\$107,755	-\$35,755	150%
788602 Pth - Stormwater Drummond St to Norfolk St extension	\$0	\$0	\$29,704	-\$29,704	0%
788603 Lfd - Flood Levee Paton Street Penshook	\$0	\$0	\$31,332	-\$31,332	0%
788604 Lfd - Union St Flood Flap to River Storm Water	\$0	\$0	\$13,035	-\$13,035	0%
Total Urban Stormwater Drainage	\$694,769	\$636,879	\$936,868	-\$242,099	135%
Total Capital Expenditure - Works Department	\$7,782,087	\$7,133,552	\$3,934,834	\$3,847,253	51%
Grand Total	\$7,782,087	\$7,133,552	\$3,934,834	\$3,847,253	51%

10 132 & 337 CERTIFICATES ISSUED

	No. of Certificates Issued 2014/2015 year												Total	
	Jul	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	June	Total	2013/2014
132	67	47	50	84	54	44	46	54	73	51	52		622,570	634
337	33	28	29	53	35	23	19	31	35	41	38		365,327	353

11 ANIMAL CONTROL: APRIL 2015

Item	Income/Issues 2013/2014		Income/Issues for April 2015		Income/Issues 2014/2015	
	No.	\$	No.	\$	No.	\$
Dogs Registered	3,578	79,742	103	2,370	3,746	87,226
Dogs Impounded	95	5,430	11	959	82	5,111
Euthanized	5	-	1	-	3	-
Re-claimed	74	-	10	-	68	-
Re-homed/To RSPCA	16	-	-	-	11	-
New Kennel Licences	4	250	4	264	7	452
Renewed Kennel Licences	69	2,656	-	-	62	2,480
Infringement Notices (paid in full)	13	1,820	2	260	22	3,390
Legal Action	-	-	-	-	-	-
Livestock Impounded	1	58	-	-	2	300
TOTAL		89,956		3,853		98,959

Asset Category	Valuation Methodology	Revaluation Action by Year:											
		- Revaluation based on Detailed Assessment (RDA) - Revaluation based on Unit Rate Assessment (RURA) - Indexation (Ind) - No revaluation action (NO) - Not applicable, recorded at cost (N/a)											
		2009/10	2010/11	2011/12	2012/13	2013/14	2014/15	2015/16	2016/17	2017/18	2018/19	2019/20	
Land	Fair Value	IND	IND	NO	NO	IND	IND	IND	IND	IND	IND	IND	IND
Land Under Roads	Fair Value	NO	IND	NO	NO	IND	NO	NO	NO	NO	NO	NO	NO
Buildings	Fair Value	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND
Roads Infrastructure	Fair Value												
Bridges	Fair Value	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND
Stormwater & Drainage	Fair Value	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND	IND
Flood Levee Infrastructure	Cost	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a
Furniture, Fittings, Office Equip	Cost	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a
Fleet	Cost	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a
Plant	Cost	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a
Heritage Assets	Cost	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a	N/a

PLAN 1

**PLANNING APPLICATION P15-124
13 MARLBOROUGH STREET, LONGFORD**

ATTACHMENTS

- A** Application & plans
- B** Representation
- C** State Growth Response
- D** Heritage Referral

P14

PLANNING APPLICATION Proposal

Description of proposal: TO ERRECT A POLE SIGN 5000 H X
 1900 W AT THE EXISTING FOOTINGS IN THE SOUTH
 WEST CORNER OF THE SITE
 THE SIGN IS TO ADVERTISE THE BUSINESS (CURRENTLY
 RURAL SUPPLIES) AND PROVIDE ADEQUATE ADVANCE NOTICE
 FOR MOTORISTS TRAVELLING SOUTH, TO LOCATE THE PREMISES
 AND SAFELY ENTER

(attach additional sheets if necessary)

Site address: 13 MALLBOROUGH STREET LONGFORD

ID no: and/or Council's property no:
and/or

Area of land: ha/m² and/or CT no:

Estimated cost of project \$ 2,000.00 (include cost of landscaping,
car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No

If yes - main building is used as RURAL SUPPLIES RETAIL PREMISES

Is any signage required? Yes

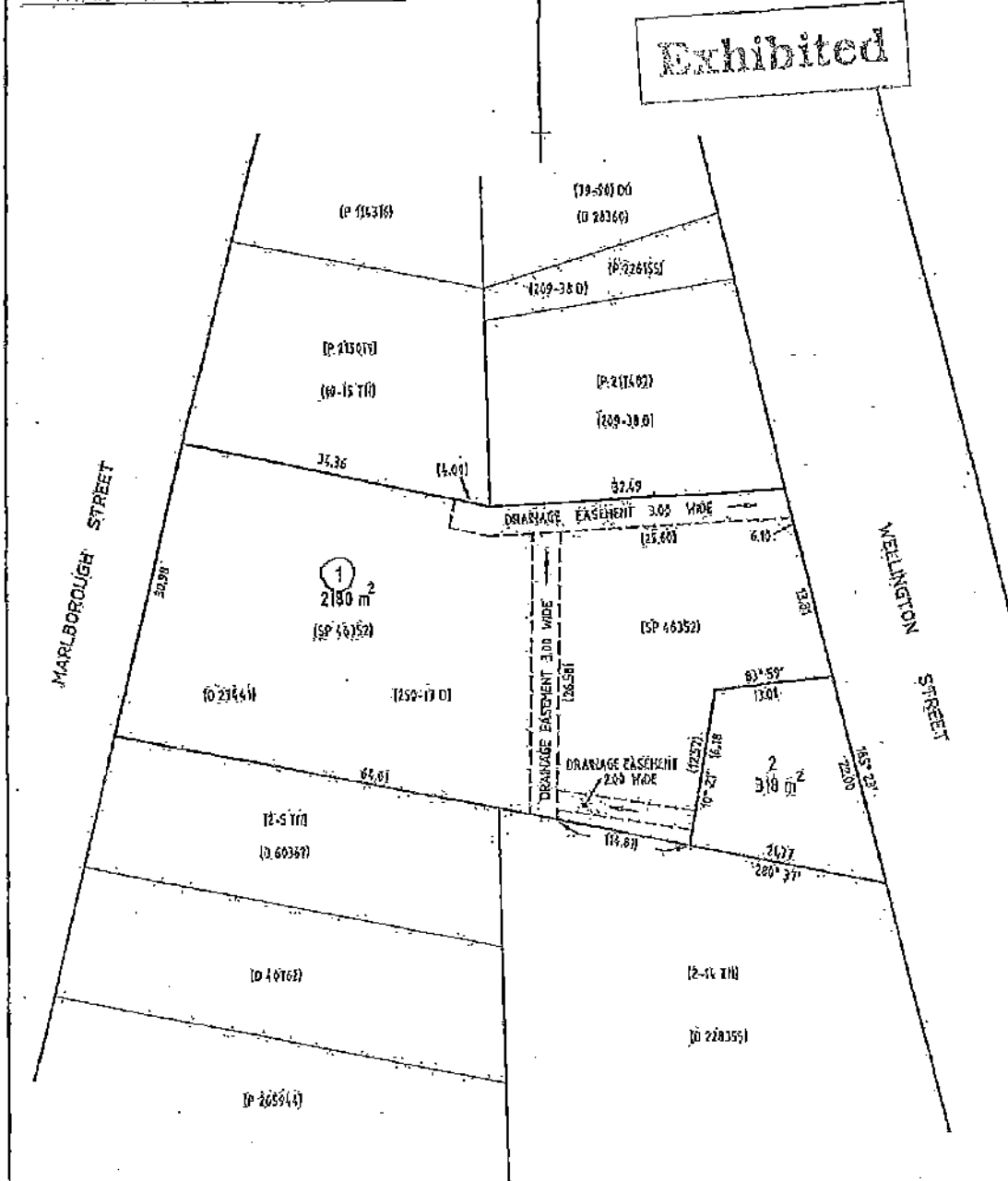
(if yes, provide details)

EXHIBITED

OWNER: NIY PTY. LTD. FIELD REFERENCE: FR 46352-1 & FR 46352-2 GRANTED PART 2A-3B-11P GRANTED TO JAMES HOUGHTON	PLAN OF SURVEY		REGISTERED NUMBER SP166771
	BY SURVEYOR: M. ROSE OF 273 MALDEN STREET, NEWSTEAD 7250	LOCATION: TOWN OF LONGFORD Section M	APPROVED - 3 DEC 2013 EFFECTIVE FROM <i>Mick Haven</i> Recorder of Titles
SCALE 1:400		LENGTHS IN METRES	

MAP SHEET MUNICIPAL CODE 1A 123 (5039-92)	LAST UPD NO FBK20 FBK21	LAST PLATE SP 46352	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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LOT 1 IS COMPILED FROM FR 46352-1, FR 46352-2 AND THIS SURVEY



Exhibited

Mick Haven
COUNCIL DELEGATE
DATE 31-10-13

Sign proposal SW corner 15 Marlborough St. Longford

Frame Size: 5mH x 1.9mW

Sign Size: 2.3mH (from top of frame down) x 1.9mW (ie 2.7m above ground)

Sign Purpose: Provide site recognition for southbound traffic along Wellington St.

Sign Content: Rural Supplies Longford logo

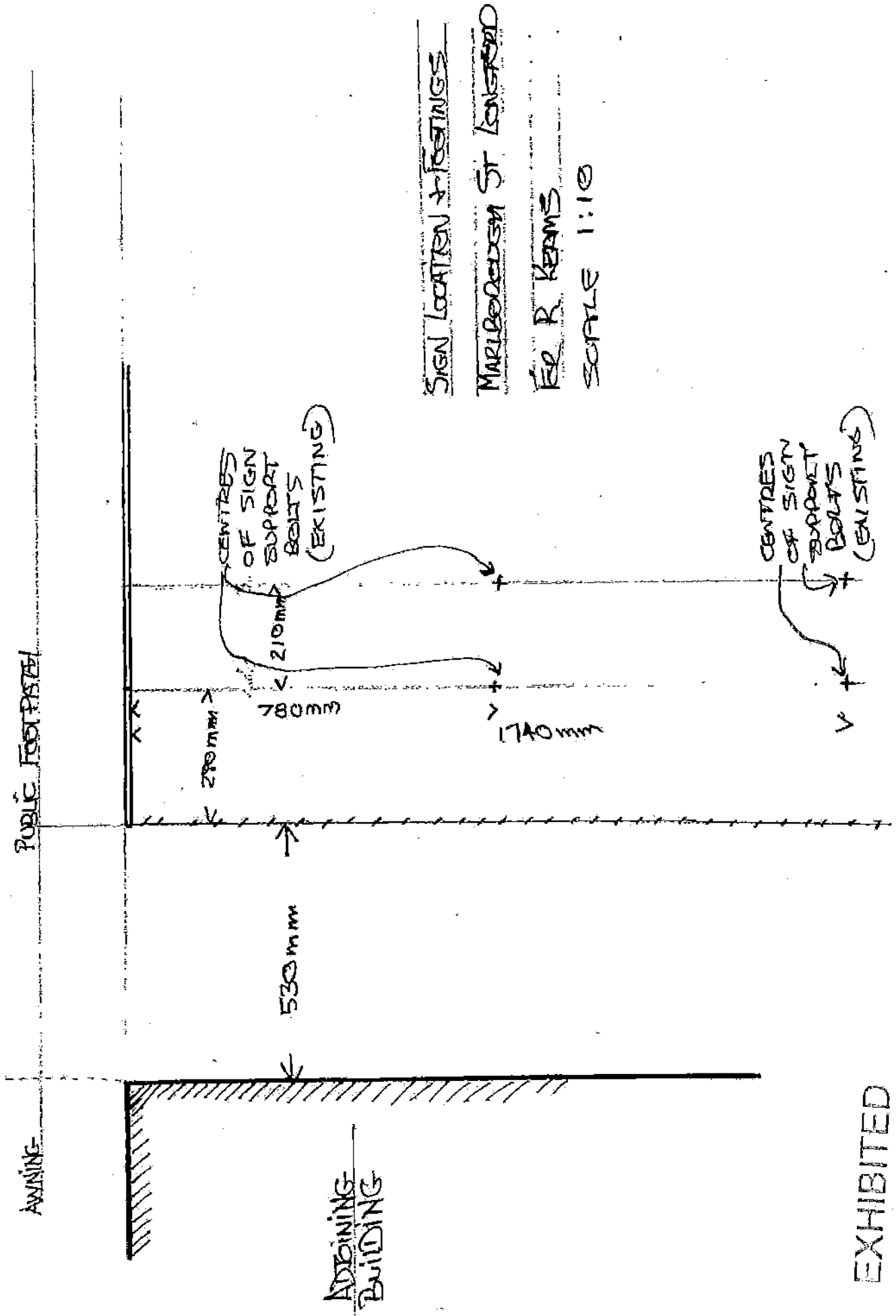
Issues:

Distance from which sign to be viewed: The Australian Capital Territory Police web site indicates that in an emergency braking situation on a dry road in a modern car from 50km/h it takes 35m to come to a complete stop. Allowing for safe recognition, processing time & sufficient travel time to indicate intentions to turn to other road users allow double this distance, 70m, at 50km/h. Safe travel distance between cars on a wet day is considered to be 4-5 seconds. 50km/h = 833m/min = 13.8m/sec (say 14m/sec) 5 secs = 70m. Sign to be readily visible from 70m.

Neighbour's amenity (capacity to sign their building): Approx 70m to the north of the sign is a pedestrian crossing. From the middle of the road at that crossing approx 8m of west to east wall of 17 Wellington St. (the neighbouring property) is visible. At this distance the oblique angle presented by the fence across 13 & 15 Marlborough St. prevents no visibility of the bottom 2m of the wall of 17 Wellington St. Total wall space of 17 Wellington St visible through 13 & 15 Wellington St above the fence from 70m in the middle of Wellington St is approx (8mL x 2mH less window space [not impeded] of 1.5m x 1m) = 15m². The proposed sign has a total space of (2.3m x 1.9m) 4.37m² or 29% of wall space of neighbouring property. Additional signage is also available to 17 Wellington St on the over street verandah (1mH x 3mL) making total space visible from 70m & available for signage @ 17 Wellington St. = 18m². The proposed sign consumes approx 24.3% of available shared visible street frontage for southbound traffic from 70m.

Sign proliferation: The proposed sign is the only sign on this site visible to southbound traffic travelling on Wellington St. until they are immediately adjacent to the site (at which point late recognition & action poses a potential hazard to other road users). The right hand side of Wellington St., when travelling south, is fairly cluttered with signage, the left hand side (side of proposed sign) is relatively clean. The proposed sign's style, open with a limited colour palette (predominate colour white), does not add to sign clutter in any significant manner.

Heritage impact on the street profile: There was proposed an issue of impact on 4 heritage verandahs to the south of this sign; there is only 1 heritage verandah (that on 17 Wellington St.) the other 3 are 1 attached to a 19??'s corrugated iron shed originally erected & used as storage for James's grocery store, 1 attached to a 19??'s brick veneer shop front (Longford Pharmacy), & the last attached to a weatherboard shop front to 19??'s construction. With the exception of 17 Wellington St. verandah, which carries north facing signage, these are verandahs in a heritage area rather than heritage verandahs. The proposed sign is set approximately 1 metre to the east of the heritage listed verandah & given that the verandah already carries north facing signage is not going to detrimentally affect the street's heritage standing.



