

4. Deliver a single, integrated freight system

Policy positions

- 4.1 Strategic thinking, planning and evaluation of Tasmania's economic infrastructure will be led by, and coordinated through, Infrastructure Tasmania.
- 4.2 The strategic plans and investment strategies of TasPorts, TasRail, TT-Line and the Department of State Growth (road delivery agency) will align to the *Tasmanian Integrated Freight Strategy*.
- 4.3 Large-scale privatisation of publicly-owned freight infrastructure is not supported by the Tasmanian Government. However, the Government will work with the private sector to identify investment opportunities in specific freight assets, services or in support of discrete freight tasks.

Actions the Government will undertake

- Develop a standard project evaluation methodology for major publicly-funded freight infrastructure investment, through Infrastructure Tasmania.
- Undertake a fifth *Tasmanian Freight Survey*.
- Develop a web-based presence for freight, providing information on key freight policy initiatives, major system upgrades and the general operation of the freight system.
- Undertake regular, structured consultation with industry on the key issues and opportunities facing Tasmania's freight system.





Infrastructure Tasmania

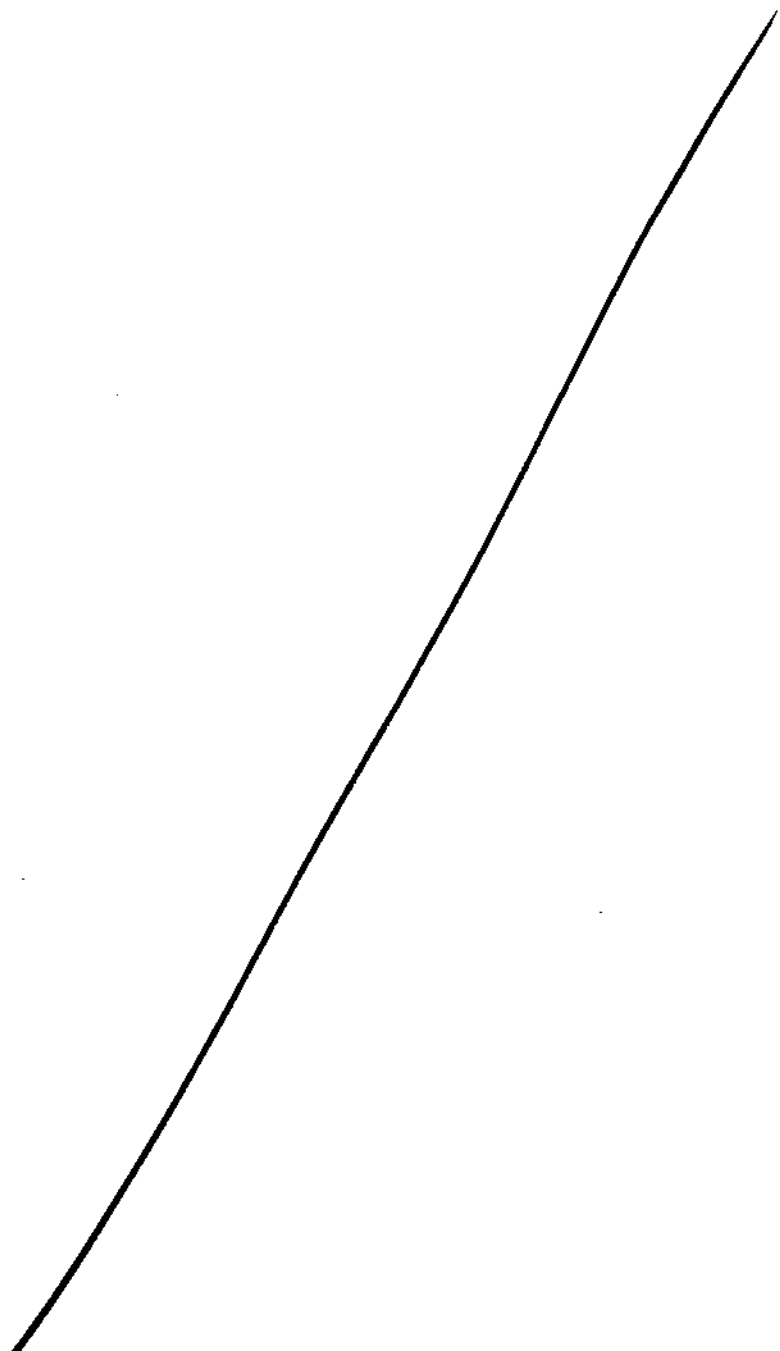
10 Murray Street, Hobart, TAS 7000 Australia
GPO Box 536, Hobart, TAS 7001 Australia

Phone: 1300 135 513

Email: freightstrategy@stategrowth.tas.gov.au

Web: www.stategrowth.tas.gov.au/home/about_us/infrastructure

1-103





Refugee Council
of Australia

ECO 2

REFUGEE WELCOME ZONES

An initiative of the Refugee Council of Australia

Who is the Refugee Council of Australia?

The Refugee Council of Australia (RCOA) is the national peak body for refugees and the organisations and individuals who support them. RCOA promotes the adoption of flexible, humane and constructive policies towards refugees and asylum seekers through conducting policy analysis, research, advocacy and public education on refugee issues.

What is a Refugee Welcome Zone?

A Refugee Welcome Zone is a Local Government Area which has made a commitment in spirit to welcoming refugees into the community, upholding the human rights of refugees, demonstrating compassion for refugees and enhancing cultural and religious diversity in the community.

This public commitment is also an acknowledgment of the tremendous contributions refugees have made to Australian society in the fields of medicine, science, engineering, sport, education and the arts. By making this Declaration it is hoped that local government will be encouraged in their continuing efforts to support the men, women and children who make the difficult journey to Australia to seek our protection.

The Refugee Welcome Zone initiative began in June 2002 as part of Refugee Week celebrations. At the time, 15 local Councils in Victoria, New South Wales and South Australia were declared Refugee Welcome Zones. Today, with more than 120 Local Government Areas having declaring themselves Refugee Welcome Zones, the initiative has proven to be a great success in connecting local governments with the issues facing refugees and asylum seekers.

What is the process for becoming a Refugee Welcome Zone?

The process for becoming a Refugee Welcome Zone is very straightforward. It simply involves the Council signing the Refugee Welcome Zone Declaration, which is "a commitment in spirit to welcoming refugees into our community, upholding the human rights of refugees, demonstrating compassion for refugees and enhancing cultural and religious diversity in our community". An example of the Declaration is included at the end of this document.

To reach the decision of becoming a Refugee Welcome Zone, many Councils choose to hold public signing

enormous contribution to our economic, social and cultural life. Becoming a Refugee Welcome Zone is a way to continue this proud tradition of supporting the settlement of refugees.

Signing the Declaration can also promote harmony, social cohesion and respect for human rights in your local community. It is a great way to demonstrate support for refugees and take a strong stand against racism and discrimination. It can help to raise awareness about the issues affecting refugees, foster a culture of mutual respect and promote an appreciation of cultural diversity.

Becoming a Refugee Welcome Zone can also encourage the development of a more coordinated approach to supporting refugee settlement. It can motivate Local Government and local organisations and support groups to work together more effectively so as to improve settlement outcomes for refugees.

What are the obligations and responsibilities of Refugee Welcome Zones?

The Refugee Welcome Zone Declaration does not confer any formal obligations and Refugee Welcome Zones are not required to uphold any statutory responsibilities or financial commitments. The signing of the Declaration is simply a way of demonstrating broad support for the principles it contains. Any actions or activities undertaken by Refugee Welcome Zones to implement the Declaration are voluntary.

However, while signatories to the Refugee Welcome Zone Declaration are not required to undertake any specific activities, any initiatives which help to create a welcoming atmosphere and assist the settlement of refugees and their communities are welcomed and encouraged.

How can Refugee Welcome Zones support refugees?