EXHIBITED

1-236

EXHIBITED

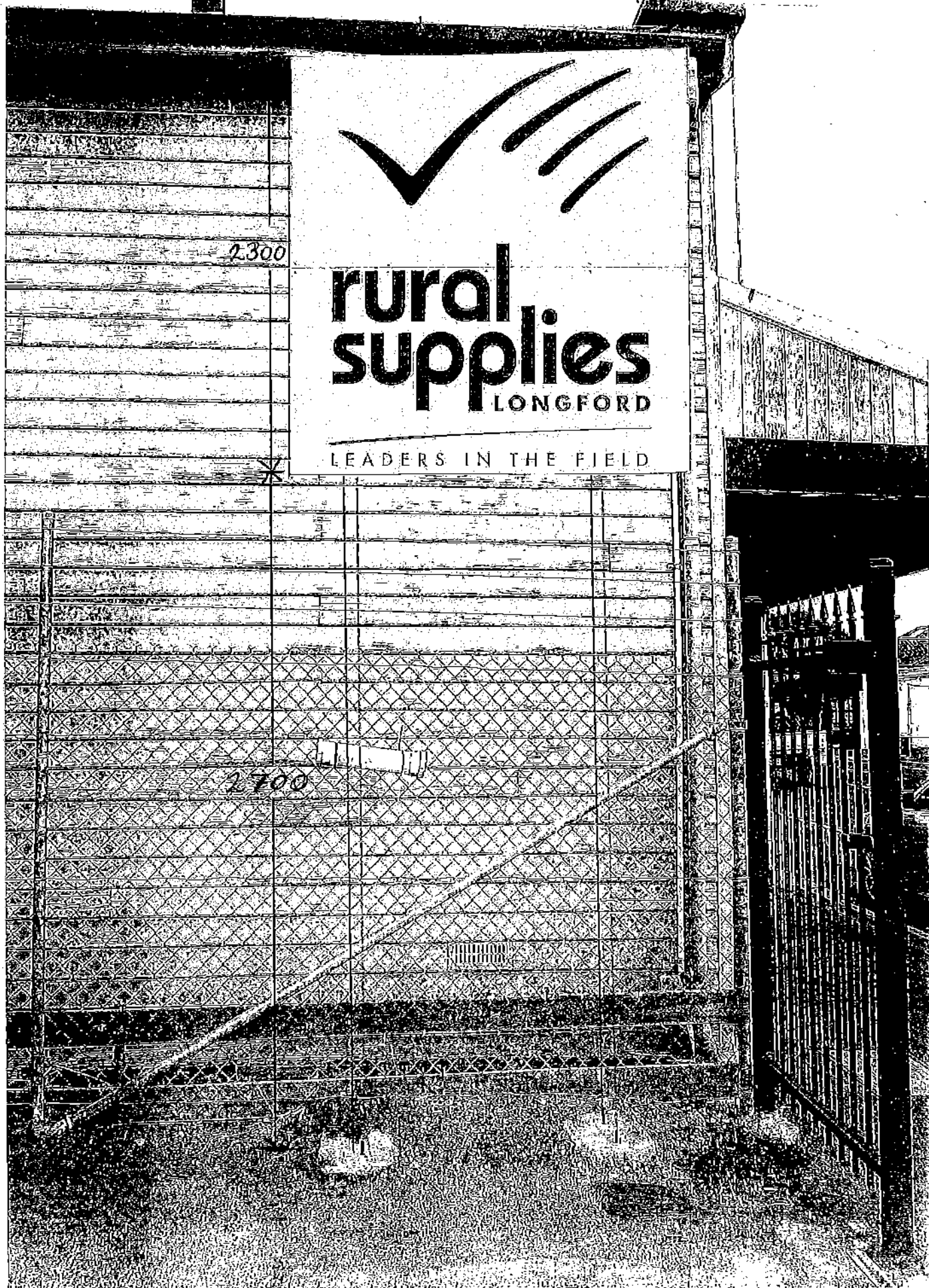
1900

2300

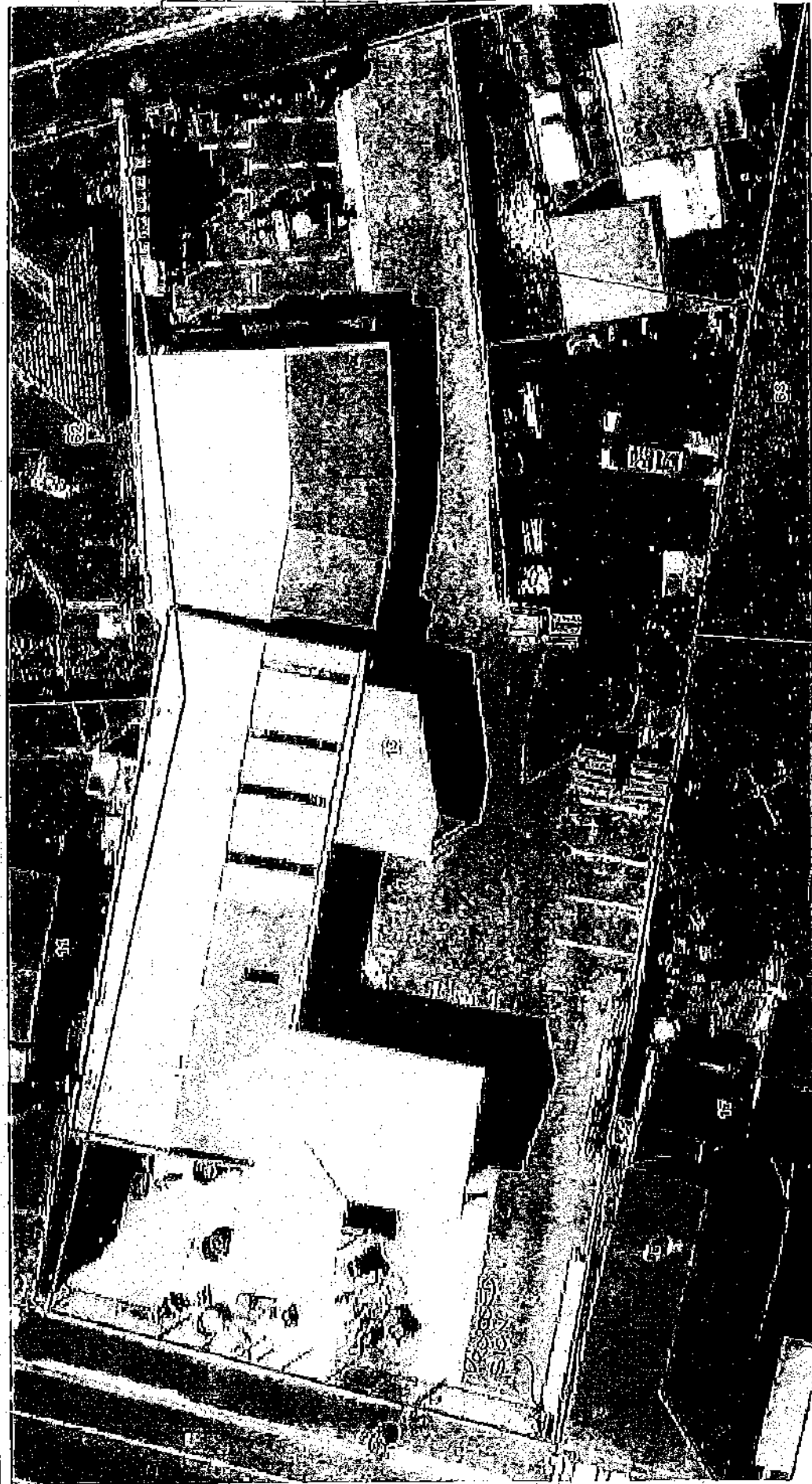

**rural
supplies**
LONGFORD

LEADERS IN THE FIELD

2700



Exhibited 1-237



Monday, 19 May
2014

1:300

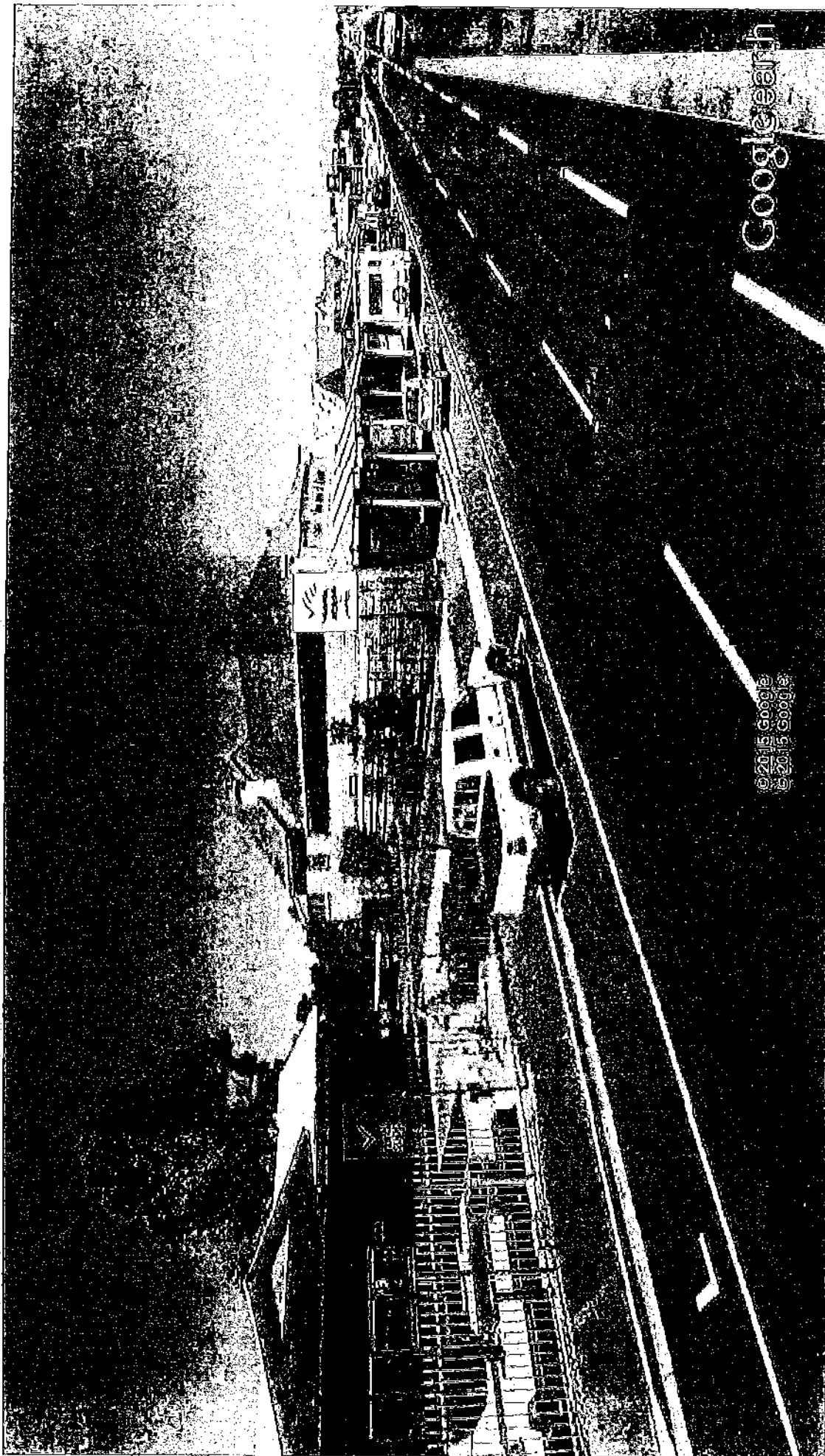
**13 Marlborough
Street, Longford -
Proposed Signage**

Base data from the LST, © State of Tasmania. For actual
boundaries refer to the Plan.
Base image by TASMAP, © State of Tasmania
Where there is aerial photography it is indicative only and
should not be used as an accurate comparison of the
boundaries.
Where shown, underground services are approximate only.
Actual location of services are to be confirmed on site.

PO Box 155
13 Smith Street
Longford TAS 7301
Email: council@nmc.tas.gov.au
Web: www.northernmidlands.tas.gov.au



EXHIBITED



Google earth

feet
meters

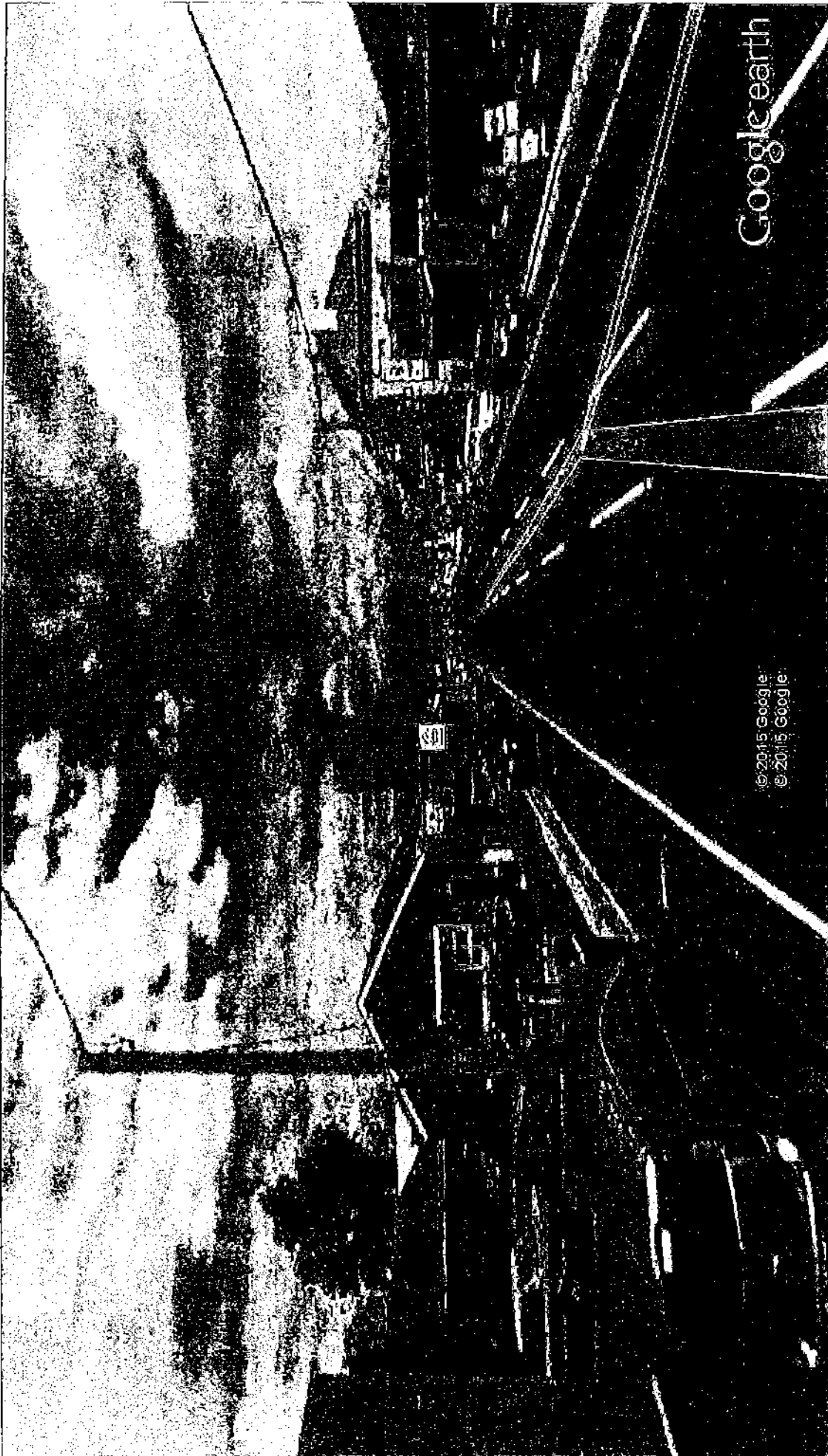
10

5

EXHIBITED

Google earth

© 2015 Google
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Google earth
feet
meters

10

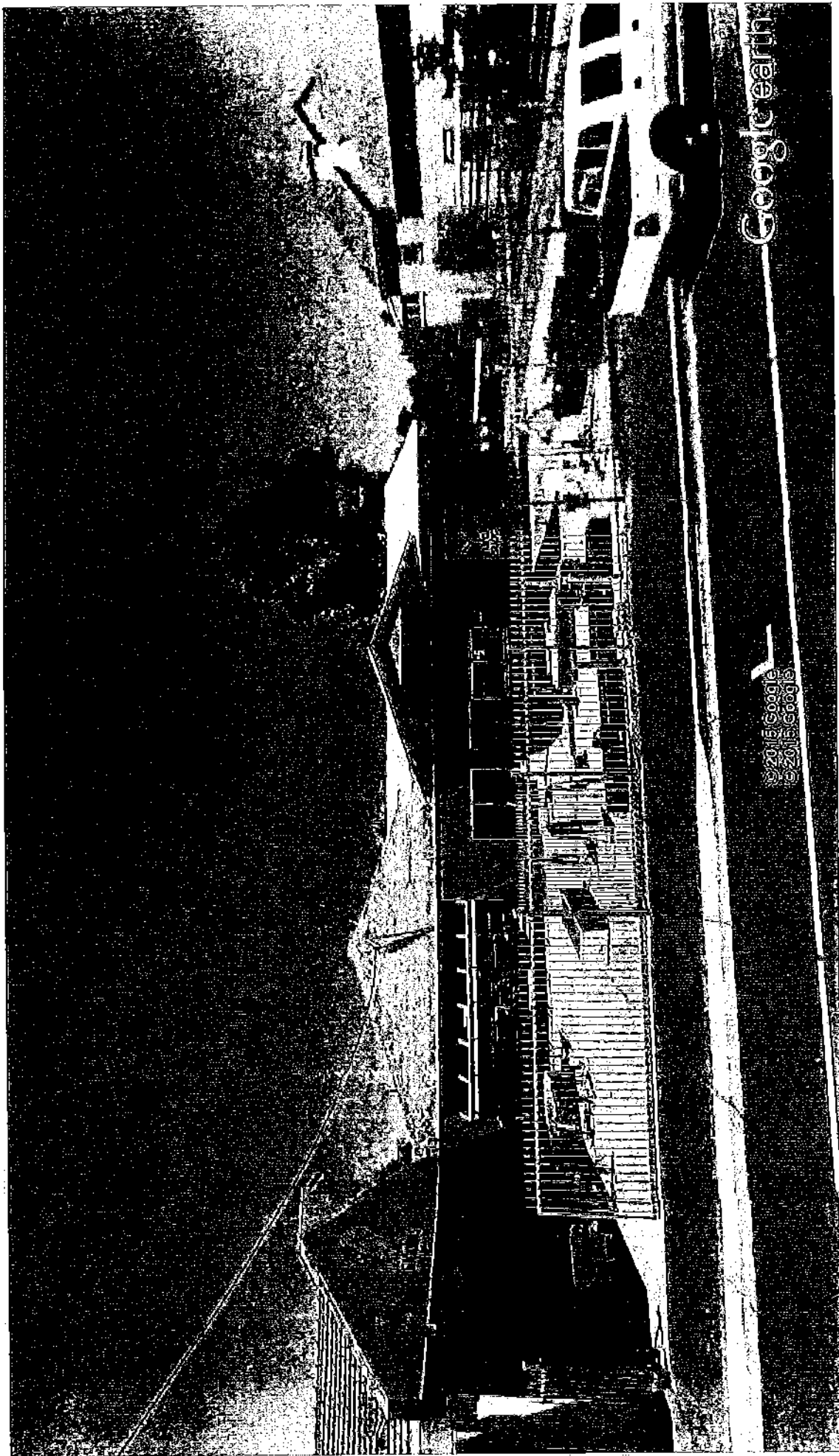
5



Google earth

© 2015 Google
© 2015 Google

EXHIBIT D




feet 20
meters 6

Google earth

EXHIBIT

B

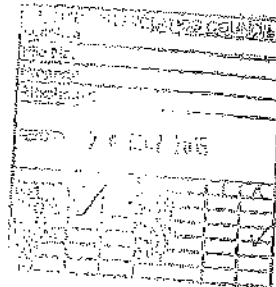


Rebecca Green
& Associates

General Manager
Northern Midlands Council
PO Box 156
LONGFORD TAS 7301

Email: planning@nmc.tas.gov.au

26 May 2015



Dear Sir,

Representation - Planning Application, P15-124, 13 Marlborough Street, Longford (CT 166771/1) – sign for Rural Supplies (heritage precincts)

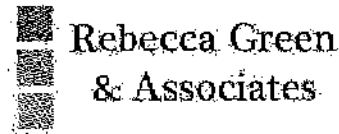
I act on behalf of Mr. Michael Salhani representing R & J Shaw, and provide objection to the currently advertised planning application P15-124 closing 26 May 2015.

1. Detraction from Meeting the Management Objectives of a Precinct

The proposed development does not meet performance criteria P1 d) of Clause E13.6.13 in that the signage does detract from meeting the management objectives of the Longford Precinct as the signage does adversely impact on the heritage qualities of the streetscape and does not contribute positively to the Precinct, due to its size, clutter and proliferation of signage.

The proposal would impact on the significance of the adjacent buildings to the south and the streetscape generally. The proposal is considered unsympathetic to the streetscape, particularly when viewed from the intersection of Wellington and Marlborough Street, known as "Heritage Corner" because of its location and size in context to particularly 17-21 Marlborough Street, with the sign dominating the view towards the historic buildings and architectural features including verandahs. The size of the sign, colour materials and graphics are not in keeping with the surrounding buildings located south. The sign would be seen from a most prominent streetscape site known as "Heritage Corner" at the intersection of Wellington and Marlborough Streets, hence being visually prominent from public and private spaces within the streetscape.

The site location and signage height is no different to the previous applications by the applicant, where it was submitted the sign could be seen approximately 180-200 metres, as evidenced in the Resource Management and Planning Appeals Tribunal appeal 60-14P, contrary to the 70 metres as per the current application.



2. Needs of the Proprietor – permitted signage

The proposed development is inconsistent with P35 b) of Clause E15.5.3 as it has not been demonstrated that any other form of permitted signage would meet the needs of the proprietor.

The applicant requires the signage to be visible from the intersection of Marlborough and Wellington Streets (known as "Heritage Corner"). Business identification does not necessarily have to be visible from some 180 metres away from the site. A freestanding/ portable sign would provide business identification and be less dominant in the streetscape than the proposal.

It is considered from a heritage perspective that one central sign on the subject site would provide the needs of the operator to provide business identification from both north and south of the site, where as the current signage area on the applicant's property is in excess of 47m². Should this proposed sign be approved this will accumulate to approximately 52m² of signage, this would be the most amount of signage any property in the Heritage Precinct In Marlborough Street would have, it is understood.

3. Unreasonable Domination of Signage

The proposed development is inconsistent with P35 c) of Clause E15.5.3 as the sign does unreasonably dominate the streetscape and does not reflect the prevailing character of the area, in terms of proportions, particularly the size of the sign is out of character, and contradicts previous advice from Council's Heritage Advisor in relation the maximum size a sign should be in this locality to not detract from the character of the area (P06-283 dated 24 November 2006).

4. Conflict of Zone Purpose

The proposed development is inconsistent with P35 d) of Clause E15.5.3 as the development does conflict with the General Business Zone purpose as outlined in 21.1.1.2, in that the proposal does not create through good urban design an attractive environment. It is visually dominating due to its size and is unnecessary to be of such large proportions.

5. Significant Impact of Amenity of Adjoining Property

Amenity as defined by the Planning Scheme is

"means, in relation to a locality, place or building, any quality, condition or factor that makes or contributes to making the locality, place or building harmonious, pleasant or enjoyable."

The amenity of the adjoining property at 17 Marlborough Street is a factor that it can contribute to the locality as a commercial premise. The proposed signage would limit to opportunity to do this in terms of advertising signage along the northern wall of the building itself. The proposed sign would limit any available space for



Rebecca Green
& Associates

future businesses operating from 17 Marlborough Street to provide signage, as the premises is limited in itself due to the existing Bushells Tea Signage, which Council in 2006 stated that the sign had to remain visible. This northern wall of 17 Marlborough Street, due to the above mentioned restrictions is the only available area where external signage could be affixed/located.

Planning Permit No P06-283 was restricted in signage size against the northern elevation of the building at 17 Marlborough Street, being a maximum of 1500mm wide by 1200mm high and 600mm above ground level.

In 2006 Council had concerns in relation to not only the attachment of signage to the northern façade of the building located at 17 Marlborough Street, but also the size and dimensions of the signage was specific. This was confirmed by Council's heritage officer in Resource Management and Planning Appeal Tribunal 60-14P hearing where Council's heritage officer stated *"the north façade of the building was of heritage value."*

The amenity and also context and character of the streetscape would not have changed significant enough from 2006 to 2015 to increase a sign in a very similar location from 1500mm wide x 1200mm high and 600mm above ground level (impact of 2.7 square metres) to the subject proposal.

The difference in restriction of signage dimensions in 2006 versus the proposed signage of 2015, results in the quality of the place identified in 2006 to not be the same or similar in 2015 by Council.

It is considered that a significant impact is posed on the neighbouring property by signage coverage of 29% (as stated in the current application), versus 0% of coverage currently. This is therefore a significant difference.

We ask that Council consider the information above when making any decision in relation to the proposed signage.

Kind Regards,

Rebecca Green

B. Env. Des., B. Arch., G.Dip. UrbRegPlan.
Senior Planning Consultant & Accredited Bushfire Hazard Assessor
m - 0409 284422
e - admin@rgassociates.com.au

From: Hills, Garry (StateGrowth) [Garry.Hills@stategrowth.tas.gov.au]
Sent: Monday, June 01, 2015 10:05:55 AM
To: NMC Planning
Subject: RE: Referral to Department of State Growth of Planning Application P15-124 - 13
Marlborough Street, Longford

C.

Our Ref: 2015/69796 & A1604-94

Jan,

In reference to the above Planning Application, I advise that State Growth have no comment to make.

Thanks,

Garry Hills | Senior Traffic Engineering Officer
Transport Infrastructure Services Division | Department of State Growth
287 Wellington Street, Launceston TAS 7250 | GPO Box 536, Hobart TAS 7001
Phone: (03) 6777 1940
www.stategrowth.tas.gov.au

From: NMC Planning [mailto:planning@nmc.tas.gov.au]
Sent: Thursday, 28 May 2015 1:10 PM
Subject: Referral to Department of State Growth of Planning Application P15-124 - 13 Marlborough Street,
Longford

See attached referral.

Regards, Jan Cunningham
Administration Supervisor | Planning & Development Department | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
E: planning@nmc.tas.gov.au | W: www.northernmidlands.tas.gov.au
T a s m a n i a ' s H i s t o r i c H e a r t

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NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, TONY PURSE
DATE: 29-May-2015
REF NO: P15-124; 109300.08
SITE: 13 Marlborough Street, Longford
PROPOSAL: Pole sign for Rural Supplies (heritage precinct)
APPLICANT: R Keam
REASON FOR REFERRAL: HERITAGE PRECINCT
Local Historic Heritage Code
Heritage Precincts Specific Area Plan

Do you have any objections to the proposal: **Yes**

Do you have any other comments on this application?

Whilst the provision of additional signage to the subject site is not an unreasonable prospect, the current proposal appears to have an adverse effect upon the streetscape due to impact upon views to the adjacent building (beyond) and significant elements thereof, namely the eaves, front parapet and verandah.

This situation could be reasonably mitigated by reducing the overall height of the signage to 500mm below the eaves line of the adjacent building in addition to increased setback from the front boundary to provide an equivalent visual margin of the building behind, above and in front of the proposed signage. I refer to the wall-mounted signage upon the Blenheim Inn opposite, which is located to provide an even margin of visible building envelope.



Tony Purse AIA (Heritage Adviser)

Date: 12th June 2015

Assessment against E13.0 (Local Historic Heritage Code)
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E13.1 Purpose

E13.1.1 *The purpose of this provision is to:*

- a) *protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and*
- b) *encourage and facilitate the continued use of these items for beneficial purposes; and*
- c) *discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and*
- d) *ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and*
- e) *conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place*

E13.2 Application of the Code

E13.2.1 *This code applies to use or development of land that is:*

- a) *within a Heritage Precinct;*
- b) *a local heritage place;*
- c) *a place of identified archaeological significance.*

E13.3 Use or Development Exempt from this Code

E13.3.1 *The following use or development is exempt from this code:*

- a) *works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;*
- b) *electricity, optic fibre and telecommunication cables and gas lines to individual buildings which connect above ground or utilise existing service trenches;*
- c) *internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;*

Comment:

The subject site is within a *Heritage Precinct*.

E13.5 Use Standards**E13.5.1 Alternative Use of heritage buildings**Comment: N/a**E13.6 Development Standards****E13.6.1 Demolition**Comment: N/a**E13.6.2 Subdivision and development density**Comment: N/a**E13.6.3 Site Cover**

Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.

Acceptable Solutions	Performance Criteria
A1 Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1 The site coverage must:</p> <p>a) be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and</p> <p>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.**E13.6.4 Height and Bulk of Buildings**

Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and</p> <p>P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and</p> <p>P1.3 The height and bulk of any proposed</p>

	buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
--	--

Comment: Satisfies the performance criteria.

E13.6.5 Fences

Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New fences must: <ul style="list-style-type: none"> a) be designed to be complementary to the architectural style of the dominant buildings on the site or b) be consistent with the dominant fencing style in the heritage precinct; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.6 Roof Form and Materials

Comment: N/a

E13.6.7 Wall materials

Comment: N/a

E13.6.8 Siting of Buildings and Structures

Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The front setback for new buildings or structure must: <ul style="list-style-type: none"> a) be consistent with the setback of surrounding buildings; and b) be set at a distance that does not detract from the historic heritage significance of the place; and c) not detract from meeting the

	management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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Comment: Satisfies the performance criteria.

E13.6.9 Outbuildings and Structures

Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
<p>A1 Outbuildings and structures must be:</p> <p>a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and</p> <p>b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 New outbuildings and structures must be designed and located ;</p> <p>a) to be subservient to the primary buildings on the site; and</p> <p>b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

E13.6.10 Access Strips and Parking

Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
<p>A1 Car parking areas for non-residential purposes must be:</p> <p>a) located behind the primary buildings on the site; or</p> <p>b) in accordance with the acceptable development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.</p>	<p>P1 Car parking areas for non-residential purposes must not:</p> <p>a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the setting of a building or its historic heritage significance; and</p> <p>b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

E13.6.11 Places of Archaeological Significance

Comment: N/a

E13.6.12 Tree and Vegetation RemovalComment: N/a**E13.6.13 Signage**

Objective: To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.

Acceptable Solutions	Performance Criteria
A1 <i>Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the property not greater than 0.2m².</i>	P1 <i>New signs must be of a size and location to ensure that:</i> <ul style="list-style-type: none"> a) <i>period details, windows, doors and other architectural details are not covered or removed; and</i> b) <i>heritage fabric is not removed or destroyed through attaching signage; and</i> c) <i>the signage does not detract from the setting of a heritage place or does not unreasonably impact on the view of the place from public viewpoints; and</i> d) <i>signage does not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: Satisfies the performance criteria.**Table E13.1: Local Heritage Precincts**

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

Heritage Precincts – <ul style="list-style-type: none"> 1. <i>Evandale Heritage Precinct</i> 2. <i>Ross Heritage Precinct</i> 3. <i>Perth Heritage Precinct</i> 4. <i>Longford Heritage Precinct</i> 5. <i>Campbell Town Heritage Precinct</i>
Existing Character Statement - Description and Significance
<p>4 LONGFORD HERITAGE PRECINCT CHARACTER STATEMENT</p> <p><i>The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland, creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon</i></p>

estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.

Management Objectives

To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.

To ensure developments within street reservations in the towns and villages having Heritage Precincts do not adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.

Comment: *The proposal will require some additional setback and reduction in height to be consistent with the Heritage Precinct Character Statement and satisfaction of the Management Objectives.*

Assessment against F2.0 (Heritage Precincts Specific Area Plan)
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F2.1 Purpose of Specific Area Plan

F2.1.1 *In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a positive contribution to the streetscape within the Heritage Precincts.*

F2.2 Application of Specific Area Plan

F2.2.1 *This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.*

F2.3 Definitions**F2.3.1 Streetscape**

For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

F2.3.2 Heritage-Listed Building

For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

F2.4 Requirements for Design Statement

F2.4.1 *In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.*

F2.4.2 *The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.*

F2.4.3 *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

Comment: *The subject site is within the Heritage Precincts Specific Area Plan. Recommendations have been included to mitigate potential adverse effects upon the heritage character of the precinct.*

F2.5 Standards for Development

F2.5.1 Setbacks

Objective: To ensure that the predominant front setback of the existing buildings in the streetscape is maintained, and to ensure that the impact of garages and carports on the streetscape is minimised.

Acceptable Solutions (no performance criteria)

- A1 *The predominant front setback as identified in the design statement must be maintained for all new buildings, extensions, alterations or additions (refer Figure F2.4 & F2.8).*
- A2 *New carports and garages, whether attached or detached, must be set back a minimum of 3 metres behind the line of the front wall of the house which it adjoins (refer Figure F2.3, & F2.7).*
- A3 *Side setback reductions must be to one boundary only, in order to maintain the appearance of the original streetscape spacing.*

Comment: N/a

F2.5.2 Orientation

Objective: To ensure that new buildings, extensions, alterations and additions respect the established predominant orientation within the streetscape.

Acceptable Solutions (no performance criteria)

- A1 *All new buildings, extensions, alterations or additions must be orientated:*
- a) *perpendicular to the street frontage (refer Figure F2.5, F2.6, & F2.8); or*
 - b) *Where the design statement identifies that the predominant orientation of buildings within the street is other than perpendicular to the street, to conform to the established pattern in the street; and*
 - c) *A new building must not be on an angle to an adjoining heritage-listed building (refer Figure F2.5).*

Comment: N/a

F2.5.3 Scale

Objective: To ensure that all new buildings respect the established scale of buildings in the streetscape, adhere to a similar scale, are proportional to their lot size and allow an existing original main building form to dominate when viewed from public spaces.

Acceptable Solutions (no performance criteria)

- A1 *Single storey developments must have a maximum height from floor level to eaves of 3 metres (refer Figure F2.14).*

A2 Where a second storey is proposed it must be incorporated into the roof space using dormer windows, or roof windows, or gable end windows, so as not to detract from original two storey heritage-listed buildings (refer Figure F2.13 & F2.15).

A3 Ground floor additions located in the area between the rear and front walls of the existing house must not exceed 50% of the floor area of the original main house.

Comment: N/a

F2.5.4 Roof Forms

Objective: To ensure that the roof form and elements respect those of the existing main building and the streetscape.

Acceptable Solutions (no performance criteria)

A1.1 The roof form for new buildings, extensions, alterations, and additions must, if visible from the street, be in the form of hip or gable, with a maximum span of 6.5m and a pitch between 30 – 40 degrees (refer Figure F2.14 & F2.18); and

A1.2 Eaves overhang must be a maximum of 300mm excluding guttering.

A2 Where there is a need to use the roof space, dormer windows are acceptable and must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant (refer Figure F2.15).