There are many simple things that your Local Government Area can do to welcome refugees to your community:

- Develop a Local Government policy relating to refugees and asylum seekers or review existing policies.
- Offer funding for community-based projects which support the settlement of refugees.
- Hold community picnics and gatherings to encourage families from different backgrounds and community organisations to meet.
- Build partnerships and work collaboratively with local community groups and service providers to enhance support for refugees settling in your area.
- Organise an event during Refugee Week, such as a street fair or festival.
- Host a community meeting with newly arrived refugees and guest speakers from refugee support organisations to find out how your Council can best support refugees in your community.
- Hold a multicultural film festival.
- Coordinate with local libraries in the area to develop an English tutoring program for newly arrived refugees.
- Liaise with the Red Cross to run information sessions for newly arrived refugees who have been separated from family members and relatives.
- Hold a public forum to enable guest speakers from refugee backgrounds to share their stories.

Current Refugee Welcome Zones

There are currently 124 Refugee Welcome Zones in Australia.

Australian Capital Territory: ACT government

New South Wales: Albury City Council, Armidale Dumaresq Council, Ashfield Council, Auburn City Council, Ballina Shire Council, Bankstown City Council, Bathurst Regional Council, Bega Valley Shire Council, Blacktown City Council, Blue Mountains City Council, Burwood Council, Byron Shire Council, Campbelltown City Council, City of Canterbury, Coffs Harbour City Council, Cowra Council, Dubbo City Council, Fairfield City Council, Gosford City Council, Goulburn Mulwaree Council, Griffith City Council, Hawkesbury City Council, Hornsby Shire Council, Kiama Municipal Council, Kogarah City Council, Ku-ring-gai Council, City of Lake Macquarie, Leeton Shire Council, Leichhardt Council, Lismore City Council, Liverpool City Council, Manly Council, Marrickville Council, Moree Plains Shire Council, Mosman Council, North Sydney Council, Palerang Council, Parkes Shire Council, Penrith City Council, Port Macquarie-Hastings Council, Randwick City Council, Rockdale City Council, City of Ryde, Shellharbour City Council, Sutherland Shire Council, City of Sydney, Wagga Wagga City Council, Warringah Council, Waverley Council, Willoughby City Council, Wollongong City Council

Northern Territory: City of Palmerston

Victoria: Ararat Rural City Council, City of Ballarat, Banyule City Council, Bass Coast Shire Council, Brimbank City Council, Shire of Campaspe, Cardinia Shire Council, City of Casey, City of Darebin, City of Greater Bendigo, Colac Otway Shire, City of Greater Dandenong, Greater City of Greater Geelong, Hepburn Shire Council, Hindmarsh Shire Council, Hobsons Bay City Council, Horsham Rural City Council, Hume City Council, La Trobe City Council, Manningham City Council, Maribyrnong City Council, Maroondah City Council, City of Melbourne, Mildura Rural City Council, Moira Shire Council, City of Monash, City of Moonee Valley, Moreland City Council, Mornington Peninsula Shire, Mount Alexander Shire Council, City of Port Phillip, Borough of Queenscliffe, Greater Shepparton City Council, Surf Coast Shire, Swan Hill Rural City Council, City of Whittlesea, Wyndham City, City of Yarra, Yarra Ranges Council

South Australia: Adelaide City Council, Adelaide Hills Council, Campbelltown City Council, Town of Gawler, City of Marion, City of Mitcham, City of Mount Gambier, Rural City of Murray Bridge, City of Norwood, Payneham and St Peters, City of Onkaparinga, City of Port Adelaide Enfield, City of Prospect, City of West Torrens

Map of Refugee Welcome Zones in Australia

1

Queensland: Brisbane City Council, Diamantina Shire Council, Flinders Shire Council, Toowoomba Regional Council, Townsville City Council

6

5

13

Tasmania: Brack O'Day Council, Clarence City

The Refugee Welcome Zone Declaration

(Council crest/logo)

The _____ Council,

Declares the Council of _____ a

Refugee Welcome Zone

This Declaration is a Commitment in Spirit to

Welcoming refugees into our community,

*Upholding the **Human Rights** of refugees,*

*Demonstrating **Compassion** for refugees and*

*Enhancing cultural and religious **Diversity** in our community.*

[name and title of signatory]

Date: _____

3 Macquarie St
Evandale TAS 7212

24 November 2015

Mr Des Jennings
General Manager
Northern Midlands Council
PO Box 156
Longford TAS 7301

NORTHERN MIDLANDS COUNCIL					
Location					
File No.					
Property					
Attachments					
REC'D 25 NOV 2015					
GM			MYN		
PRDM			CNS		
CSM			PLAM		
ESDM			BLD		
WMA			TRJ		
HR					

Dear Mr Jennings,

I am writing to express my support for the idea of the Northern Midlands municipality becoming a 'Refugee Welcome Zone'. I believe that becoming a Refugee Welcome Zone would enrich the Northern Midlands region and promote tolerance and respect within our community as it has in many rural communities throughout Australia.

Recent global events demonstrate both the enormity of the global refugee crisis and also the vital importance for countries that do accept refugees, to integrate them well and positively into the community. My family, and many people that I know in the Northern Midlands community would like to play a role in this.

As a family, we could personally offer short term accommodation, support with setting up a home and accessing services, and long-term friendship and community engagement.

I am aware of many others in the Northern Midlands community who would also welcome this initiative – attached is a list of the names of more than sixty people who would be willing to support the resettlement of refugees in our area, including in a variety of practical ways. This is a quickly assembled snapshot of my own network of acquaintances, so I am confident that there would be many others who would also be supportive.

It is encouraging to hear that Northern Midlands Council has already given some consideration to this proposal, and I hope that the attached list of names demonstrates

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would be friend and ass engage commu
Andrea Evans 14 Macquarie St EVANS ALE HOEVANS@hotmail.com	-18	-	-183	4
Nick Evans R AIZIE	"	-	"	
Meg Chong 2 Arthur St, Evandale meg_hoggett@yahoo.com.au	✓		✓	
Morgi Scott 21 Hay St Longford: 7301.	✓			✓
GRAHAM + KATHY BARNES 3 Nile Road Evandale 7212	✓		✓	✓
Jeff & Leah McClinton 3 Macquarie St, Evandale jeffleah@gotalk.net.au	✓	✓	✓	

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would befriend and engage commu
Jacinta Sinalair 15046 Midland Hwy Perth 7300 jacinta.sinalair@gmail.com	Yes	For single or couple.	Yes	Yes
Brad Foulor 15046 MIDLAND HIGHWAY PERTH 7300	Yes	"	Yes	Y
Isaac Taylor 15046 Midland Hwy Perth 7300	Yes	"	no	
Henry Ivey 160 Fairbrough St, Perth hivey@bigpond.com	Yes	Yes	Yes	Yes
Dave & Evelyn Cooper Longford davevelyn@hotmail.com	✓		✓	

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would be befriended and assist in engaging with community
Kinde Bratt - Longford. kushbratt@hotmail.com	✓	Would love to but my hours full	✓	✓ Have a ME future
Dorothy Mansell 12 Swan Avenue Longford dshumanwell@gmail.com	✓			

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would be befriended and assist engage community
<p>Suzie Terny 645 Patena Rd, Longford T3D1. Sterry@utas.edu.au</p>	<p>✓</p>	<p>✓</p>	<p>Possibly on occasional days</p>	<p>✓</p>
<p>Nick McKinnon 153 Wellington St, Longford nick.mckinnon14@gmail.com</p>	<p>✓</p>		<p>✓</p>	<p>✓</p>
<p>Robyn McKinnon 153 Wellington St, Longford robyn.j.mckinnon@gmail.com</p>	<p>✓</p>		<p>✓</p>	

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would be a better and more engaged community
Robert Soister Unit 6 4A Smith St Longford 795 7301 bob.soister@gmail.com	✓		✓	
Sarah Randles, Longford Sarah.randles@grapevine.com.au	✓		✓	
Lina Peter Anders. Longford. pjanders@ophs.com	✓			
Rebecca Bob Bours. Longford	✓			
Peter Johnson johnsonkas@bigpond.com	✓			
Shirley Williams Longford shirleywilliams@gmail.com	✓			

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would befriend and engage community
Catherine Cloudsdale 9a Talbot St, Longford -tom.dah@hotmail.com	✓	✓	✓	
Bac Schliebs George st, longford bacschliebs@yahoo.com.au	✓			
Leanne Groves Burghley st Longford redgroves@hotmail.com	✓			
Shannon Basanquet 28 Smith St, Longford shannonbasanquet@yahoo.com.au	✓		✓	
Amy Boyd Northway Longford 95 Marlborough St. TTS	✓		✓	✓
Thomas Cloudsdale 9a Talbot St, longford	✓	✓	✓	

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would be friendly and assist in engaging community
USA SHERVIN, PATH sherrins@gmail.com	✓		✓	✓
Anthea Maynard a grant granthoa25@gmail.com Evandale	✓	✓	✓	
Gillian Wadde 35 Collins St Evandale gillianw@netspace.net.au	✓			
Margaret Dakin ex NHH Evandale Parish resident for 57 years	✓			✓
Joan Cox ex-resident 62 yrs still engaged with Evdale	✓			
Steve & Hannah Cooper 16 King St, Poatina 7301 rocksaltarts@gmail.com	✓	✓		

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would I befriend and engage commu
<p><i>Leanne</i> <i>Edrick, Colman - Brinkley</i> <i>edrick@clear.net.nz.</i> <i>longford.</i></p>	✓	✓	✓	✓
<p><i>Shantasia</i> <i>Perrie</i></p>	✓			✓
<p><i>No Christina</i></p>	✓		✓	✓
<p><i>Glennys Jayne</i> 27 Burghley St, Longford</p>	✓			
<p><i>Lesley Burns</i></p>	✓			✓
<p><i>Rose Hope</i> 21 Smith St, Longford</p>	✓		✓	✓

Support for Northern Midlands be
 a Refugee Welcome Zone. (for new Resic

Name, Address and Email Address	Support Northern Midlands becoming a Refugee Welcome Zone	Could provide short term accommodation (up to 6 weeks)	Could provide practical support eg setting up home, driving people to appointments, etc	Would benefit and engage community
Dave Ireson 3 Maxwell Ave Padhra T302 dave.ireson@gmail.com	✓	✓ within Padhra	✓	
Anita Dougall 1 Franklin Ave, Padhra anita.w.dougall@gmail.com	✓		✓	
Steve & Rose Hamilton 11 Franklin Ave PORTNHA steve.w.hamilton@gmail.com	✓		✓	
Wendy Cleary ndleary@30 Gordon St Fusion.org.au Padhra TAS	✓			
Rohan Prowse 99 Gordon Street Padhra TAS 7302 rohan.prowse@fusion.org.au	✓	within Padhra	✓	
Nicola Damsie 8 Demison Ave. 7302. nicola.damsie@outlook.com	✓	✓ within Padhra	✓ especially for children's	

emailed



Mr Des Jennings,
General Manager,
Northern Midlands Council,
13 Smith St,
Longford, Tas, 7301

25th November 2015

Dear Des,

Having heard that the Northern Midlands Council is considering becoming a 'Refugee Welcome Zone' I am writing on behalf of Fusion Australia Ltd (Fusion) of Poatina Village to express our support for this initiative.

I provide the following for your consideration -

- 1 Fusion is a national youth and community organisation with over 55 years' experience in community work across Australia.
- 2 Fusion operates six housing programs around Australia and is a tier three Nationally Registered Housing Provider (R4551150302)
- 3 I represent Fusion on The Tasmania Opportunity, an initiative of a group of Tasmanians with a concern for asylum seekers presently held in detention that has been liaising with the State and Federal governments regarding the multiple benefits that would result in Tasmania accepting an intake of asylum seekers - benefits for Tasmania, our country and of course the asylum seekers themselves. A copy of A New Deal outlining the issues involved is attached.
- 4 When Fusion acquired Poatina Village in 1995 one of its stated aims was for the Village to be "a safe place" for people needing a new start, and has over the past two decades has cared for and supported a wide range of youth, single parents, people with social and mental difficulties, etc.
- 5 Fusion is exploring with the Migrant Resource Centre in Launceston (who have been nominated by the State government to handle the processing of 500 Syrian and 500 Tasmanian Safe Haven Enterprise Visa applicants in Tasmania) what it would mean for Poatina to become a place where a small group of refugees could be placed as a first step toward their orientation into Australia.
- 6 The Village has a number of unoccupied houses that would be available, and a number of residents who have social work skills and a heart to support those in need in practical ways.

GOV 9

P O Box 1031,
 Burnie, 7320
 10.11.15

The Mayor,
 Northern Midlands Council,
 13 Smith St,
 Langford, 7301

NORTHERN MIDLANDS COUNCIL			
Location			
File No.			
Property			
Attachments			
REC'D 11 NOV 2015			
GM		MYH	✓ A
P&DM		CEB	
CSA		PLAN	
FROM		DLD	
WA		PH	

Dear Sir,

Re: Campbelltown Monuments.

Over 31 years I have been travelling from Burnie to Hobart in the course of my employment and each trip I have always stopped at Campbelltown for a meal, drink &/or comfort stop. I would like to take this opportunity to thank you & your council and its former councils, prior to amalgamations, for the facilities you provide.

Further I would like to congratulate you on the historical events & the monuments to these events in the area, particularly at Grange Park.

The sign noting the historical significance of the area, the new monument to the family bringing word to the area, the timber tree and aboriginal

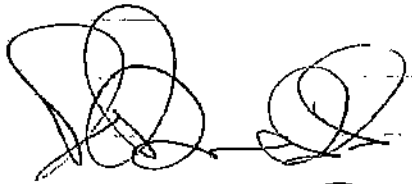
Coming into the town from Lenneston, on the right hand side of the road on the Crossy road to Moff is a memorial to Harold Gaby, a man very influential in early aviation, not just in Tasmania, Australia or the Pacific, but in the World.

Harold Gaby's knowledge of aviation particularly navigation saw him being involved in many aeronautical events particularly on the world stage & having this monument to him indeed recognises this fact.

Whilst signposted not many people, locals or tourists stop to see this monument. I believe, because of his input to aeronautical navigation on the world stage over a long period of time and because of his birth in the area, more people would stop & learn about him if the monument was placed in a more accessible site.

To this end I would respectfully suggest the memorial be removed to an area in George Park as I note many people stop here & look at all the monuments. The park is becoming a

I hope this letter will be taken positively,
it is not meant as criticism but as a
response to remembering a great man born
in this area.



R.S. (BOB) BROWN

1
620

Northern Midlands Council Account Management Report

Income & Expenditure Summary for the Period Ended 30 November 2015 (42%/0%)