A3 Where used, chimneys must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant.

A4 Metal cowls must not be used where they will be seen from the street.

Comment: N/a

F2.5.5 Plan Form

Objective: To ensure that new buildings, alterations, additions and extensions respect the setting, original plan form, shape and scale of the existing main building on the site or of adjoining heritage-listed buildings.

Acceptable Solutions	Performance Criteria
<p>A1.1 Alterations and additions to pre-1940 buildings must retain the original plan form of the existing main building; and</p> <p>A1.2 The plan form of additions must be rectilinear and consistent with the existing house design and dimensions.</p>	<p>P1 Original main buildings must remain visually dominant over any additions when viewed from public spaces.</p>
<p>A2 The plan form of new buildings must be rectilinear (refer Figure F2.9).</p>	<p>P2 No performance criteria</p>

Comment: N/a

F2.5.6 External Walls

<i>Objective: To ensure that wall materials used are compatible with the streetscape.</i>	
Acceptable Solutions	Performance Criteria
<p><i>A1.1 Materials used in additions must match those of the existing construction, except in additions to <u>stone or brick</u> buildings; and</i></p> <p><i>A1.2 External walls must be clad in:</i></p> <p><i>a) traditional bull-nosed timber weatherboards; if treated pine boards are used to replace damaged weatherboards they must be painted; thin profile compressed board weatherboards must not be used; or</i></p> <p><i>b) brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), including:</i></p> <ul style="list-style-type: none"> <i>• painted standard size bricks; or</i> <i>• standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or</i> <i>• standard brickwork rendered in traditional style; or</i> <i>• if a heritage-listed building, second-hand traditional local bricks.</i> <p><i>Heavily-tumbled clinker bricks must not be used; or</i></p> <p><i>c) concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted;</i></p> <p><i>d) concrete blocks in natural concrete finish must not be used.</i></p> <p><i>A1.3 Cladding materials designed to imitate traditional materials such as brick, stone and weatherboards must not be used.</i></p>	<p><i>P1 Materials used in minor additions to stone and brick buildings may be weatherboard.</i></p>

Comment: N/a

F2.5.7 Entrances and Doors

Objective: To ensure that the form and detail of the front entry is consistent with the streetscape.

Acceptable Solutions (no performance criteria)

- A1.1 *The position, shape and size of original door and window openings must be retained where they are prominent from public spaces; and*
- A1.2 *The front entrance location must be in the front wall facing the street, and be located within the central third of the front wall of the house; and*
- A1.3 *Modern front doors with horizontal glazing or similar styles must not be used (refer Figure F2.21).*

Comment: N/a

F2.5.8 Windows

Objective: To ensure that window form and details are consistent with the streetscape.

Acceptable Solutions (no performance criteria)

- A1 *Window heads must be a minimum of 300mm below the eaves line.*

Solid-void ratio

- A2 *Front façade windows must conform to the solid/void ratio (refer Figure F2.24 & F2.25).*

Window sashes

- A3 *Window sashes must be double hung, casement, awning or fixed appropriate to the period and style of the building (refer Figure F2.22 & F2.23).*
- A4 *Traditional style multi-pane sashes, when used, must conform to the traditional pattern of six or eight vertical panes per sash with traditional size and profile glazing bars.*
- A5 *Horizontally sliding sashes must not be used.*
- A6 *Corner windows to front facades must not be used.*

Window Construction Materials

- A7 *Clear glass must be used.*
- A8 *Reflective and tinted glass and coatings must not be used where visible from public places.*
- A9 *Additions to heritage-listed buildings must have timber window frames, where visible from public spaces.*
- A10 *Painted aluminium must only be used where it cannot be seen from the street and in new buildings*

A11	<i>Glazing bars must be of a size and profile appropriate for the period of the building</i>
A12	<i>Stick-on aluminium glazing-bars must not be used</i>
A13	<i>All windows in brick or masonry buildings must have projecting brick or stone sills</i>
French Doors, Bay Windows and Glass Panelling	
A14	<i>French doors and bay windows must be appropriate for the original building style and must be of a design reflected in buildings of a similar period.</i>
A15	<i>Where two bay windows are required, they must be symmetrically placed.</i>
A16	<i>Large areas of glass panelling must:</i>
a)	<i>Be divided by large vertical mullions to suggest a vertical orientation; and</i>
b)	<i>Be necessary to enhance the utility of the property or protect the historic fabric; and</i>
c)	<i>Not detract from the historic values of the original building.</i>

Comment: N/a

F2.5.9 Roof Covering

<i>Objective: To ensure that roof materials are compatible with the streetscape.</i>	
Acceptable Solutions (no performance criteria)	
A1.1	<i>Roofing of additions, alterations and extensions must match that of the existing building; and</i>
A1.2	<i>Roof coverings must be:</i>
a)	<i>corrugated iron sheeting in</i>
	<i>• Woodland Grey; or</i>
	<i>• Windspray; or</i>
	<i>• Shale Grey; or</i>
	<i>• Manor Red; or</i>
	<i>• Plantation; or</i>
	<i>• Jasper;</i>
	<i>or</i>
b)	<i>slate or modern equivalents, shingle and low profile tiles, where compatible with the style and period of the main building on the site and the setting. Tile colours must be:</i>
	<i>• dark gray; or</i>
	<i>• light grey; or</i>
	<i>• brown tones; or</i>
	<i>• dark red;</i>
	<i>or</i>
c)	<i>traditional metal tray tiles where compatible with the style and period of the main building on the site.</i>
A2	<i>Must not be klip-lock steel deck and similar high rib tray sheeting.</i>

Comment: N/a

F2.5.10 Roof Plumbing

Objective: To ensure that roof plumbing and fittings are compatible with the streetscape.

Acceptable Solutions (no performance criteria)

A1.1 Gutters must be OG, D mould, or Half Round profiles (refer Figure F2.26); and

A1.2 Downpipes must be zinc/laume natural, colorbond round, or PVC round painted.

A2 Downpipes must not be square-line gutter profile or rectangular downpipes (refer Figure F2.27).

Comment: N/a

F2.5.11 Verandahs

Objective: To ensure that traditional forms of sun and weather protection are used, consistent with the streetscape.

Acceptable Solutions (no performance criteria)**Original Verandahs**

A1 Original verandahs must be retained.

Replacement of Missing Verandahs

A2.1 The replacement of a missing verandah must be consistent with the form and detail of the original verandah; or

A2.2 If details of the original verandah are not available:

a) The verandah roof must join the wall line below the eaves line of the building (refer Figure F2.19); and

b) Verandah posts and roof profile must be consistent with that in use by the surrounding buildings of a similar period.

New Verandahs

A3 A new verandah, where one has not previously existed, must be consistent with the design and period of construction of the dominant existing building on the site or, for vacant sites, those of the dominant design and period within the precinct.

Comment: N/a

F2.5.12 Architectural Details

Objective: To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.

Acceptable Solutions (no performance criteria)**Original Detailing**

A1 *Original details and ornaments, such as architraves, fascias and mouldings, are an essential part of the building's character and must not be removed beyond the extent of any alteration, addition or extension.*

Non-original Detailing

A2.1 *Non-original elements must be consistent with the original architectural style of the dominant existing building on the site or, for vacant sites, be consistent with the existing streetscape; and*

A2.1 *Non-original elements must not detract from or dominate the original qualities of the building, nor should they suggest a past use which is not historically accurate.*

Comment: Meets the Acceptable Solutions.

Comment: Meets the Acceptable Solutions, but a condition is required.

Comment: N/a

F2.5.13 Outbuildings

Objective: To ensure that outbuildings do not reduce the dominance of the original building or distract from its period character.

Acceptable Solutions (no performance criteria)

A1 *Sheds must not be located on the lot between the back wall of the main house on the site and the front street boundary line.*

A2 *Sheds must be designed, in both scale and appearance, to be subservient to the primary buildings on the site.*

A3 *Garages and Carports must not be located in front of existing heritage-listed buildings, and must be setback a minimum of 3 metres behind the line of the front wall of the house that is set furthest back from the street (refer Figure F2.1 & F2.3).*

A4 *Any garage, including those conjoined to the main building, must be designed in the form of an outbuilding, with an independent roof form.*

A5 *Those parts of garages and sheds visible from the street must be consistent, in both materials and style, with those of any existing heritage-listed building on-site.*

A6 *The eaves height of a garage must not exceed 3m, and where visible from the street, the roof form and pitch must be the same as that of the main house.*

Comment: N/a

F2.5.14 Conservatories

Objective: To ensure new conservatories respect traditional location, form and construction.

Acceptable Solutions (no performance criteria)

A1 Conservatories must not be located at the front of a building.

A2 The scale, form, materials, and colours of a conservatory addition must respect the established style and period of the existing building.

Comment: N/a

F2.5.15 Fences and Gates

Objective: To ensure that original fences are retained and restored where possible and that the design and materials of any replacement complement the setting and the architectural style of the main building on the site.

Acceptable Solutions (no performance criteria)

A1.1 Replacement of front fence must be in the same design, materials and scale; or

A1.2

- a) Front fence must be a timber vertical picket fence with a maximum height of 1200mm.*
- b) Side and rear fences must be vertical timber palings to a maximum height of 1800mm.*

A2 Gates must match the fence, both in materials and design.

A3 Screen fences used to separate the front garden from the rear of the house must be of timber or lattice.

A4 Fences must not be:

- a) horizontal or diagonal timber slat fences; or*
- b) plastic covered wire mesh; or*
- c) flat metal sheet or corrugated sheets; or*
- d) plywood and cement sheet.*

Comment: N/a

F2.5.16 Paint Colours

Objective: To ensure that new colour schemes maintain a sense of harmony with the street or area in which they are located.

Acceptable Solutions (no performance criteria)

A1.1 Colour schemes must be drawn from heritage-listed buildings within the precinct; or

<i>A1.2 Colour schemes must be drawn from the following:</i>	
<i>a)</i>	<i>Walls – Off white, creams, beige, tans, fawn and ochre.</i>
<i>b)</i>	<i>Window & Door frames – white, off white, Indian red, light browns, tans, olive green and deep Brunswick green.</i>
<i>c)</i>	<i>Fascia & Barge Boards - white, off white Indian red, light browns, tans, olive green and deep Brunswick green</i>
<i>d)</i>	<i>Roof & Gutters – deep Indian red, light and dark grey, (black, green and blue are not acceptable).</i>
<i>A2</i>	<i>There must be a contrast between the wall colour and trim colours.</i>
<i>A3</i>	<i>Previously unpainted brickwork must not be painted, except in the case of post-1960 buildings.</i>

Comment: Meets the Acceptable Solutions.

Comment: Meets the Acceptable Solutions, but a condition is required.

Comment: N/a

F2.5.17 Lighting

<i>Objective: To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape</i>	
<i>Acceptable Solutions (no performance criteria)</i>	
<i>A1</i>	<i>New lighting such as flood lights, spotlights or entry lights must be carried out such that wiring, fixings and fittings are concealed.</i>

Comment: Meets the Acceptable Solutions.

Comment: Meets the Acceptable Solutions, but a condition is required.

Comment: N/a

E15.0 Signs Code

E15.1 Purpose of the Signs Code

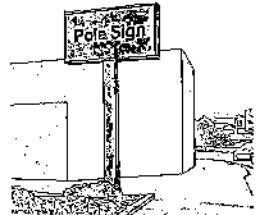
E15.1.1 The purpose of this Code is to regulate the construction or putting up for display of a sign or hoarding.

E15.2 Application of this Code

E15.2.1 This Code applies to all signs and hoardings within the Planning Scheme area.

E15.3 Definition of Terms Used in this Code

E15.3.1 In this Code, unless the contrary intention appears:

<p>Pole Sign</p> 	<p>A sign fixed to a pole(s) that is no more than 7m above ground level.</p>
---	--

E15.5.3 Design and siting of signage

Objective: To ensure that the design and siting of signs complement or enhance the characteristics of the natural and built environment in which they are located.

Pole Sign	
Acceptable Solutions	Performance Criteria
<p>A35 No acceptable solution</p>	<p>P35 A pole sign located in the:</p> <ul style="list-style-type: none"> • General Business Zone; or • General Industrial Zone; or • Local Business Zone; or • Light Industrial Zone; or • Rural Resource Zone; or • Village Zone <p>must demonstrate that:</p> <ol style="list-style-type: none"> a) the sign is integral to the particular use of the site; and b) no other form of permitted signage will meet the needs of the proprietor; and c) the sign does not unreasonably dominate the streetscape and reflects the prevailing character of the area, in terms of shape, proportions and colours; and d) it does not conflict with the Zone Purpose as outlined in Part D of this planning scheme.
<p>A36 A pole sign must:</p> <ol style="list-style-type: none"> a) be in proportion to the viewable portion of the open space and building to which it is associated; and 	<p>P36 If greater than 5m in height or a face greater than 3m in height, it must be demonstrated that the sign will:</p> <ol style="list-style-type: none"> a) be sympathetic to the architectural character and detailing of the building; and b) be of appropriate dimensions so as not

<ul style="list-style-type: none"> b) have a maximum height of 5m. c) have a minimum clearance of 2.7m above the ground; and d) have a maximum area of 6m² with respect to each face; and e) have maximum face dimensions of 2.5m horizontally and 3 vertically; and f) not have any part projecting beyond the boundaries of the site; g) not be rotating or moving. 	<ul style="list-style-type: none"> to dominate the streetscape or premises on which it is located; and c) not result in loss of amenity to neighbouring properties; and d) not involve the unnecessary repetition of messages or information on the same street frontage; and e) not contribute to or exacerbate visual clutter; and f) not distract motorists as a result of size illumination or movement; and g) under no circumstances exceed 7m in height.
<p>A37 A pole sign must be limited to one per site.</p>	<p>P37 For more than one sign per site it must be demonstrated that:</p> <ul style="list-style-type: none"> a) more than one sign is justified by the size of the site or its location on a corner; and b) they will be sympathetic to the architectural character and detailing of the building; and c) they will be of appropriate dimensions so as not to dominate the streetscape or premises on which it is located; and d) they will not result in loss of amenity to neighbouring properties; and e) they will not involve the unnecessary repetition of messages or information on the same street frontage; and f) they will not contribute to or exacerbate visual clutter; and g) not distract motorists as a result of size illumination or movement.

E15.5.2 Heritage Precincts

<p><i>Objective: To ensure that the design and siting of signs complement or enhance the streetscape of Heritage Precincts.</i></p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1 No acceptable solution</p>	<p>P1 If within the Heritage Precincts Specific Area Plan, shall be consistent with the Character Statements.</p>

Comment:

PLAN 2

**PLANNING APPLICATION P15-075
15046 MIDLAND HWY, SYMMONS PLAINS**

ATTACHMENTS

- A** Application & plans
- B** Representation
- C** Tasmanian Heritage Council Notice of Heritage Decision
- D** Heritage Adviser's review
- E** Planning Scheme assessment

PLANNING APPLICATION Proposal

Description of proposal: ALTERATION + EXTENSION TO
HOMESTEAD AT SYMMONS PLAINS IN ORDER
TO ACCOMMODATE A CONTEMPORARY LIFESTYLE
THE EXISTING BUILDING WILL HAVE SIGNIFICANT
CONSERVATION WORKS UNDERTAKEN TO RECTIFY
CURRENT ISSUES WITH RISINS DAMP AND
DAMAGE.