Line Item Summary Totals	Operating Statement		Corporate Services		Economic & Community Dev		Planning & Development		Works
	2015/16	2015/16	2015/16	2015/16	2015/16	2015/16	2015/16		
Wages									
Material & Services Expenditure	274,159	132,931	546,051	247,150	475,558	172,331	585,054	230,864	1
Depreciation Expenditure	407,873	234,882	387,410	192,702	198,308	111,332	503,178	137,525	3
Government Levies & Charges	47,360	19,780	53,040	22,100	69,030	28,710	16,620	6,890	4
Councillors Expenditure	7,360	119	585,650	141,263	10,020	2,175	0	592	
Other Expenditure	187,332	55,630	0	0	0	0	0	0	
Oncost	132,087	70,340	408,336	420,413	128,659	76,791	19,986	4,706	
Internal Plant Hire/Rental	119,218	57,798	234,471	97,136	77,627	33,943	245,256	91,909	
Internal Rental/Rates	19,290	7,911	17,810	8,529	18,760	8,588	67,320	22,271	
Other Internal Transfers Expenditure	300	0	590	0	20	0	0	0	
Oncosts Paid - Payroll	52,459	7,987	6,479,598	2,685,996	19,000	8,408	120,482	56,887	
Oncost Paid - Non Payroll	84,756	36,351	147,686	47,895	81,210	48,126	169,581	74,822	
Plant Expenditure Paid	11,150	6,129	4,920	2,019	129,549	47,998	25,620	9,783	
	1,342,344	636,041	8,952,040	3,927,567	1,228,291	545,704	1,757,079	636,249	12
Rate Revenue	0	0	(8,749,507)	(8,591,134)	0	0	(22,531)	(22,644)	
Recurrent Grant Revenue	(2,000)	0	(1,811,616)	(854,793)	(252,166)	(114,041)	0	0	
Fees and Charges Revenue	0	(13,619)	(200,382)	(87,159)	(352,523)	(134,569)	(751,671)	(485,382)	
Interest Revenue	(227,000)	(2,628)	(46,000)	(31,334)	(7,926)	(12,205)	(26,440)	(16,000)	
Reimbursements Revenue	(118,217)	(97,676)	(39,018)	(8,520)	(7,926)	(12,205)	(26,440)	(16,000)	
Oncost Recoveries - Internal Tier	(17,500)	(11,076)	(15,090)	(6,120)	(15,110)	(6,270)	(50,980)	(91,811)	
Other Internal Transfers Income	(33,841)	(14,041)	(100,725)	(5,015)	(541,587)	(229,987)	(654,296)	(279,523)	
Other Revenue	(707,923)	(92,735)	(7,701)	(556)	0	(9,897)	(2,288)	(15,000)	
	(1,108,881)	(192,838)	(11,203,420)	(9,480,573)	(1,246,697)	(539,533)	(1,766,679)	(937,581)	(10)
Underlying (Surplus) / Deficit Before	233,463	445,203	(2,251,380)	(5,553,205)	(18,406)	7,171	(14,600)	(296,332)	
Gain on sale of Fixed Assets	0	(60,001)	0	0	0	0	0	0	
Loss on Sale of Fixed Assets	0	0	0	0	0	0	0	0	
Net Loss On Disposal of Fixed Assets	0	(60,001)	0	0	0	0	0	0	
Underlying (Surplus) / Deficit	233,463	385,202	(2,251,380)	(5,553,206)	(18,406)	7,171	(14,600)	(296,332)	
Capital Grant Revenue	0	0	0	0	0	0	0	0	
Subdivider Contributions	0	0	0	0	0	0	0	0	
Operating (Surplus) / Deficit	233,463	385,202	(2,251,380)	(5,553,206)	(18,406)	7,171	(14,600)	(296,332)	



Northern Midlands Council
Account Management Report
 for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance
Capital Expenditure - Governance				
Fleet, Plant & Equipment				
780006 Gov - Office Equipment Purchases	\$2,000	\$810	\$864	-\$64
780029 Gov - Council Chambers Additional Flag pole	\$0	\$0	\$8,170	-\$8,170
Total Fleet, Plant & Equipment	\$2,000	\$810	\$9,034	-\$8,170
Total Capital Expenditure - Governance	\$2,000	\$810	\$9,034	-\$8,170
Grand Total	\$2,000	\$810	\$9,034	-\$8,170



Northern Midlands Council
Account Management Report
 for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variat
Capital Expenditure - Corporate Services				
Equipment & Buildings - Corporate Services				
700007 Fleet - F7 Pool Vehicle	\$15,000	\$6,250	\$0	\$
716300 Corp - Computer System Upgrade	\$173,000	\$72,060	\$64,558	\$11,502
716310 Corp - Purchase Office Equipment	\$2,000	\$810	\$0	\$
720113 Corp - Office / Council Chambers Improvements	\$50,000	\$20,810	\$3,529	\$
Total Equipment & Buildings - Corporate Services	\$240,000	\$99,930	\$68,086	\$17,914
Total Capital Expenditure - Corporate Services	\$240,000	\$99,930	\$68,086	\$17,914
Grand Total	\$240,000	\$99,930	\$68,086	\$17,914



Northern Midlands Council
Account Management Report
 for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance
Capital Expenditure - Economic & Community Develop				
Equipment & Buildings				
707929 Eyan - Aged Care Units Carpet Replacement	\$5,000	\$2,060	\$0	\$
750202 Ec & Comm Dev - Sports Centre Equipment Purchases / Improvements	\$10,000	\$4,190	\$0	\$
780025 Ec & Comm Dev - Purchase of Office Equipment	\$2,000	\$810	\$0	\$
Total Equipment & Buildings	\$17,000	\$7,060	\$0	\$
Tourism/Economic Development				
780028 Tourism - Public W/F/L Touchscreens	\$20,000	\$8,310	\$0	\$
Total Tourism/Economic Development	\$20,000	\$8,310	\$0	\$
Total Capital Expenditure - Economic & Community	\$37,000	\$15,370	\$0	\$3
Grand Total	\$37,000	\$15,370	\$0	\$

1-126



Northern Midlands Council
Account Management Report
 for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variat
Capital Expenditure - Planning & Development				
Fleet, Plant & Equipment				
700027 Fleet - F27 Animal Control	\$18,000	\$7,500	\$0	\$
700182 Fleet - F182 Planner	\$15,000	\$6,250	\$0	\$
715330 Plan & Dev - Purchase of Office Equipment	\$2,000	\$810	\$436	\$3
Total Fleet, Plant & Equipment	\$35,000	\$14,560	\$436	\$3
Total Capital Expenditure - Planning & Developme				
Grand Total	\$35,000	\$14,560	\$436	\$



NORTHERN
MIDLANDS
COUNCIL

Northern Midlands Council Account Management Report for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variat
Fleet, Plant & Depot				
700001 Fleet - F1 Works Managers Vehicle	\$20,000	\$8,310	\$0	\$20,000
700005 Fleet - F5 Works Supervisors Vehicle	\$15,000	\$6,250	\$0	\$15,000
700011 Fleet - F11 Light Truck	\$30,000	\$12,500	\$0	\$30,000
700023 Fleet - F23 Utility Litter & Garbage Collection	\$20,000	\$8,310	\$10,273	\$9,963
700025 Fleet - F25 Utility Vehicle	\$21,000	\$8,750	\$0	\$21,000
700030 Fleet - F30 Floccon	\$200,000	\$83,310	\$0	\$200,000
700035 Fleet - F35 Street Sweeper	\$350,000	\$145,810	\$125,000	\$225,000
700047 Fleet - F47 Grader & Roller	\$300,000	\$300,000	\$464	\$299,536
700059 Fleet - F59 Forklift	\$39,000	\$15,810	\$120	\$38,890
700063 Fleet - F63 Mower Reserves South	\$40,000	\$16,869	\$50,478	-\$10,479
700064 Fleet - F64 Tractor	\$66,000	\$27,500	\$0	\$66,000
700110 Fleet 110 - Mower Avoca Reserves	\$0	\$0	\$568	-\$568
700179 Fleet - F179 Building Management and Maintenance	\$36,000	\$15,831	\$38,002	-\$1,171
715320 Works - Purchase Small Plant	\$20,000	\$8,310	\$4,530	\$15,470
715337 Works - CCTV Installation	\$15,000	\$6,250	\$0	\$15,000
925338 Works - Office Equipment Purchases	\$2,000	\$810	\$0	\$2,000
220200 Works - Longford Depot Improvements	\$15,000	\$6,250	\$1,494	\$13,506
720201 Works - Clown Depot Improvements	\$15,000	\$6,250	\$10,592	-\$4,342
Total Fleet, Plant & Depot	\$1,205,000	\$501,920	\$116,520	\$1,088,480
Recreation				
707719 Ross - Cannon at War Memorial Restoration	\$0	\$0	\$1,300	-\$1,300
707752 Lfd - Sports Centre Landscaping	\$20,000	\$8,310	\$0	\$20,000
707774 Eyan - Lamp Posts Main Street	\$25,000	\$10,440	\$3,017	\$21,983
707792 Lfd - Recreation Ground Raw Water Watering System	\$5,000	\$2,060	\$8,118	-\$3,118
707801 Rec - Private Power Poles All Areas	\$15,000	\$6,250	\$5,137	\$9,863
707805 Town - War Memorial Oval Amenities Upgrade	\$600,000	\$250,000	\$0	\$600,000
707814 Rec - Street Tree Program All Areas	\$80,000	\$33,310	\$0	\$80,000
707824 Clown - Pool Chlorine Weigh System Indicator	\$0	\$0	\$0	\$0
707825 Ciy - Pool Chlorine Weigh System Indicator	\$10,000	\$0	\$10,979	-\$979
707826 Ciy - Pool Chlorine Weigh System Indicator	\$10,000	\$0	\$0	\$10,000
707835 Lfd - Recreation Ground Topdressing	\$50,000	\$20,810	\$225	\$49,785
707865 Lfd - Town Entrance Landscaping/Beautification	\$0	\$0	\$33	-\$33
707867 Lfd - St Georges Square Bike Park Redevelopment	\$0	\$0	\$14,770	-\$14,770
707889 Various - Signage Projects	\$45,000	\$18,750	\$0	\$45,000
707913 Ciy - Recreation Ground Sewer Dump Point	\$8,000	\$3,310	\$0	\$8,000
707923 Ciy - Recreation Ground Building Improvements	\$25,000	\$10,440	\$0	\$25,000
707924 Ciy - Pool Roller cover and Signage	\$5,000	\$2,060	\$0	\$5,000
707935 Ciy - Main Road Reserve Childcare Turning Head	\$2,000	\$810	\$0	\$2,000
707936 Eyan - Falls Park Fence	\$20,000	\$8,310	\$0	\$20,000
707937 Lfd - Rec Ground Scoreboard and Entrance Improve	\$20,000	\$8,310	\$0	\$20,000
707938 Pth - Rec Ground Interchange Shed	\$10,000	\$4,190	\$0	\$10,000
707939 Lfd - War Memorial Hall Room Soundproofing	\$11,000	\$4,581	\$0	\$11,000
715255 Rec - Street Furniture & Playground Equip All Area	\$50,000	\$20,810	\$7,526	\$29,664