(attach additional sheets if necessary)

Site address: MIDLAND HIGHWAY PERTH TAS
7300

TITLE REFERENCE 163564/2

ID no: 3171040 and/or Council's property no:
and/or

Area of land: 47.85 ha ha/m² and/or CT no: 163564/2

Estimated cost of project \$1 million (include cost of landscaping,
car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No

If yes -- main building is used as RESIDENTIAL

Is any signage required? NO

(if yes, provide details)

Exhibited



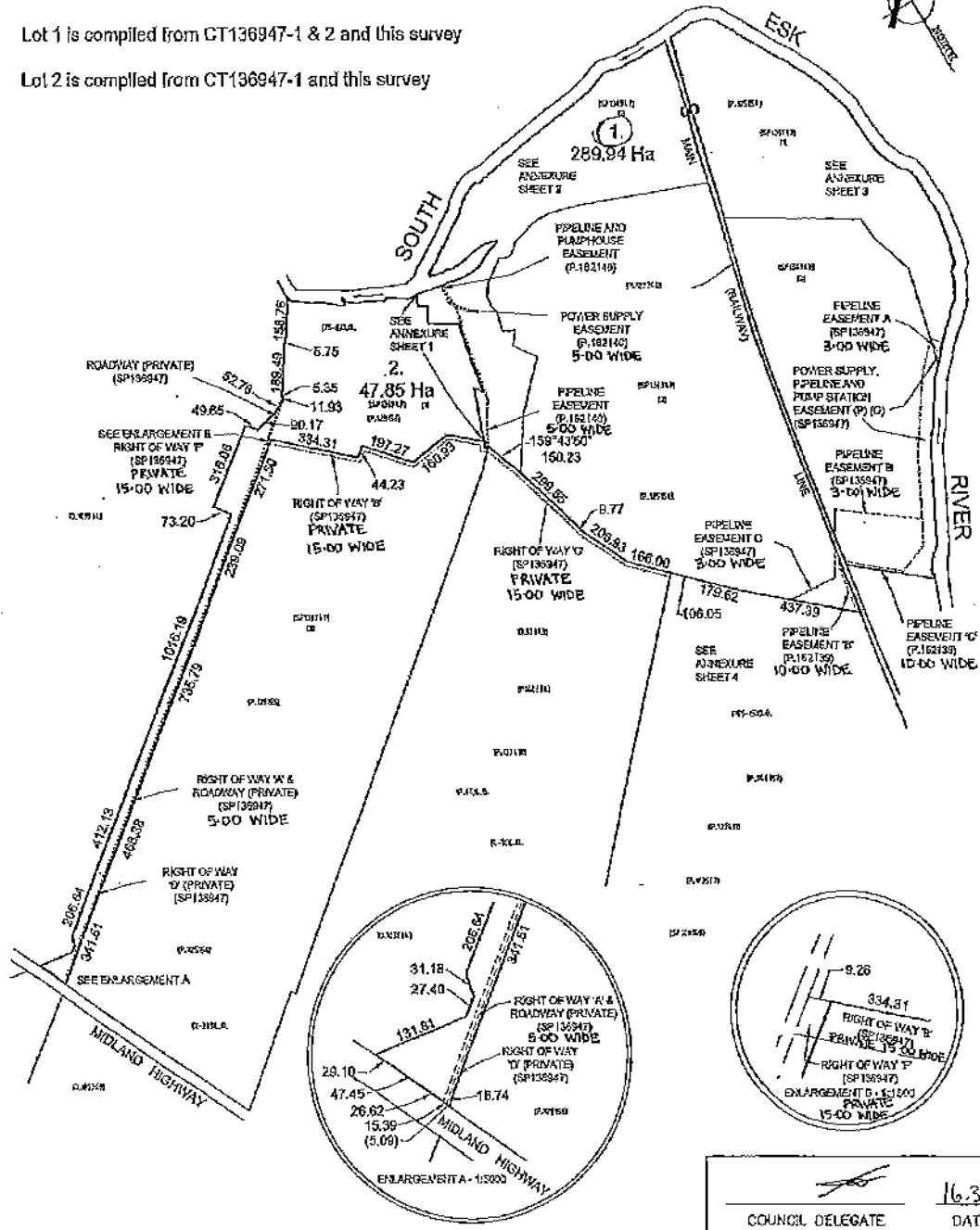
OWNER CLOVELLY TASMANIA PTY. LTD.	PLAN OF SURVEY	REGISTERED NUMBER SP163564
FOLIO REFERENCE C.T. 136947-1 C.T. 136947-2 C.T. 136947-3 C.T. 148604-1	BY SURVEYOR R.M. PECK BULLOCK SURVEYING	APPROVED EFFECTIVE FROM 18 APR 2012 <i>Alice Kawa</i> Recorder of Titles
GRANTEE PART OF 256° 3' 0" AND PART OF LOT 1, 572° 0' 0" GTO. TO JAMES ARNDELL YOUL AND PART OF LOT 4 (717Ac) GTO. TO JOHN HELDER WEDGE	LOCATION LAND DISTRICT OF SOMERSET PARISH OF ESKDALE	SCALE 1:14000 LENGTHS IN METRES

MAPSHEET MUNICIPAL CODE No 123 (5238, 5239)	LAST FOLIO REF. UPI No 47100192	LAST PLAN No. SP136947, SP148604	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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INDEX PLAN

Lot 1 is compiled from CT136947-1 & 2 and this survey

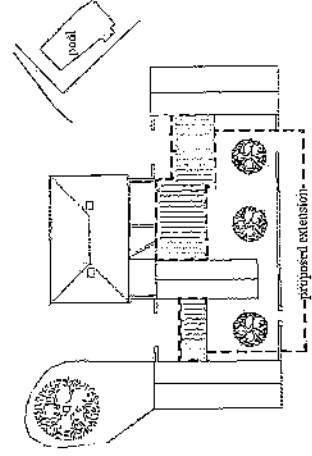
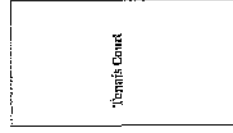
Lot 2 is compiled from CT136947-1 and this survey



Approved

COUNCIL DELEGATE
16.3.12
DATE

South Esk River



existing driveway

Soil cutting
to complete
paving radius from
house maintained
gardens and
grassland beyond

Site Plan 1:500

cumululus studio
architecture + design
141/143
St Albans Rd
Northcote VIC 3070
Ph: 03 9478 0000
www.cumulusstudio.com.au

Client: **Site Plan**
Project: **Symphony Plains**
Scale: **1:500**

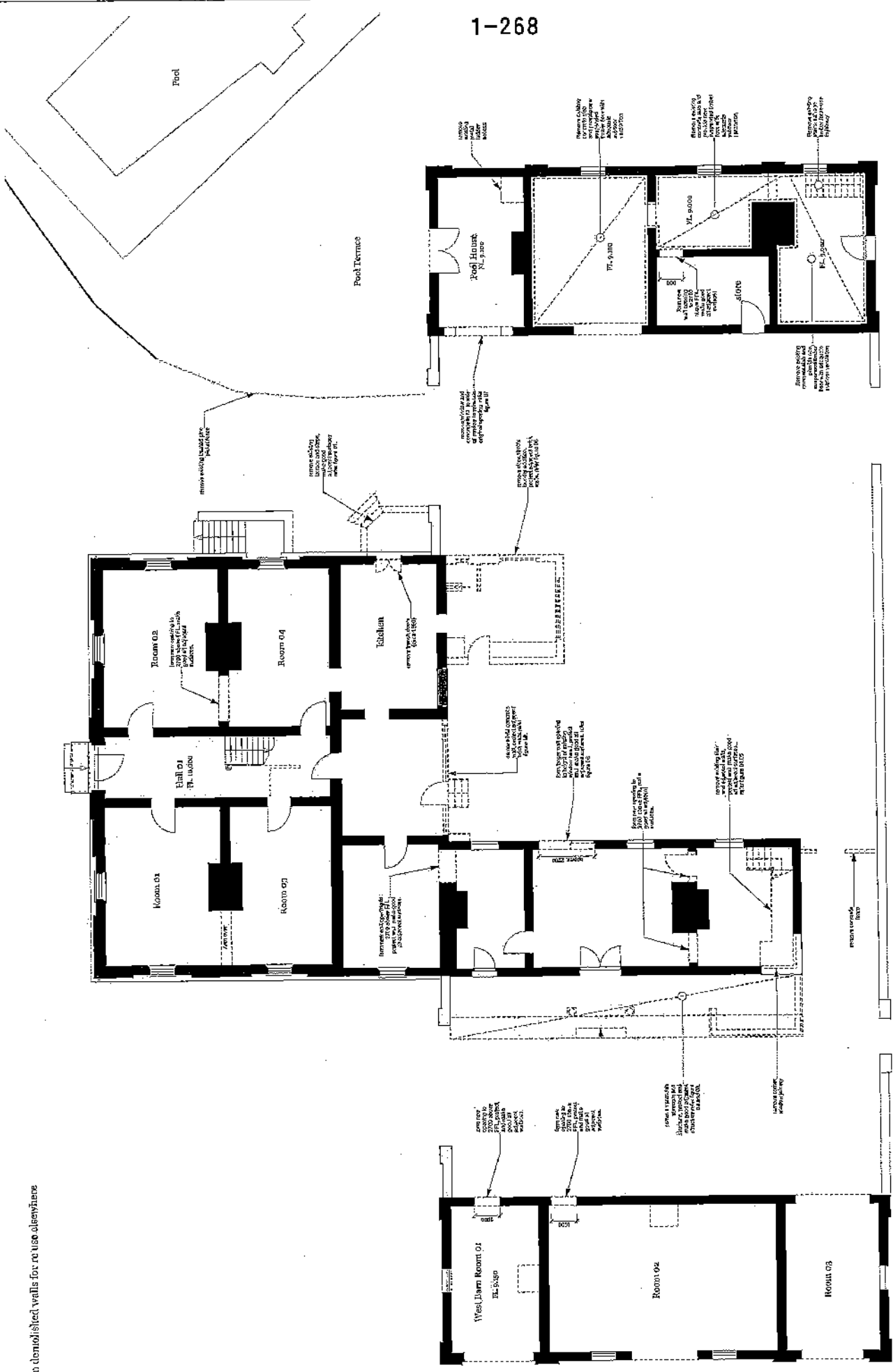
Project No. **14125**
Scale: **1:500**
Date: **10/10/2013**

Project No. **ADD-00 B**




Location Plan not to scale

Exhibited

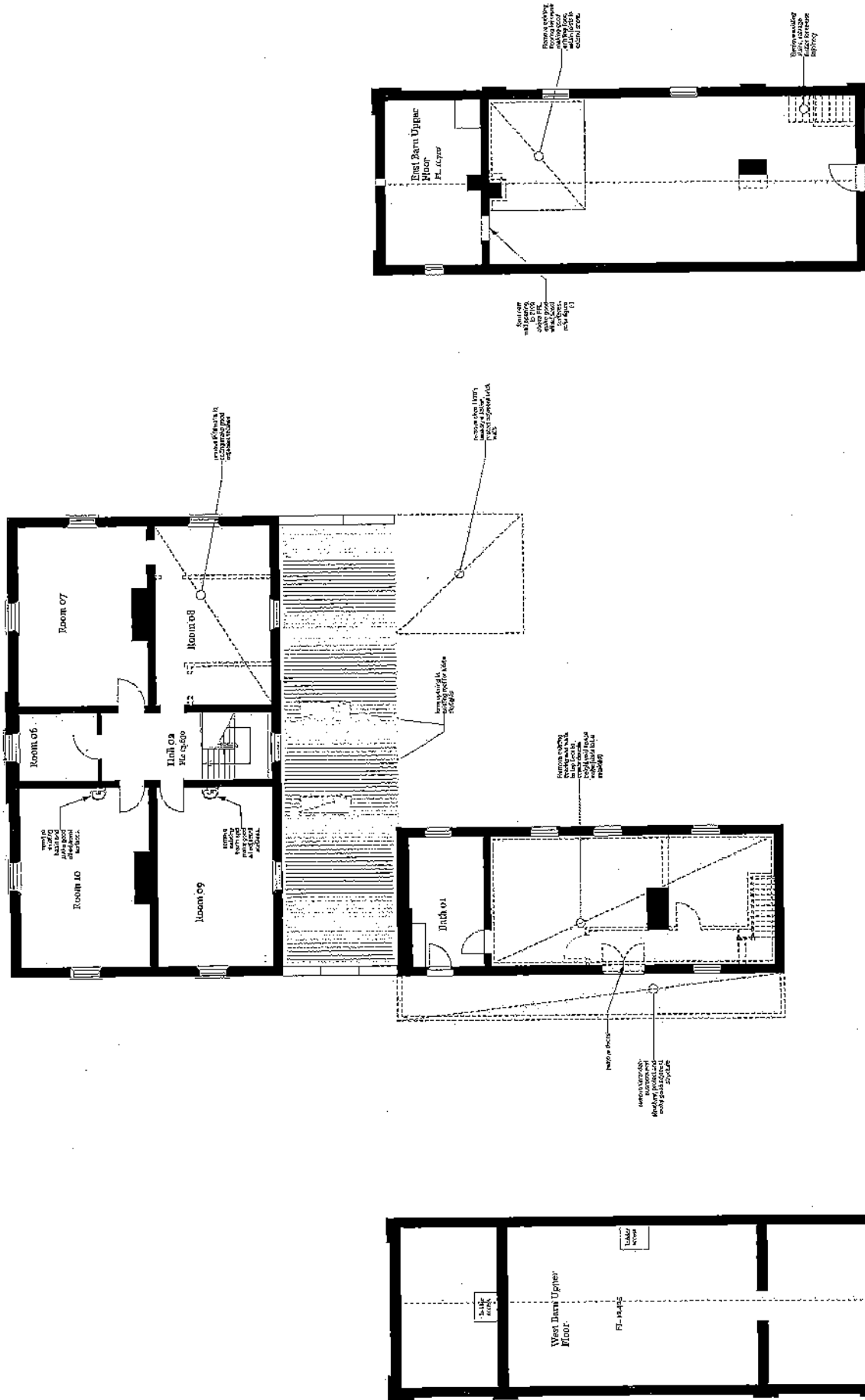


General Notes:
 Retain all bricks from demolished walls for re use elsewhere

 CUMULUS studio architects + design 1000 Broadway St. Philadelphia, PA 19107 Tel: 215.561.1111 Fax: 215.561.1112 www.cumulusstudio.com		Project No: 14125 Drawing No: A01-00 B
Reason for Issue: Development App. Scale: 1/8"=1'-0" Date: 04/14/14 Drawn by: JH Checked by: TH	Leveling Size: Ground Demolition Symons Plans Symons Plan Tex	Notes: 1. All work shall be in accordance with relevant codes and standards. 2. All work shall be in accordance with the approved plans. 3. All work shall be in accordance with the approved specifications. 4. All work shall be in accordance with the approved schedule.

Exhibited

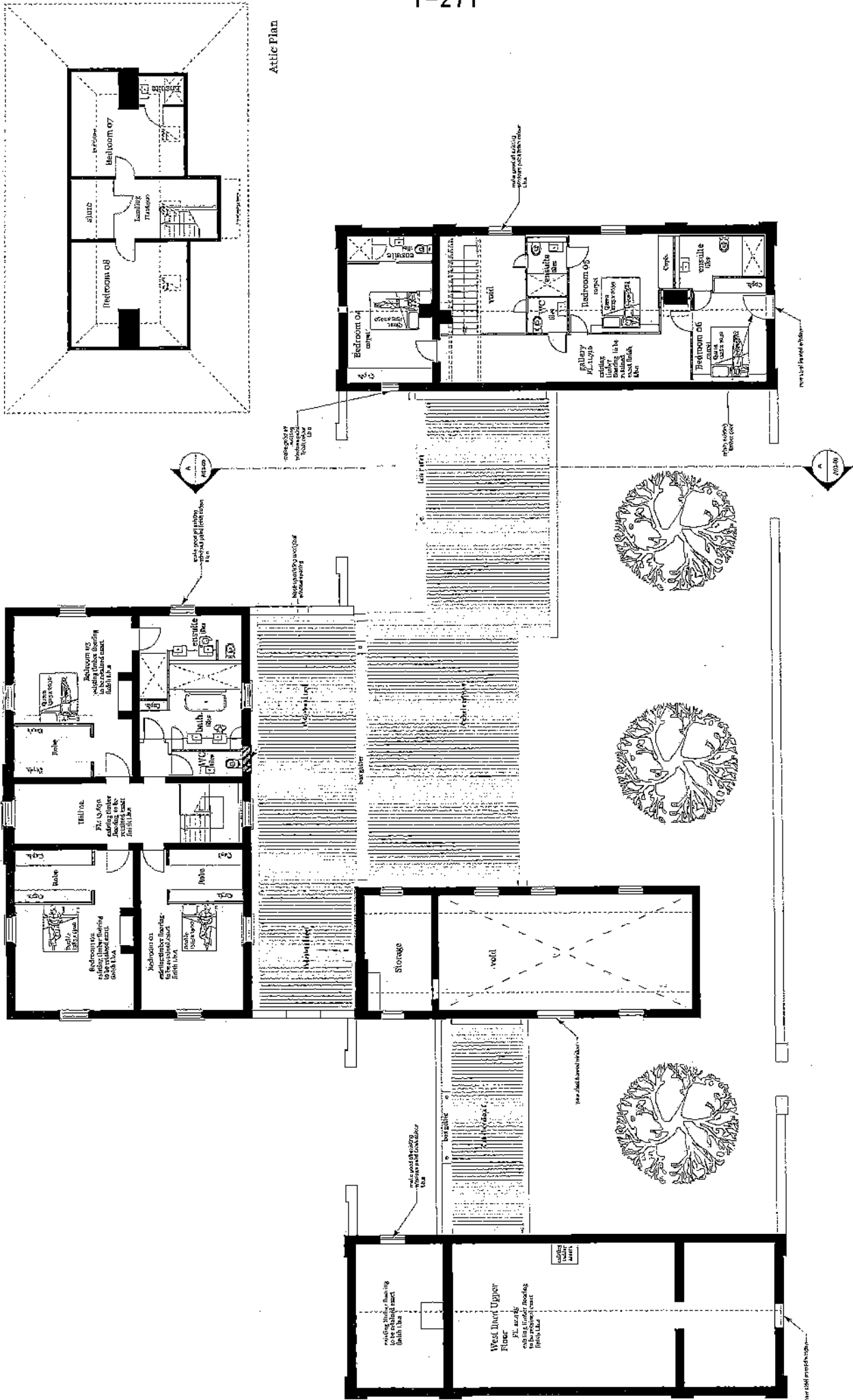
General Notes:
Retain all bricks from demolished walls for re use elsewhere



<p>cumulus studio architecturo + design 2000 West 10th Street Vancouver, BC V6H 2B6 Tel: 604.681.1111 www.cumulusstudio.com</p>		<p>Project No: 14125</p> <p>Project Name: A01-01 B</p>
<p>Project Location: Cowichan Valley, BC</p> <p>Scale: 1:100/80/2</p> <p>Drawn By: WA</p> <p>Checked By: TH</p>	<p>Project Title: First Demolition</p> <p>Project Type: Symmetrical Plane</p> <p>Project Phase: 2nd</p>	<p>Client: [Redacted]</p> <p>Contractor: [Redacted]</p> <p>Architect: [Redacted]</p> <p>Structural Engineer: [Redacted]</p> <p>Electrical Engineer: [Redacted]</p> <p>Mechanical Engineer: [Redacted]</p> <p>Plumbing Engineer: [Redacted]</p> <p>Fire Engineer: [Redacted]</p> <p>Other: [Redacted]</p>

Exhibited

Attic Plan

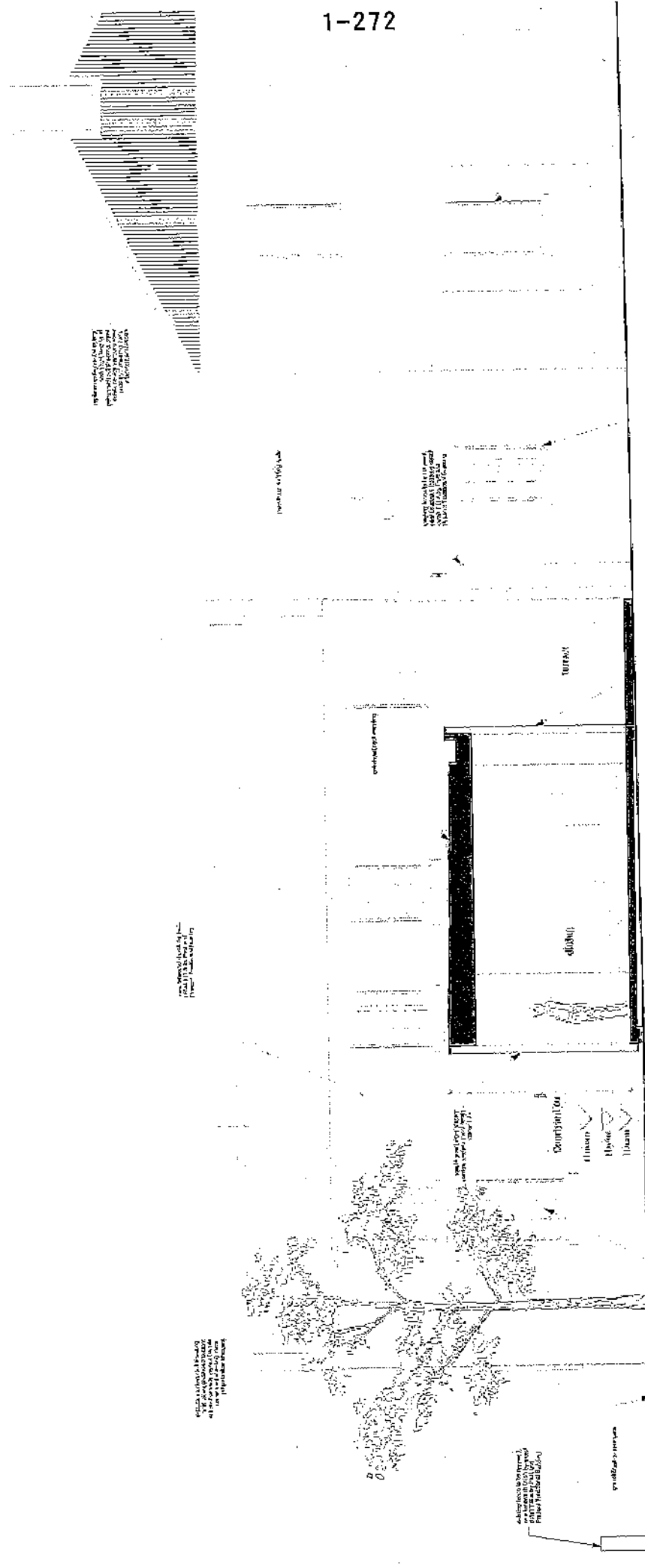


<p>Cumulus Studio Architects + Design 1000 N. 1st St. Suite 100 Portland, OR 97227 503.255.1111 www.cumulusstudio.com</p>		<p>Project No: 14125</p> <p>Scale: 1/16" = 1'-0"</p> <p>Drawn By: PA</p> <p>Checked By: TJ</p>
<p>Client: Symone Films</p> <p>Address: 1000 N. 1st St., Suite 100, Portland, OR 97227</p>		<p>Project Name: A01-04 B</p> <p>Phase: Design</p>
<p>Notes: 1. Make good of existing floor joists in bedrooms 04, 05, 06, and 07.</p> <p>2. New 2x4 floor joists in bedrooms 04, 05, 06, and 07.</p> <p>3. New 2x6 floor joists in bedrooms 04, 05, 06, and 07.</p>		

0 5 6 7 8 9 10 M

Prohibited

1-272



14125

14125

14125

14125

14125

14125

14125

14125
A03-00 B

Scale: 1:1000
Down: RA
Checked: TI

Section: A-A
Dychnous Plafite
Symmetry: Plafite

cumulus studio
architectures + interiors
175 rue de la République
10000 Paris
Tel: +33 (0)1 42 50 50 50
Fax: +33 (0)1 42 50 50 50
www.cumulusstudio.com

ADP: Architecture
ADP: Architecture
ADP: Architecture

ADP: Architecture
ADP: Architecture
ADP: Architecture

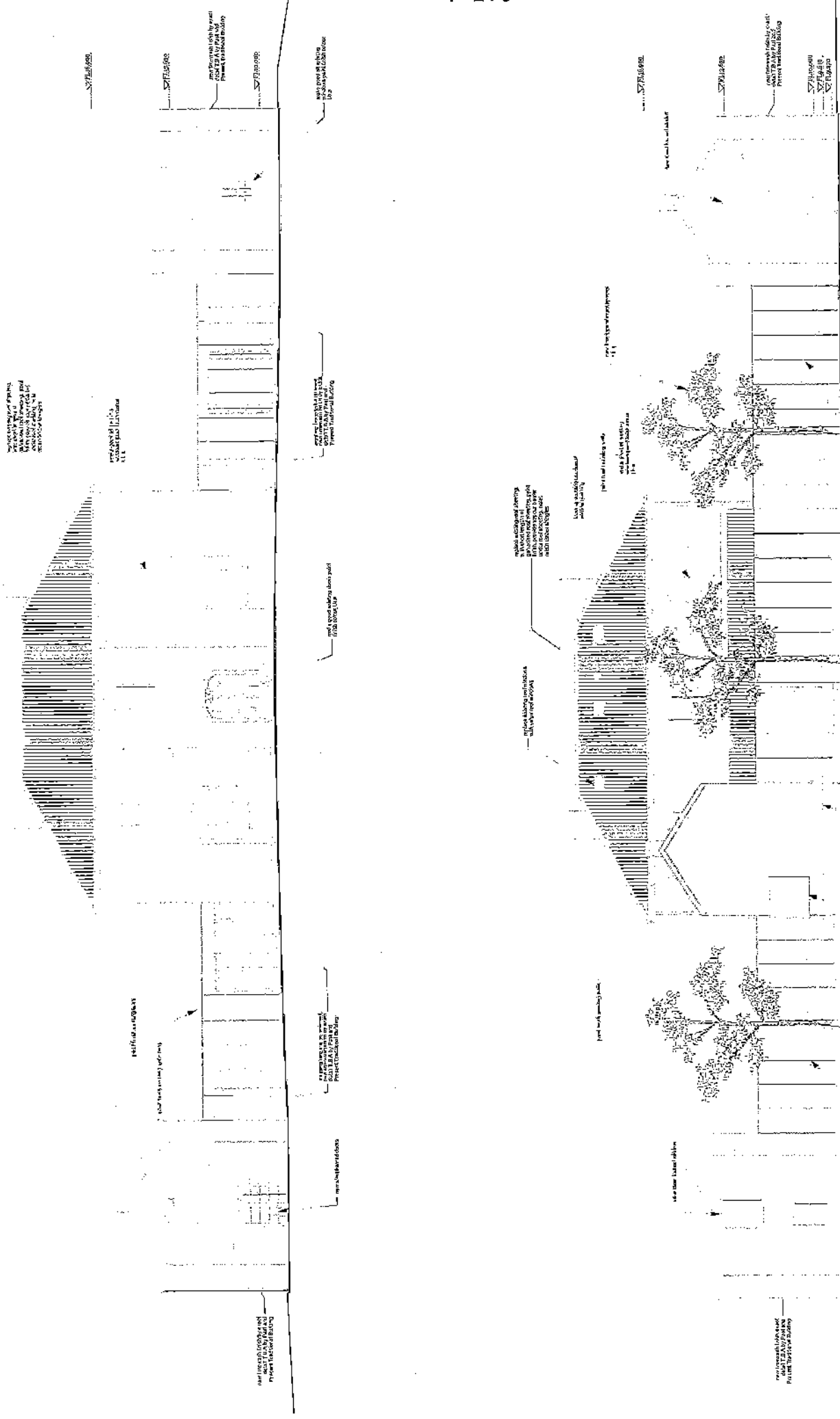
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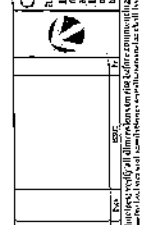
Project No. 14125
 Drawing No. A04-00 A
 Scale: 1:100 @ A4
 Date: 14/09/10
 Drawn By: PA
 Check By: TL

cumulus studio
 architects + design
 100/110 Street
 North Sydney NSW 1585
 Australia
 Tel: 61 2 9550 2222
 Fax: 61 2 9550 2223
 Email: info@cumulusstudio.com.au
 www.cumulusstudio.com.au

Project No.	14125
Drawing No.	A04-00 A
Scale	1:100 @ A4
Date	14/09/10
Drawn By	PA
Check By	TL

Project Name: Development Appl.
 Project Location: [Redacted]
 Project Description: [Redacted]

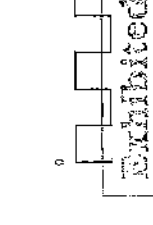
Project No. 14125
 Drawing No. A04-00 A




Project No.	14125
Drawing No.	A04-00 A
Scale	1:100 @ A4
Date	14/09/10
Drawn By	PA
Check By	TL

Project Name: Development Appl.
 Project Location: [Redacted]
 Project Description: [Redacted]

Project No. 14125
 Drawing No. A04-00 A





 cumulus studio architecture + design 1000 Broadway, Suite 200 San Francisco, CA 94107 Tel: 415.774.8888 Fax: 415.774.8889 www.cumulusstudio.com		Drawing title: Elevations Symmons Plans Symmons Plans Symmons Plans	Project No. 14125 Drawing No. A04-01 A
Reason for Issue: Development App. Scale: 1/8" = 1'-0"		Design: EA Checked By: TH	Date: 1/10/2010



praxisenvironment

heritage

planning

archaeology

po box 338
north hobart
tasmania 7002

0418 303 184
info@prax.com.au

Heritage Impact Assessment

Symmons Plains Homestead

15046 Midlands Highway
PERTH TASMANIA

Brad Williams
Heritage Consultant

For Cumulus Studio
On behalf of Stephen and Jane Creese

February 2015

Contents:

1. PROJECT BRIEF4

2. DESCRIPTION OF THE PLACE AND BRIEF HISTORY6

3. STATEMENT OF HISTORIC HERITAGE SIGNIFICANCE12

4. THE PROPOSED DEVELOPMENT AND ASSESSMENT OF HERITAGE IMPACT15

5. CONCLUSION AND RECOMMENDATIONS37

This document was written by Brad Williams (BA.Hons Archeology, G.Dip Maritime Archaeology, MA Cultural Heritage Management)
Historical Archaeologist, Heritage Consultant and Director of Praxis Environment.

Unless otherwise stated, all photographs were taken by Brad Williams, November 2014 and February 2015.

Unless otherwise stated, the north point (or approximate) of maps and plans is to the top of the page.

Project north has been designated as the main façade of the homestead.

Cadastral information depicted in this document must not be relied upon without verification by a Surveyor.

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1. Project brief

Praxis Environment has been commissioned by Cumulus Studio (Launceston) on behalf of Stephen and Jane Creese in order to assess the possible historic heritage impact arising from various restoration, renovation and adaptation works, as well as an extension to the Symmons Plains homestead, Perth, Tasmania (the *place*).

The place is listed on the Tasmanian Heritage Register (Place ID 5000), as well as Table E13.2 (Heritage) of the Northern Midlands Interim Planning Scheme 2013 (Place ID 136). Accordingly, any proposals for use or development of the place must be approved by the Tasmanian Heritage Council (under Part 6 of the *Historic Cultural Heritage Act 1995*) and by the Northern Midlands Council (under Part E13.6 of the *Northern Midlands Interim Planning Scheme 2013*).

Accordingly, this document has been commissioned to assess the possibility of historic heritage impact arising from the proposal to accompany a development application to Northern Midlands Council and consequent referral to the Tasmanian Heritage Council. This document is not intended to be a comprehensive conservation management plan, however aims to provide an understanding of the historic heritage significance of the place sufficient to guide the design process in formulating a development scheme which meets the owners desires and requirements whilst providing a proposal which is acceptable to permit authorities who must assess and determine the application and its impact upon the historic heritage values of the place. This document has been formulated with regards to the Articles of the ICOMOS Australia *Burra Charter*, which is the generally accepted industry standard for the management of historic heritage values and also broadly applies the process espoused by J.S. Kerr in *The Conservation Plan: a Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*.¹

The process involved in the formulation of the plans in-line with heritage input involved an initial site meeting to discuss broad concepts, subsequent to which the first version of plans were drafted for heritage comment. A preliminary heritage impact assessment was undertaken which identified several aspects of the proposal which were of concern due to heritage impacts which were not justifiable for the achievement of the scheme and accordingly these were revised to form the DA version against

¹ National Trust of New South Wales, Sydney, 1990.

which the current assessment is undertaken. This iterative process of allowing seeking heritage input at the outset and during the design process, with an understanding of the significance of the place, is consistent with conservation planning principles outlined above.

2. Description of the place and brief history

Symmons plains homestead is situated upon a 47.85 hectare allotment which is part of a larger rural holding (856 hectare) – the Symmons Plains property. The homestead complex comprises of a classically Georgian style homestead comprising of two levels plus attic and cellar as well as three outbuildings – one being the central rear wing of the homestead which has been converted to a separate (attached) residence, the ‘western outbuilding’ which is a stables and coach house converted to a garage and the ‘eastern outbuilding’ which is a former ancillary homestead/farm outbuilding (reputedly a granary) converted to a poolhouse, garage and storage space. Each of these will be described in more detail below.

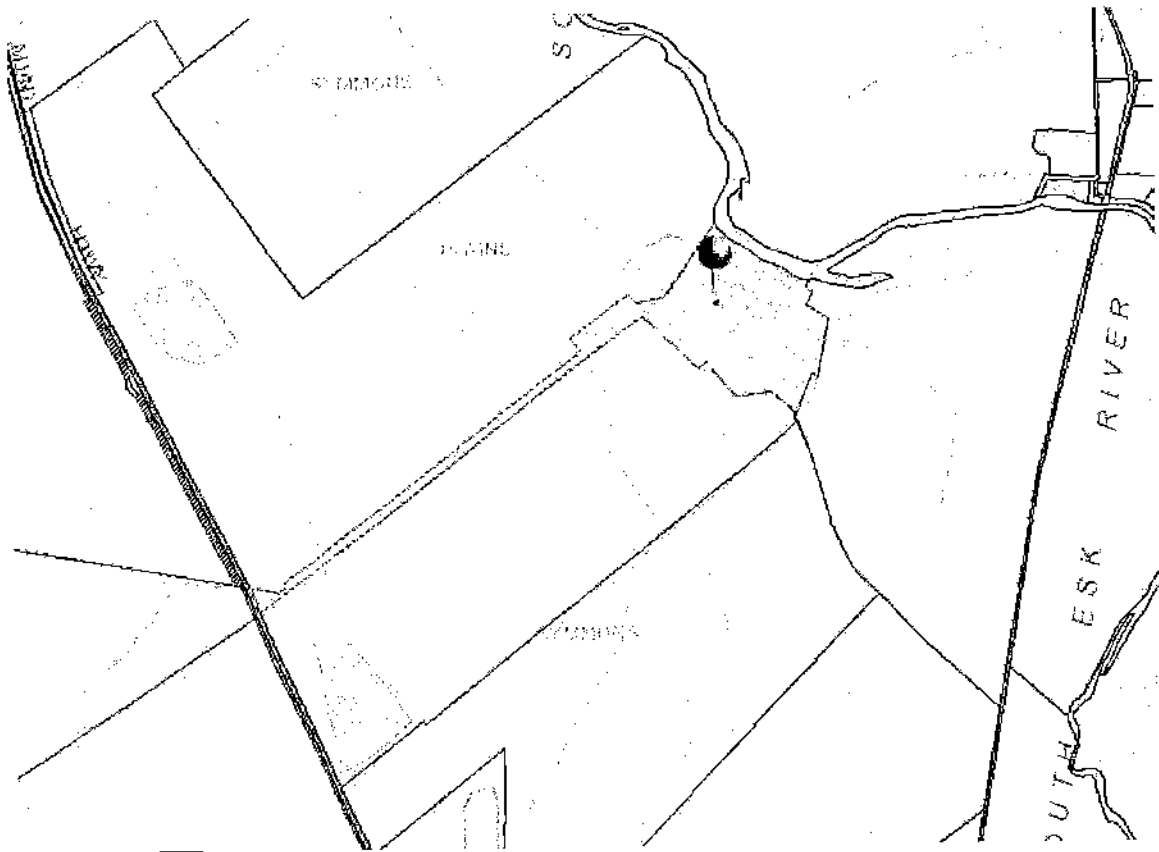


Figure 2.1 – Cadastral boundaries of the Symmons Plains Homestead block, surrounded by the rural holding. From www.thelist.tas.gov.au.