Northern Midlands Council Account Management Report for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance
Lfd - Village Green to Mill Dam Project				
707789 Lfd - Village Green to Mill Dam Project	\$80,000	\$33,310	\$67	\$7
Total Lfd - Village Green to Mill Dam Project	\$80,000	\$33,310	\$67	\$7
Total Recreation	\$1,081,000	\$450,251	\$61,161	\$1,022
Buildings				
707871.1 Even - War Memorial Hall Improvements - Carpark	\$42,000	\$17,500	\$7,569	\$33
707877 All Areas - Bus Shelters / Playground Shade Structures	\$40,000	\$16,690	\$1,985	\$3
707882 Ctown - Valentine Park Garden Beds	\$0	\$0	\$5,397	-\$5
707902 Ctown - Pump House Restoration	\$30,000	\$12,500	\$2,441	\$2
707920 Rec - Public Buildings Asbestos Removal	\$20,000	\$8,310	\$0	\$2
707921 Avoca - Hall Exterior Painting	\$20,000	\$8,310	\$0	\$2
707922 Cty - Hall Exterior Painting	\$15,000	\$6,250	\$0	\$2
707925 Ctown - Hall Supper Room Improvements	\$20,000	\$8,310	\$0	\$2
707926 Ctown - Library Improvements	\$10,000	\$4,190	\$0	\$2
707926 Epping - Hall Weatherboard Replacement	\$15,000	\$6,250	\$0	\$2
707927 297 928 Even - War Memorial Hall Improvements	\$20,000	\$8,310	\$1,545	\$
707930 707 930 Lfd - Town Hall Exterior Painting	\$25,000	\$10,440	\$0	\$
707931 Lfd - War Memorial Hall Floor Improvements	\$25,000	\$16,250	\$0	\$
707932 Lfd - Town Hall Acoustic Improvements	\$39,000	\$6,250	\$0	\$
707933 Rossarden - Public Toilet Improvements	\$15,000	\$1,250	\$0	\$
707934 Ross - Public Toilet Replacement	\$150,000	\$62,500	\$5,067	\$14
715350 Reg - Public Building Improvements	\$120,000	\$50,000	\$0	\$12
Total Buildings	\$584,000	\$243,310	\$23,905	\$56
Waste Management				
712952 Waste - MGB Purchases	\$25,000	\$10,440	\$0	-\$2
728755 Waste - WTS Improvements	\$30,000	\$12,500	\$4,065	\$
Total Waste Management	\$55,000	\$22,940	\$4,065	\$5
Roads				
Ctown - Bond St Grant to High Reconstruction				
750156 Ctown - Bond St Grant to High Reconstruction K&G	\$115,000	\$47,940	\$19,630	\$
750156.1 Ctown - Bond St Grant to High Reconstruction	\$0	\$0	\$20,493	-\$
750156.2 Ctown - Bond St Grant to High Reconstruction Excavation	\$0	\$0	\$23,212	-\$
750156.3 Ctown - Bond St Grant to High Reconstruction Base	\$0	\$0	\$12,441	-\$
750156.4 Ctown - Bond St Grant to High Reconstruction Prep for Seal	\$0	\$0	\$3,667	-\$
750156.7 Ctown - Bond St Grant to High Reconstruction	\$0	\$0	\$8,229	-\$
750156.8 Ctown - Bond St Grant to High Reconstruction Naturestrips	\$0	\$0	\$863	-\$
750156.9 Ctown - Bond St Grant to High Reconstruction Other Driveways	\$0	\$0	\$4,988	-\$

Northern Midlands Council Account Management Report for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance
750156.91 Clown - Bond St Grant to High Reconstruction Storm Water	\$0	\$0	\$20,833	-\$0
Total Clown - Bond St Grant to High Reconstruction	\$115,000	\$47,940	\$114,356	
Town - Glenelg St Ch 0.285 to Ch 0.640				
750493 Clown - Glenelg St Ch 0.285 to Ch 0.640 K&G	\$350,000	\$145,810	\$4,686	\$33
750493.1 Clown - Glenelg St Ch 0.285 to Ch 0.640 Excavation	\$0	\$0	\$23,002	-\$0
750493.2 Clown - Glenelg St Ch 0.285 to Ch 0.640 Subbase	\$0	\$0	\$689	-\$0
750493.9 Clown - Glenelg St Ch 0.285 to Ch 0.640 Other	\$0	\$0	\$486	-\$0
750493.91 Clown - Glenelg St Ch 0.285 to Ch 0.640 Stormwater	\$0	\$0	\$16,452	-\$0
Total Town - Glenelg St Ch 0.285 to Ch 0.640	\$350,000	\$145,810	\$46,315	
Cry - Macquarie St, Main to Gatenby				
750460.5 Cry - Gatenby St Macquarie to Spencers Lane Seal	\$60,000	\$0	\$0	\$0
750784 Cry - Macquarie St, Main to Gatenby K & G	\$0	\$25,000	\$7,494	\$0
750784.1 Cry - Macquarie St, Main to Gatenby Excavation	\$0	\$0	\$12,748	-\$0
750784.2 Cry - Macquarie St, Main to Gatenby Subbase	\$0	\$0	\$6,511	-\$0
750784.3 Cry - Macquarie St, Main to Gatenby Prep for Seal	\$0	\$0	\$10,226	-\$0
750784.4 Cry - Macquarie St, Main to Gatenby Footpath	\$0	\$0	\$2,984	-\$0
750784.6 Cry - Macquarie St, Main to Gatenby Nature Strip	\$0	\$0	\$1,440	-\$0
750784.7 Cry - Macquarie St, Main to Gatenby Other	\$0	\$0	\$1,816	-\$0
750784.9 Cry - Macquarie St, Main to Gatenby stormwater	\$0	\$0	\$793	-\$0
Total Cry - Macquarie St, Main to Gatenby	\$60,000	\$25,000	\$43,096	
Evan - Relbia Rd Ch 1.375 to 2.530				
751050.901 Edale - Relbia Rd Reconstruction Chn 1.375 to 2.530	\$0	\$0	\$0	\$0
Other	\$0	\$0	\$0	\$0
Total Evan - Relbia Rd Ch 1.375 to 2.530	\$0	\$0	\$0	
Ross Streetscape Improvements				
714846 Ross - Streetscape Improvements	\$60,000	\$25,000	\$9,330	\$0
714846.24 Ross - Main St Project Footpath Female Factory to Old Pump Shed	\$0	\$0	\$8,271	\$0
Total Ross Streetscape Improvements	\$60,000	\$25,000	\$17,601	
Resealing Program				
715005 Roads - Resealing All Areas	\$640,000	\$266,669	\$0	\$0
Total Resealing Program	\$640,000	\$266,669	\$0	
Resheeting Program				
715125 Southern - Resheeting	\$200,000	\$83,331	\$29,625	\$0
715460 Roads Northern - Resheeting	\$200,000	\$83,331	\$113,816	\$0
Total Resheeting Program	\$400,000	\$166,662	\$143,441	
Black Spot Projects				
750401 Pth - Elizabeth / Main Street Intersection	\$51,432	\$21,430	\$76,959	-\$0
Total Black Spot Projects	\$51,432	\$21,430	\$76,959	