Figure 2.2 – A 2007 aerial photograph of the Symmons Plains homestead environs, the homestead outlined in red. Adapted from GoogleEarth.

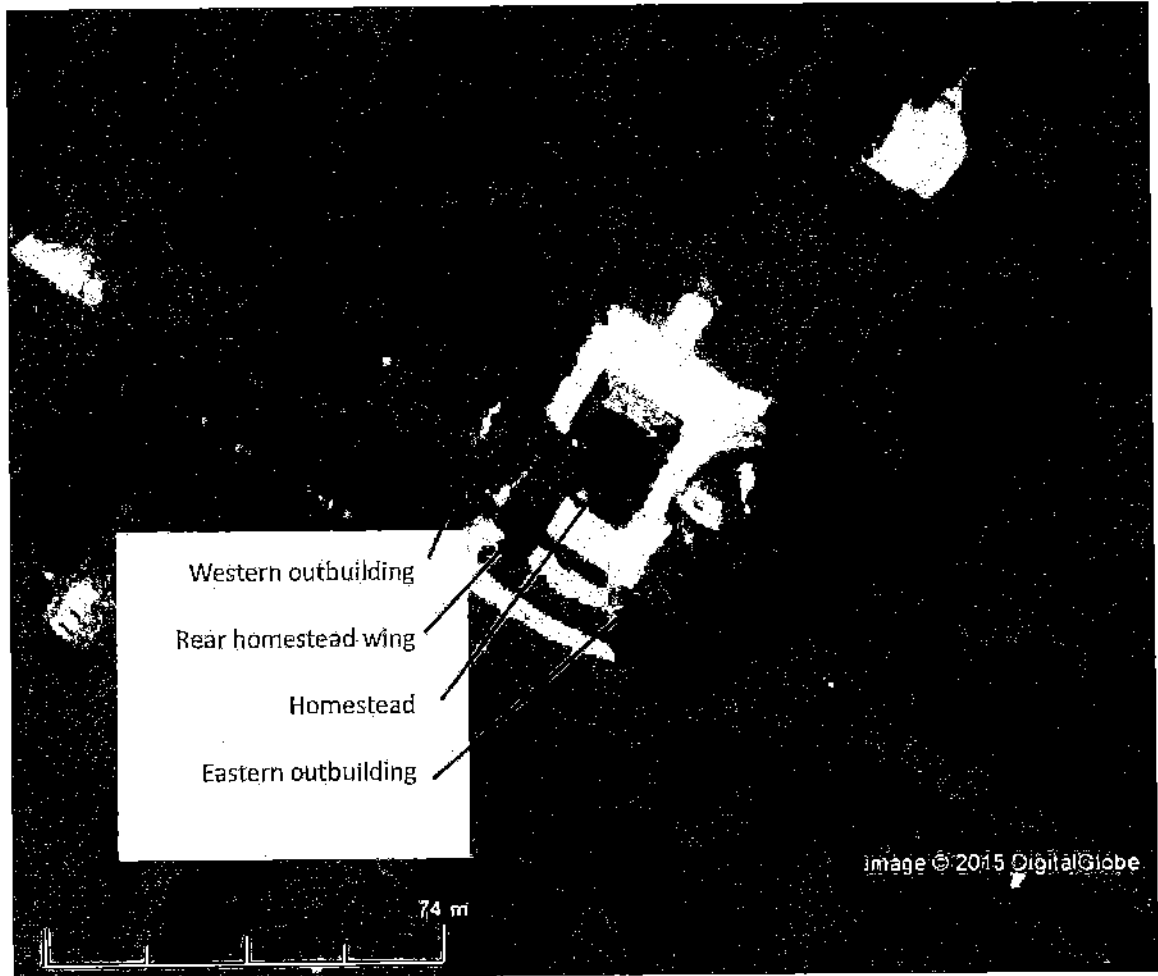


Figure 2.3 – A 2007 aerial photograph of the Symmons Plains homestead environs depicting the buildings as referred to here. Adapted from GoogleEarth.



Figure 2.4 – The façade (northern elevation) of the Symmons Plains homestead, the outbuildings can be seen on each side.

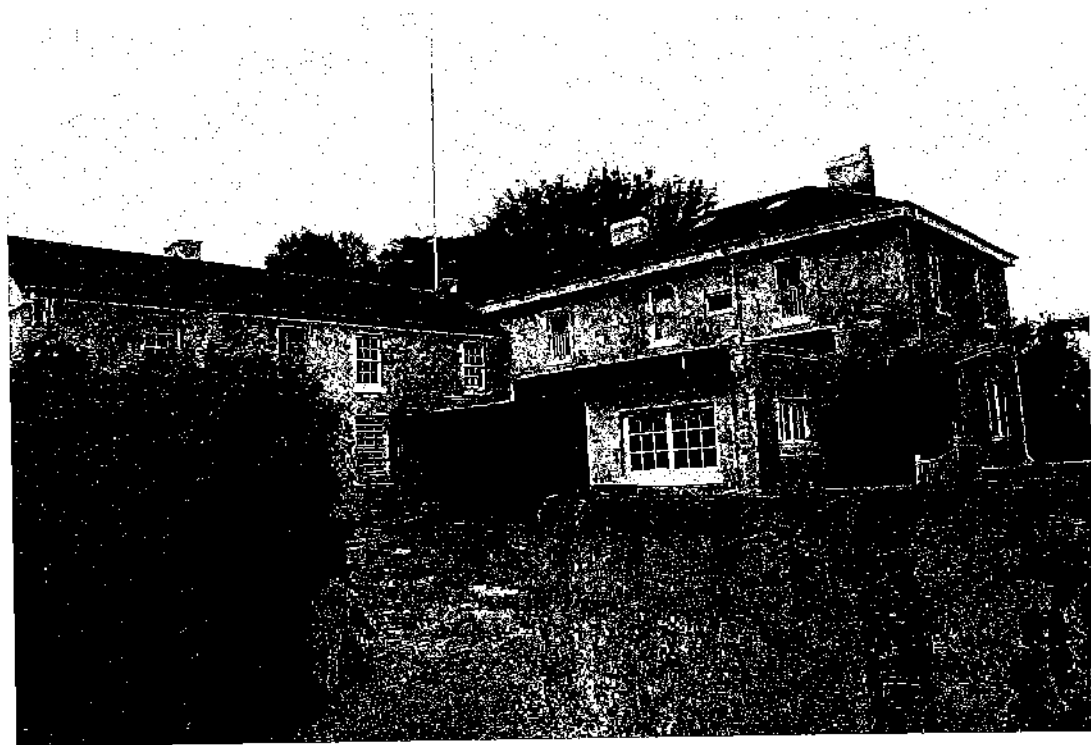


Figure 2.5 – The rear (southern) elevation of the Symmons Plains homestead, the wing on the left side of the photograph.



Figure 2.6 – The western outbuilding – former coach house and stables.



Figure 2.7 – The eastern outbuilding – former granary.

A comprehensive history of the place is beyond the scope of this assessment, however consistent with the *Burra Charter* process, a sufficient understanding of the history of the place is required in order to frame and contextualise the significance of the place.

The land upon which the Symmons Plains homestead is situated was granted to the Reverend John Youl, the first Clergyman in Northern Tasmania in the 1820s, although the homestead was established by his son John Arndell Youl around 1839, Reverend Youl having died in 1827. John Arndell Youl was later knighted and was a pioneer of the trout industry in Tasmania. Seven generations of the Youl family lived and farmed Symmons Plains until the property was sold in 2011 to Stephen Crease/Clovelly Tasmania Pty. Ltd.

The homestead complex remains largely in its original form, comprising of the main homestead and the three outbuildings forming an unusual double courtyard area partially enclosed in a garden wall. The homestead has been subject to adaptations and modernisation through the generations of the Youl family, yet retains the ability to demonstrate a typically Georgian large-scale farm homestead of two levels plus cellar and attic. The former granary (eastern outbuilding) has been modified, particularly on the northern end, to form a coach house and the inward facing elevation has been subject to modification of apertures. This building appears to have been largely disused for some time and is in a deteriorating condition. The stables and coach house (western outbuilding) is in largely original condition and appears to have been subject to little modification and is in an advancing state of deterioration with some structural issues having been caused by (now removed) trees and the roof is in urgent need of attention. The central outbuilding, whilst retaining its original form, has been heavily modified, probably during the late nineteenth century and again in the latter half of the twentieth century. The original layout and function of this building is difficult to discern without invasive investigations – it may represent the original kitchen and servants wing which has been modified to a more formal space in the late nineteenth century and then converted to a self-contained flat during the latter half of the twentieth century.

3. Statement of historic heritage significance

The Tasmanian Heritage Register entry for Symmons Plains only contains a very brief statement of significance for the place and is not considered to be an adequate basis upon which an assessment of heritage impact of the proposed development can be undertaken.

Accordingly, as the basis for this document, an assessment of the historic cultural heritage significance of the place has been undertaken. Note that the brief for this project did not include detailed historical research into the history of the place; therefore further historical research may allow further refinement of this statement of significance.

This assessment of significance is based upon the national HERCON standard for statements of significance, based on the amount of information currently at-hand. Note that natural history values have not been assessed here, as these are beyond the scope of this assessment.

A. Importance to the course, or pattern of our cultural or natural history.

The Symmons Plains homestead complex is of historic heritage significance as the home of the Youl family for seven generations – originally settled by the Reverend John Youl, the first Clergyman in Northern Tasmania, with the homestead complex established by his son, Sir John Arndell Youl, a prominent pastoralist and pioneer of the trout industry in Tasmania. The Symmons Plains property and homestead complex represents a typical nucleus of a large-scale colonial landholding demonstrative of the colonial settlement of rural Tasmania.

B. Possession of uncommon, rare or endangered aspects of our cultural or natural history.

The Symmons Plains homestead complex is not considered to represent any uncommon, rare or endangered aspects of our cultural or natural history.

C. Potential to yield information that will contribute to an understanding of our cultural or natural history.

An assessment of the research (e.g. archaeological) potential of the Symmons Plains homestead is beyond the scope of this assessment, however given the fact that the homestead complex is largely extant, the archaeological potential of the immediate environs of the homestead are likely to be low.

D. Important in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Symmons Plains homestead complex is of historic heritage significance as a fine example of a colonial farm complex comprising of the homestead and associated outbuildings. The homestead is a fine example of a typically Georgian homestead, stark in its external appearance and detailing featuring a central front door with fanlight and sidelights, flanked by symmetrically positioned double hung sash windows all set within a three bay façade with a slight projection of the central bay. The upper façade featuring the typically Georgian three-window configuration of timber double hung sash windows. The side elevations are similarly typical of a stark and simple Georgian homestead with the main portion of the homestead featuring four windows (two upper and two ground floor). The roof is again typically Georgian with its simple hipped form with narrow eaves and substantial yet simple chimneys with simple corbelled tops. The floor plan of the homestead is typically Georgian, with a 'four-down, four-up' room configuration with central hallways housing an elaborate stairway and an ancillary service/box room on the front of the upper hallway. The roofspace houses three attic rooms which were a typical feature of such large homesteads. A skillion at the rear of the homestead houses ancillary rooms to the main portion of the homestead. The configuration of outbuildings are less-typical of the configuration of Georgian farm complex outbuildings – whilst the western (stables and coach house) and eastern (granary) outbuildings, together with the walled courtyard, form a typical farm courtyard at the rear of the homestead, although the rear wing of the homestead provides an unusual break in this courtyard. The stables/coach house and granary buildings are of historic heritage significance as they represent a fine example of those functional buildings associated with a colonial homestead.

E. Importance in exhibiting particular aesthetic characteristics

The Symmons Plains homestead complex makes an important contribution to the rural cultural landscape of the northern midlands. Set amidst extensive landscaped gardens on the banks of the South Esk River, within a wider rural holding, the homestead and surrounds provides a good example of the Antipodean England representing the colonial settlers desire to recreate the homeland in the colony.

F. Importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Symmons Plains homestead complex is not considered to demonstrate any high degree of creative or technical achievement. Whilst the complex is a fine example of a colonial farm complex, this is typical of the large-scale farm complexes of its time.

G. Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions.

No particular community significance is ascribed to the Symmons Plains homestead complex although its historical associations and values under other criteria make it an important place within the context of the history of Northern Tasmania. As a remote farm complex it does not have any streetscape or townscape values although its contribution to the wider cultural landscape of the Northern Midlands is considered to be important.

An assessment of the significance of the place to the indigenous community is beyond the scope of this assessment.

H. Special association with the life or works of a person, or group of persons, of importance in our history.

The Symmons Plains homestead complex is of historical cultural heritage significance due to its association with the Reverend John Youl, the first Clergyman in Northern Tasmania, as well as several generations of the Youl family – a prominent rural family of the Northern Midlands.

4. The proposed development and assessment of heritage impact

The proposed development for the Symmons Plains homestead is detailed in the Cumulus Studio Project 14125, Drawings A00-00A, A01-00A to A01-004A, A03-00A, A04-00, A04-001. In brief, the proposed development includes:

- Modifications to the existing homestead, predominantly involving the reconfiguration of service areas (kitchen, bathrooms, laundry, new ensuite to attic) as well as removal of portions of two walls (noting that one of these may be an earlier opening which is to be re-opened).
- Major modification to the rear wing of the homestead, involving removal of the modern western terrace and removal of most internal walls and floor/ceiling between the ground and first floors to form a gallery space.
- Restoration of the stables/coach house building (western outbuilding) with the insertion of new doorways to link to the homestead.
- Adaptation of the granary building (eastern outbuilding), currently used as a garage, pool-house and storage, to house several bedrooms, bathrooms and gallery space.
- Construction of a lightweight and highly glazed 2-part linkway to incorporate both outbuildings and the rear wing of the homestead into a single consolidated building.

This assessment will be conducted at two levels, the first being the overall development and its impact upon the heritage values of the overall place, considering the general form, materials, context etc. of the proposed development against the historic cultural heritage values of the heritage place and broad commentary on the proposal as it pertains to each of the heritage buildings. The second will consider the possible heritage impact element-by-element of the proposal as it pertains to the individual elements, spaces and fabric of the heritage place.

Proposed extensions

Aside from various restoration and adaptation works detailed in the table below, the proposed development involves linking the two detached outbuildings (i.e. stables/coach house and granary) to the homestead (and rear homestead wing) by two clearly modern and highly glazed linkways set just behind the existing front entrances to the courtyard. The existing modern laundry and porch will be removed to make way for a similarly modern and highly glazed kitchen and scullery area.

The western infill building will be entered from the front via a paved entry courtyard, just inside the existing western entrance area to the courtyard. The narrow entrance hall will have a predominantly glazed rear wall and act to link the existing stables/coach house to a proposed boot room (the current rear wing kitchen). The front elevation of this building will only be marginally higher than the existing gateposts and be partly concealed by the existing courtyard walls. This building will have a flat roof, and from both the front and rear elevations read in itself to be like a lightweight curtain wall – the glazing allowing a view through the building, particularly when viewed from the entrance gateways. Whilst a clearly modern element, this building will be sympathetic and subservient to the existing buildings, being lightweight, very transparent and much lower than the buildings – also being largely hidden by the existing garden walls. Being lightly attached to the existing buildings, this building will be entirely reversible without heritage impact.

It is considered that this part of the proposed development is acceptable. Any perceived impact is offset by the substantial advantage that this building offers in linking the stables/coach house to the homestead and providing an impetus for the ongoing use of that building. The stables/coach house building is in a state of decay, appearing to have had no maintenance in the recent past (apart from nearby tree removal to halt structural damage). The roof is blowing off, the building has damp issues, rainwater goods are faulty and if a suitable use for the building is not found it will continue to decay. This is further discussed below, however it is considered that this part of the proposal has a substantial heritage benefit in assisting in securing a use for the stables/coach house building.

Recommendation: That this part of the proposal be permitted.

Similarly, the eastern linkway (dining and sitting room) between the proposed kitchen and the east outbuilding (poolhouse/garage - former granary) is a low-set and highly glazed building, with a flat roof

and set back from the existing courtyard entrance and archway. Again, this building will be subservient and sympathetic to the adjacent heritage buildings – the flat roof promoting this subservience and the highly glazed front and rear walls will give this building that same transparency. Overall the building will be read as a lightweight insertion into the existing courtyard and its modern appearance will not lead to a misinterpretation of the evolution of the complex. The transparency of the building will act to assist in promoting the courtyard formed by the presence of the surrounding heritage buildings. Again, this building will be lightly attached to the existing buildings and be reversible should this be desired in the future.

As per the corresponding linkway to the western side, this building offers considerable advantage in promoting the ongoing use and maintenance of the former granary building, which is under threat of deterioration due to disuse. The conversion and use of that building is discussed below, which concludes that the adaptive reuse of that building as less formal bedrooms is considered an appropriate adaptive reuse and a positive heritage outcome, accordingly this building has a positive heritage outcome in facilitating an appropriate adaptive reuse for a building which may otherwise fall to decay through disuse.

Recommendation: That this part of the proposal be permitted.

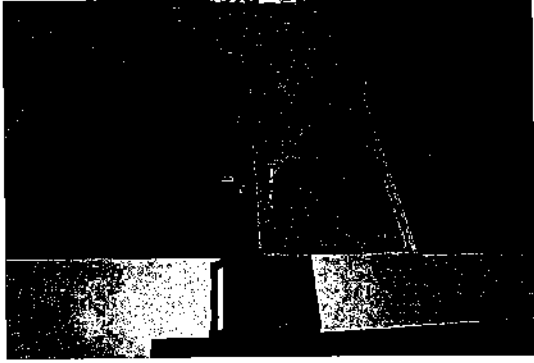
The proposed kitchen and scullery area also are a modern glazed addition, which replaces and extends the existing (non-significant) rear veranda. This addition promotes linkages with the central outbuilding of the homestead and provides the hub of circulation through the other new extensions which link to the eastern and western outbuildings. This extension requires removal of the existing laundry and rear porch as well as the infill concrete and glazed wall which forms the rear porch. As discussed below, these elements are of no heritage significance and their removal will have no adverse impact. The proposed kitchen area is considered to be an acceptable heritage outcome. The proposed building in this area is again clearly modern and highly glazed. It has a lightweight attachment to the heritage building and promotes a useful linkage between the main homestead building and the rear wing.

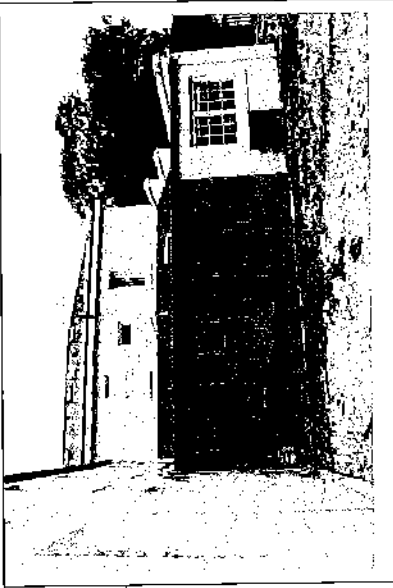
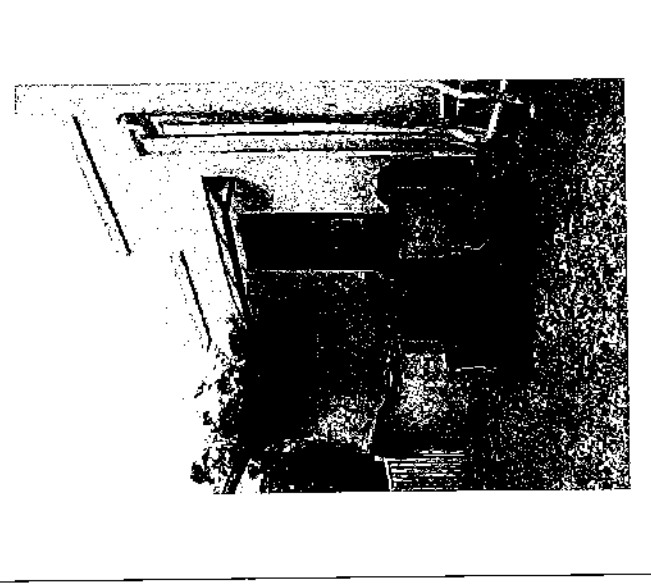

Recommendation: That this part of the proposal be permitted.

Overall, it is considered that the proposed additions to the homestead are an acceptable heritage outcome in that they provide linkages between the outbuildings and the homestead, which is, provides important impetus into the ongoing use and maintenance of those buildings. Currently, those outbuildings are in an advancing state of deterioration, which will be prevented by the proposed scheme. Whilst it may be feasible to use those buildings as separate standalone buildings to the homestead, the concept of linking those buildings for the current scheme is considered to be acceptable, given that it involves little modification of existing fabric (noting the commentary below) and is largely reversible should that be desired in the future.

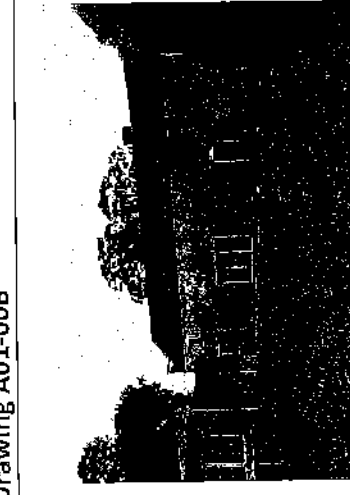
The following table provides specific commentary on individual elements of the project as they pertain to the proposal:


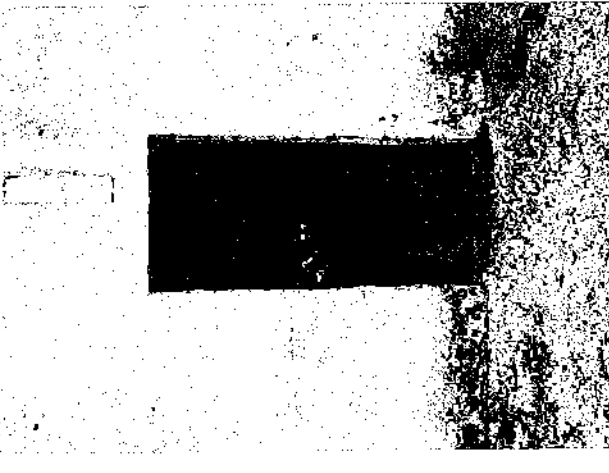
Demolition plan – Ground floor


Demolition - Homestead – Ground floor – Cumulus Studio Project Number 14125, Drawing A01-00B			
Proposal	Heritage impact	Recommendation	Photo
Installation of skylights in roof of rear skillion.	It is not certain whether this roof structure is original, although the lining appears early and the roof is consistent with what would be expected of an original rear skillion. Whilst the installation of skylights will require the removal of some fabric which may be early/original, this is considered to be an acceptable concession to improving the amenity of this part of the homestead.	That the installation of the skylights be permitted.	
New wall opening between current office and rear wing kitchen.	Anecdotal statements suggest that this opening was formerly in this location and is now obscured by new wall linings and cabinetry. If this is the case, then reinstatement of this opening will have a positive heritage outcome in reinstating an element of the former circulation pattern around the building. Even if this doorway was not formerly present, formation of a standard size doorway in this location is not considered to have an unreasonable heritage impact as it is between non-principal rooms of the homestead and will assist in facilitating the integration of a viable use of the rear wing (i.e. assisting in connectedness of the wing and the main homestead).	That this opening be permitted.	
Removal of infill concrete wall and	The current wall and windows, although reasonably sympathetic	That removal of these elements be permitted to facilitate the new	

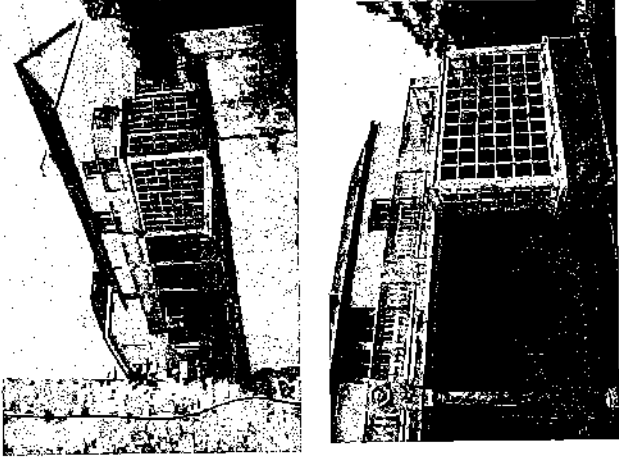
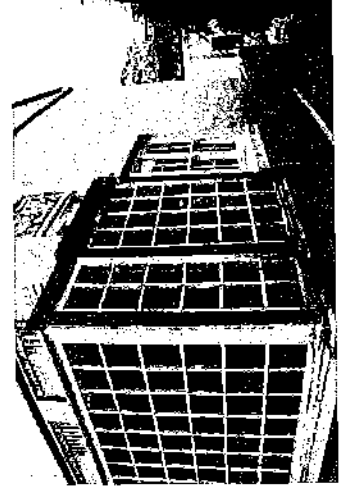
<p>windows between rear foyer and veranda</p>	<p>to the building, are of no heritage value and their removal will have no heritage impact.</p>	<p>scheme.</p>	
<p>Removal of current laundry.</p>	<p>The current laundry, although reasonably sympathetic to the building, is of no heritage value and its removal will have no heritage impact.</p>	<p>That removal of the laundry be permitted to facilitate the new scheme.</p>	
<p>Removal of existing terrace, steps and French Doors from kitchen to driveway.</p>	<p>These elements are of no heritage value and their removal will have no adverse heritage impact. The French Doors are reasonably sympathetic to the existing building although they appear to have been an earlier window which has been enlarged. Reinstatement of a window to this location to match existing elsewhere is a positive heritage outcome.</p>	<p>That removal of these elements be permitted to facilitate the new scheme.</p>	
<p>Demolition of wall between chimney breast and western wall between Rooms 02 and 04.</p>	<p>Removal of this portion of wall will have some heritage impact in changing the form and circulation patterns between two principal rooms of the homestead and the</p>	<p>Retain ribs on walls and ceiling to delineate former line of wall. Store removed joinery (skirting boards) and masonry for possible</p>	



	<p>removal of some significant fabric. Nonetheless, if nibs are retained and significant fabric is stored the previous form of the rooms could be discerned and could be reinstated in future if desired. This wall removal is precededented within the building, with a similar opening having been previously opened between Rooms 01 and 03, which has been achieved in a reasonably sympathetic manner. This removal (as opposed to that proposed at the rear of the hallway) is reasonably discreet and is not inconsistent with common adaptations of such buildings. Although not an ideal outcome this is considered acceptable as a means of facilitating the use of those rooms.</p>	future reinstatement, or use in restoration works elsewhere in the building.	
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Demolition - Eastern outbuilding ground floor – Cumulus Studio Project Number 14125, Drawing A01-00B			
Removal of window and concrete fill on northern end of western elevation.	This is likely to be an original opening (i.e. for a cart of farm equipment) which has been infilled. Reinstatement of the original opening is considered to be a heritage benefit.	That reinstatement of this opening be permitted to facilitate the new scheme.	
Removal of existing metal ladder	The ladder is an intrusive element. Its removal will be a heritage benefit.	That removal of this ladder be permitted to facilitate the new scheme.	
Removal of concrete slabs and installation of a ventilated timber floor.	The current concrete slab is an intrusive element which is exacerbating damp problems in the building and is a material incompatible with the heritage building. Its removal and replacement with a timber floor is a substantial heritage benefit.	That removal of this floor be permitted and a new ventilated timber floor be installed to facilitate the new scheme.	
From new door opening (900mm wide) between current garden store and rear room.	This door is of a standard width and assists in the viable adaptive reuse of the building, therefore is not considered to have an unreasonable heritage impact.	That this opening be permitted to facilitate the adaptive reuse of this building. Removed significant fabric (bricks) should be stored on-site or reused in repairs elsewhere in the building.	

<p>Removal of stairs.</p>	<p>These stairs are part of a more recent adaptation of the building, as evidenced by the joinery in the vicinity of the opening between the ground and upper floor. Removal of the stairs will have no adverse heritage impact.</p>	<p>That removal of these stairs be permitted to facilitate the proposed development.</p>	
<p>New timber door on southern elevation to match existing.</p>	<p>This door appears to not be original, although early. It is recommended that it be repaired rather than be replaced, however if repair is not feasible then a like-for-like replacement is considered acceptable.</p>	<p>That repair or replacement of the door be permitted.</p>	

Demolition - Western outbuilding ground floor – Cumulus Studio Project Number 14125, Drawing A01-00B		
<p>Form new door openings (1000mm wide) to eastern wall of west barn room and Room 01.</p>	<p>Whilst these door openings will have some heritage impact, they will assist in facilitating an adaptive reuse of this building (which is currently nearing derelict condition) therefore they are considered acceptable.</p>	<p>That these door openings be permitted to facilitate the proposed development. Removed significant fabric (bricks) should be stored on-site or reused in repairs elsewhere in the building.</p>
		

<p>Demolition - Homestead – Rear wing – Cumulus Studio Project Number 14125, Drawings A01-00B and A01-01B Note that this wing has been dealt with holistically rather than floor-by-floor as per other wings, as the proposed development seeks to remove the upper floor flooring (i.e. ground floor ceiling) to form a double height gallery space.</p>			
<p>Removal of western terrace, sunroom, columns, French doors etc.</p>	<p>These elements are of no heritage significance and are not sympathetic to the heritage values of the building – being completely out of context with the farm building complex and in particular the context of an ancillary wing of the homestead. Their removal is a positive heritage outcome.</p>	<p>That removal of these elements be permitted. Care should be taken to avoid impact on the rear wing of the building during their demolition as they appear to be substantial concrete structures which may be firmly attached to the building fabric. Replacement of the French Doors with a modern window is considered acceptable in demonstrating the evolution of the building.</p>	
<p>Removal of corner window joinery.</p>	<p>This window is of no heritage significance and is an intrusive element in the building. Its removal will have a heritage benefit.</p>	<p>That removal of this window be permitted. A window opening more consistent with the heritage values of the building should be reinstated (i.e. not a corner window).</p>	

<p>Removal of stairs</p>	<p>These stairs are a more recent addition to the building and are of low significance, therefore their removal will have little heritage impact.</p>	<p>That removal of these stairs be permitted (subject to resolution on removal of floor/ceiling structure – see below).</p>	
<p>Removal of sections of wall to each side of the chimney breast on the ground floor.</p> <p>Removal of all upper walls (except that between current bathroom and bedroom).</p>	<p>This section of the building has been substantially modified, probably in the late c.19th. The detailing (i.e. joinery) is typical of a late-Victorian refit. The stairs are Edwardian in style and it is likely that this is an adaptation of an earlier kitchen/servants wing. The current fitout is obscuring an understanding of the original layout of the building.</p> <p>There may be scope for wall removal, and removal of the existing (non-original) fittings and fixtures, as the nature of the original layout and fitout is unclear – the wall containing the chimney is probably an original division in the wing, the lighter-weight upstairs walls may be part of the later adaptation of the wing.</p> <p>In any case, this wing is almost certain to have always been double storey - formation of a double height space to this area to the extent proposed is considered unacceptable as it distorts the original form and understanding of the functions of this part of the building (i.e. as an original service wing or outbuilding).</p>	<p>Consistent with Burra Charter process, further investigation into the evolution of this part of the building is recommended prior to final decisions on demolition and final layout being made (which will require removal of non-significant fabric – e.g. wall linings, floorcoverings etc.) to ascertain the original layout and function of this part of the building.</p> <p>Final plans should consider the original layout and form of this part of the building and respond to such in a way that minimises heritage impact by retaining elements of the original form etc.</p>	
<p>Forming of larger wall opening to height of existing window on the eastern wall of the wing.</p>	<p>This involves the conversion of an existing window to a 3100mm wide doorway. This wing has evidence of wider than standard doorways, e.g. the arched doorway on the northern</p>	<p>It is recommended that this opening be kept as narrow as practicable, ideally not exceeding the width of the corresponding opening on the western wall of</p>	