Northern Midlands Council Account Management Report for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance
Total Pth - Cromwell St Ch 0.073 to North				
Lfd - Wilmores Lane Ch 1.295 to 4.280	\$50,000	\$20,810	\$37,541	\$
751400 Lfd - Wilmores Lane Reconstruction Ch 1.295 to 2.690	\$300,000	\$125,000	\$98	\$20
751400.1 Lfd - Wilmores Lane Reconstruction Ch 1.295 to 2.690	\$0	\$0	\$146	\$
Excavation				
751400.9 Lfd - Wilmores Lane Reconstruction Ch 1.295 to 2.690	\$0	\$0	\$891	\$
Other				
751400.91 Lfd - Wilmores Lane Reconstruction Ch 1.295 to 2.960	\$0	\$0	\$7,320	\$
Stormwater				
751401 Lfd - Wilmores Lane Reconstruction Ch 2.690 to 4.280	\$342,000	\$142,500	\$0	\$3
Total Lfd - Wilmores Lane Ch 1.295 to 4.280	\$642,000	\$287,500	\$8,455	\$6
Other Road Projects				
715470 Roads - Replacement of Crossovers All Areas				
750361 City - Delmont Rd Reconstruction Ch 1.800 to 2.485	\$160,000	\$66,690	\$0	\$11
750361.1 City - Delmont Rd Reconstruction Ch 1.800 to 2.485	\$0	\$0	\$19,256	\$
Excavation				
750361.2 City - Delmont Rd Reconstruction Ch 1.800 to 2.485	\$0	\$0	\$13,383	\$
Subbase				
750361.3 City - Delmont Rd Reconstruction Ch 1.800 to 2.485	\$0	\$0	\$6,169	\$
Base				
750361.8 City - Delmont Rd Reconstruction Ch 1.800 to 2.484	\$0	\$0	\$0	\$
Driveways				
750361.9 City - Delmont Rd Reconstruction Ch 1.800 to 2.485	\$0	\$0	\$1,890	\$
Other				
750361.91 City - Delmont Rd Reconstruction Ch 1.800 to 2.485	\$0	\$0	\$657	\$
Other				
750364 City - Delmont Rd Reconstruction Ch 3.910 to 4.920	\$230,000	\$95,810	\$0	\$2
750436 Pth - Fairtlough St Kerb Extension Arthur to Subdivision	\$0	\$0	\$11,379	\$
750446 Pth - Fore St Construct Turning Head	\$56,000	\$23,310	\$4,062	\$
750446.9 Pth - Fore St Construct Turning Head Other	\$0	\$0	\$233	\$
750460 City - Gatenby St Macquarie to Spencers Lane K&G	\$20,000	\$9,310	\$1,997	\$
750460.1 City - Gatenby St Macquarie to Spencers Lane	\$0	\$0	\$8,319	\$
Excavation				
750460.2 City - Gatenby St Macquarie to Spencers Lane Subbase	\$0	\$0	\$8,455	\$
750460.3 City - Gatenby St Macquarie to Spencers Lane	\$0	\$0	\$5,034	\$
Excavation				
750460.4 City - Gatenby St Macquarie to Spencers Lane Prep for Seal	\$0	\$0	\$2,535	\$
750572 Pth - Hobart Road (from Relbia Rd to Strathroy Bridge)	\$0	\$0	\$5,394	\$
750715 Ewan - Logan Rd Traffic Islands outside Falls Park	\$81,000	\$33,750	\$0	\$
750718 Ewan - Logan Road Verge Reconstruction No 48 to 58	\$0	\$0	\$395	\$
750718.1 Ewan - Logan Road Verge Reconstruction No 48-58	\$0	\$0	\$79	\$
Excavation				
750774 Crown - Macquarie Rd Ch 32.940 to 33.865 Reconstruct	\$200,000	\$83,310	\$0	\$2
751050.9 Ewan - Relbia Road Guard Rail Installation Ch 1.450 to	\$42,000	\$17,500	\$33,286	\$

Northern Midlands Council
Account Management Report
for year to November 2015

	Annual Budget	YTD Budget	YTD Actual	Budget Variance
751197 Pth - Talisker St Midlands Hwy Junction	\$63,035	\$26,264	\$69,045	\$-6,011
751548 Clown - Macquarie Rd Ch 33.865 to Ch 34.215	\$75,000	\$31,250	\$38	\$74,962
Reconstruct:				
1.730				
Total Other Road Projects	\$927,035	\$386,194	\$191,646	\$735,389
Total Roads	\$3,834,967	\$1,597,725	\$821,785	\$3,011,242
Bridges				
742030 Cty - Bridge 2030: Powranna Rd Macquarie River	\$1,922,000	\$800,803	\$784,045	\$1,137,957
743177 Cty - Bridge 3177: Powranna Rd Macquarie River	\$150,000	\$62,500	\$0	\$150,000
743259 Cty - Bridge 3259: Lake River Rd Dabool Rivulet	\$140,400	\$56,500	\$145,828	\$-5,428
743767 Avoca - Bridge 3767: Royal George Rd, Unnamed Ck	\$100,000	\$41,690	\$0	\$100,000
747350 Cty - Bridge 7350: Cressy Rd, Lake River	\$1,250,000	\$520,810	\$0	\$1,250,000
Total Bridges	\$3,562,400	\$1,484,303	\$929,872	\$2,632,528
Urban Stormwater Drainage				
738665 Pth - Stormwater West Perth Catchment Survey	\$0	\$0	\$10,243	\$-10,243
738676 Lfd - Stormwater Detention Basin Paton Street	\$73,485	\$30,617	\$74,553	\$-1,068
788588 Town - Stormwater Glenelg Street	\$0	\$0	\$1,125	\$-1,125
788594 Lfd - Flood Levee Pump Testing Site South Esk	\$10,000	\$4,190	\$9,957	\$99
788597 Pth - Frederick St Stormwater	\$150,000	\$62,500	\$6,857	\$143,143
788601 Ewan - Stormwater Translink Upgrade	\$200,000	\$83,338	\$125,435	\$74,565
788605 Storm Water Management Plans	\$50,000	\$20,810	\$2,741	\$47,259
Total Urban Stormwater Drainage	\$483,485	\$201,455	\$230,911	\$252,574
Total Capital Expenditure - Works Department	\$10,805,852	\$4,501,904	\$2,178,219	\$8,622,729
Grand Total	\$10,805,852	\$4,501,904	\$2,178,219	\$8,622,729

2 Parks & Reserves

ORP

Parks & Reserves (exclusive access or events)

Up to 100m ²	Non-commercial hire	Per Day
	Commercial hire	Per Day
101m ² to 500m ²	Non-commercial hire	Per Day
	Commercial hire	Per Day
501m ² and over	Non-commercial hire	Per Day
	Commercial hire	Per Day
Outdoor fitness classes	Commercial hire	Per Hour
		Per Annu

* Half Day or night fees up to 5 hours charged 50% of above

* Measurement of areas is indicative only and rely on a system

* Above fees do not include additional costs that may be incurred for power, marquees etc

1-134

Marquees, Tents and Jumping Castles, Icecream or Coffee vans

Up to 3 x 3 metres	Per Day
Up to 5 x 6 metres	Per Day
Up to 5 x 6 metres	Per Day

Miscellaneous

Additional Toilet Cleaning

Per Session

PLAN 1

PLANNING APPLICATION P15-299

11A FREDERICK STREET, PERTH

ATTACHMENTS

- A** Application & plans, correspondence with applicant
- B** Representation and applicant's response
- C** Responses from referral agencies
- D** Planning scheme assessment

A.

PLANNING APPLICATION Proposal

Description of proposal: PROPOSED 8 UNITS

.....
.....

(attach additional sheets if necessary)

Site address: 11A FREDERICK STREET PERTH

.....

ID no: 3189814 and/or Council's property no: -

AND/OR

Area of land: 3826.68m² ha/m² and/or CT no: 164184/2

Estimated cost of project \$1,200,000.00 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No
If yes - main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:
-
.....

.....

(attach additional sheets if necessary)

If outbuilding has a floor area of over 56m², or there will be over 56m² of outbuildings on the lot, or is over 3m at apex in residential zone, details of the use of the outbuilding to be provided:



the **LIST.**

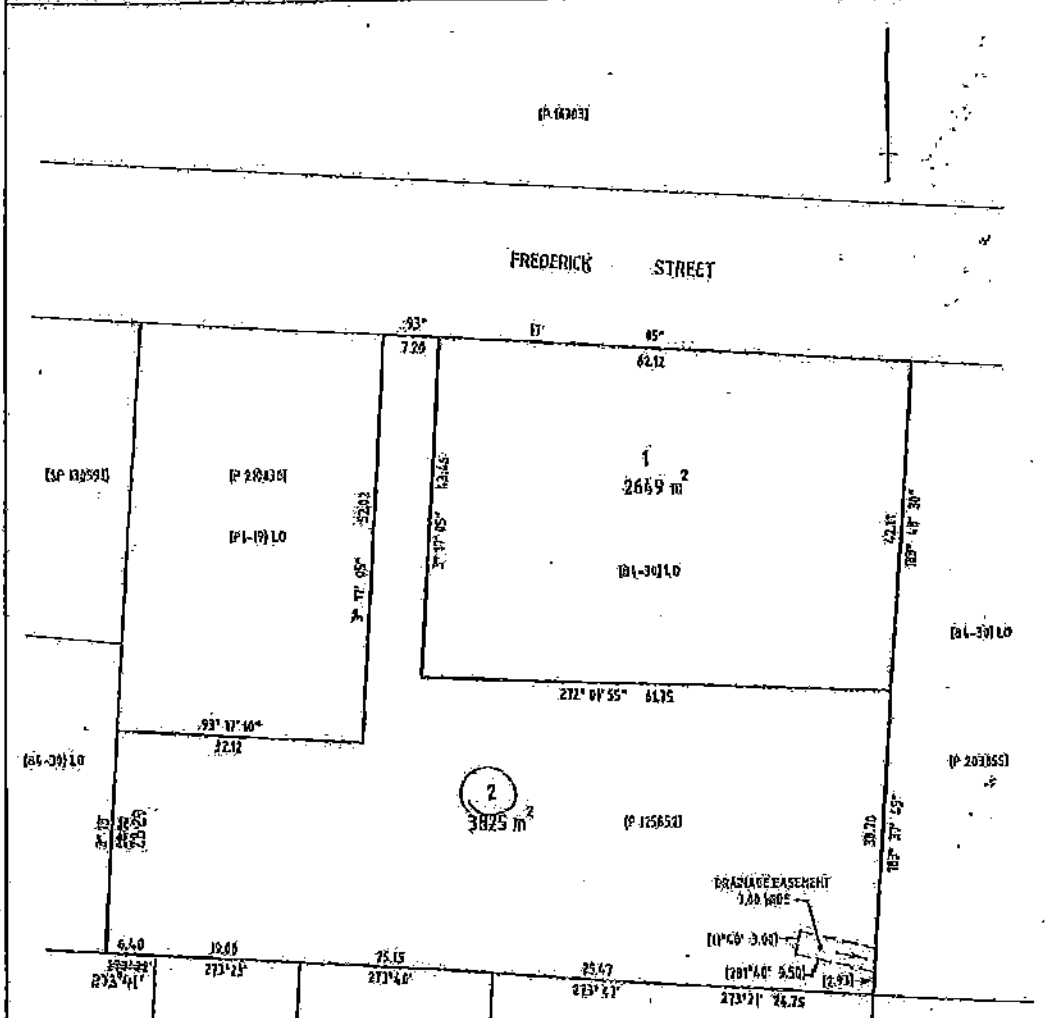
FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



OWNER: CORNELIA ALGERONA FRENCH	PLAN OF SURVEY	REGISTERED NUMBER SP164184
FOOD REFERENCE: FR-15552-1		BY SURVEYOR: H. ROSE OF 2/3 WALDEN STREET, INVEREAD 7234
(GRANTED WHOLE OF LOT 1 (4465m ²) GRANTED TO THE CROWN (7115852))	LOCATION: TOWN OF PERTH Section 1	APPROVED EFFECTIVE FROM: 20 JUL 2012 <i>Alice Kawa</i> Recorder of Titles
SCALE 1:500	LENGTHS IN METRES	

MAPSHEET MUNICIPAL CODE No 123 (5039-14)	LAST MAP IN 5101456	LAST PLAN C 125952	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
--	---------------------	--------------------	---



E

CONSTRUCTION NOTES:

SITE

Sitework to be prepared in accordance with engineers or surveyors report if applicable.
Protection of persons and property.
Temporary works: Provide and maintain required barriers, guards, landing, silt/ford, lamprock, roadways, footpaths, signs, lighting, washing and traffic flagging.

Accessways and services: Do not obstruct or damage roadways and footpaths, drains and watercourse and other existing services. In use on or adjacent to the site, determine the location of such services.

Property: Do not interfere with or damage property which is to remain on or adjacent to the site, including adjoining property approaching onto the site, and leases.

Reclamation

Accessways and services: Rectify immediately any obstruction or damage to roadways and footpaths, drains and watercourses and other existing services in use on or adjacent to the site.
Provide temporary services whilst repairs are carried out.
Property: Rectify immediately any interference or damage to property which is to remain on or adjacent to the site, including adjoining property approaching onto the site, and leases.

Existing services

General: Attend to existing services as follows:

- relocated. Submit proposals.
- If the service crosses the line of a required bench or will lose support when the trench is excavated, provide permanent support for the existing service. Submit technical details and make safe.
- Proposals: Submit proposals for action to be taken with respect to existing services before starting this work. Minimise the number and length of interruptions.
- Purpose of submission: For review.

Finishing property

Attend: At least 10 working days before commencing work, submit to owners and occupants of adjoining property written notice of intention to commence work and an outline description of the type and extent of work.

Safety

- Accidents: Promptly notify the contract administrator of the occurrence of the following:
 - Accidents involving death or personal injury.
 - Incidents with accident potential such as equipment failure, slips and falls.
- Accident reports: Submit reports of accidents.
- Purpose of submission: Information only.

Prevention of Falls:

- Where a person is exposed to the hazard of falling from a structure during construction or while cleaning or maintenance work is carried out, the builder shall provide:

- A work system designed to prevent such falls.
- Where a safety anchorage point is used, they must be positioned on the structure so that a double or safety harness may be attached before proceeding to a point where it is possible to fall.
- Anchorage points shall be attached to safe structures.
- The anchorage points and associated structure shall be capable of withstanding a force of at least 15kN (1500kg).
- The builder shall inform the owner prior to occupancy and must be used in accordance with AS2656 when exposed to the hazard of falling from the building or structure.

DO NOT SCALE DRAWINGS

-CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT AND COMMENCEMENT OF ANY BUILDING WORK

- All dimensions in millimetres. Dimensions take preference top scale and are to structure not finish.
- Walls shown as stud components without cladding.
- Any noted discrepancies on any drawing's pertaining to this project should be notified to the designer before any further works continue.

STANDARDS

- All construction to comply with the latest N.C.C. Building Code of Australia

- All drainage to comply with latest N.C.C. plumbing code of Australia, standards Australia and local council drainage and plumbing requirements, supply hardware and fixed smoke detectors with battery backup, where required under N.C.C. 3.7.2

Manufacturers or Suppliers Recommendations

General: Provide and select, if no selection is given, transport, deliver, store, handle, protect, finish, adjust and prepare for use the manufacturer items in accordance with the current written recommendations and instructions of the manufacturer or supplier.
Proprietary items/systems/assemblies: Assemble, install or fix to substrate in accordance with the current written recommendations and instructions of the manufacturer or supplier.

All timber framing to comply with the current AS1684 (residential timber framed construction simplified - non eye/cont areas) and the N.C.C. and local council requirements.

- all wet area rooms, such as W.C, bathrooms and laundries which do not contain permanent ventilated windows, must be installed with a fixed window in exhaust fans to comply with N.C.C. 3.5.5 for ventilation.

BUSHFIRE

COMPLY WITH



BAL LOW CON

This block is assessed in bushfire risk as BAL-LOW.

NOTE: There are no specific requirements to the Bushfire Attack Level (BAL) for this block. The Bushfire Attack Level (BAL) is a measure of the potential for bushfire to affect a building. It is based on the type of vegetation, the distance to the nearest fire, and the height of the building.

NOTE:

ALL COMMON THE NAT BUILDING PLUMBING AS ALL STANDARDS REQUIRE

FOR MORE INFORMATION CONTACT THE ENGINEER OR ARCHITECT

ENGINEERING DRAWINGS: STRUCTURAL ENGINEERS CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN, WIND CONTROL, ROOFING AND SOIL CONDITIONS. THIS WORK IS OUTSIDE THE SCOPE OF THIS DRAWING SERVICE AND A COMPETENT STRUCTURAL ENGINEER SHOULD BE CONSULTED. THE ENGINEER'S RESPONSIBILITY IS TO CHECK THE DESIGN AND DRAWINGS FOR COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE ENGINEER DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE DRAWING OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THE DRAWING.

IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

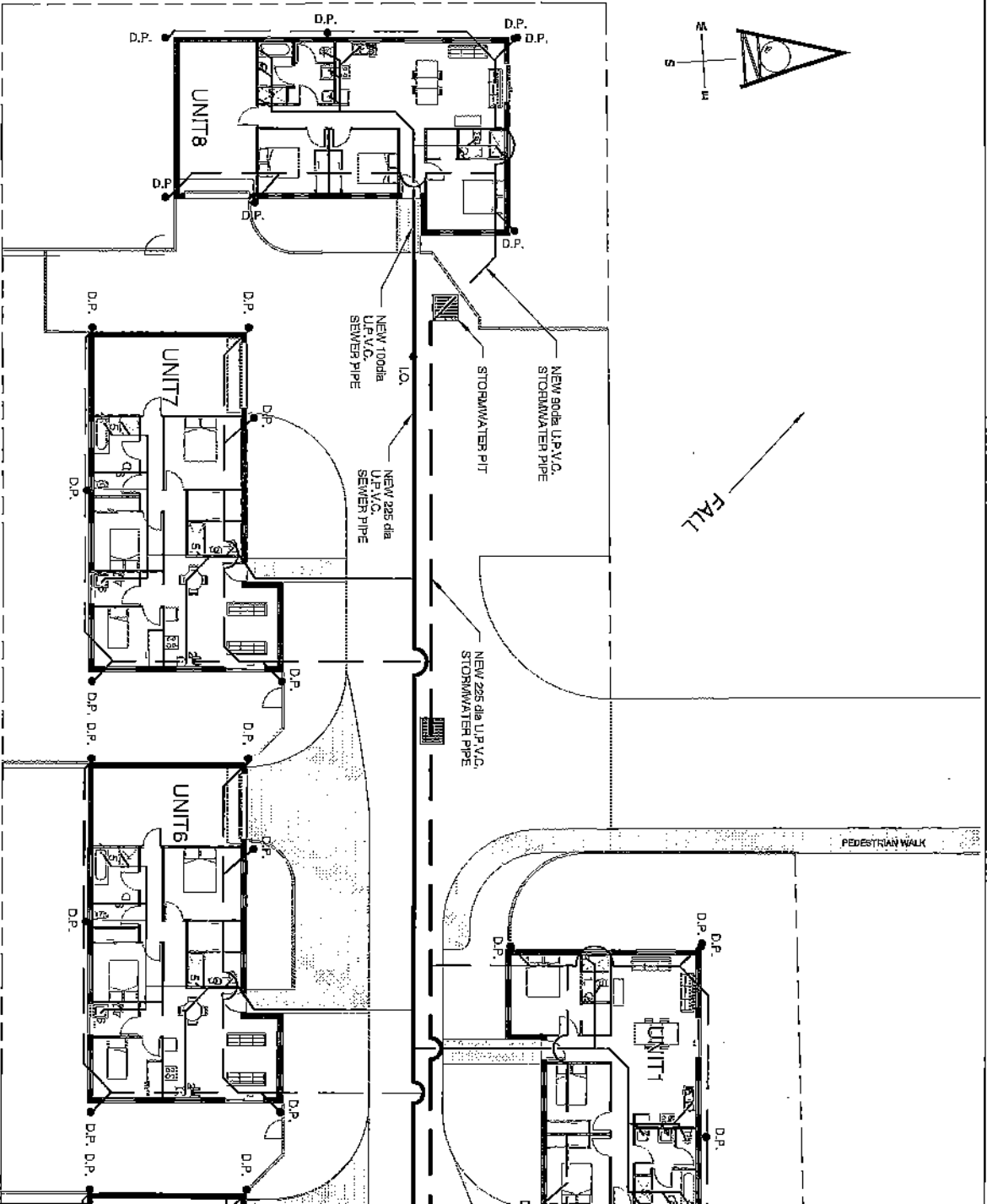
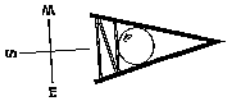
DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK



ENGINEERING DESIGN AND STRUCTURAL ENGINEERING CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN, STRUCTURAL DESIGN AND FOUNDATION DESIGN. THIS WORK IS OUTSIDE THE SCOPE OF THE DESIGN SERVICE AND A CONSEQUENTLY SEPARATE LATERAL ARCHITECTURE ADVISER THAT THIS PLAN HAS BEEN DRAWN TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY LATERAL ARCHITECTURE ADVISER DOES NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS OR THE CONSEQUENCES OF THE USE OF THIS DRAWING. THE DESIGN PROFESSIONAL NON FOR NEGLIGENCE IN CONNECTION WITH THIS DRAWING.

PART - J LANDSCAPE PLAN EAST
SCALE 1:500
DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK
IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

1-144



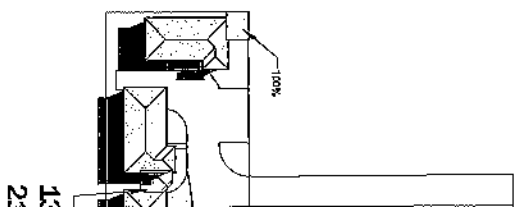
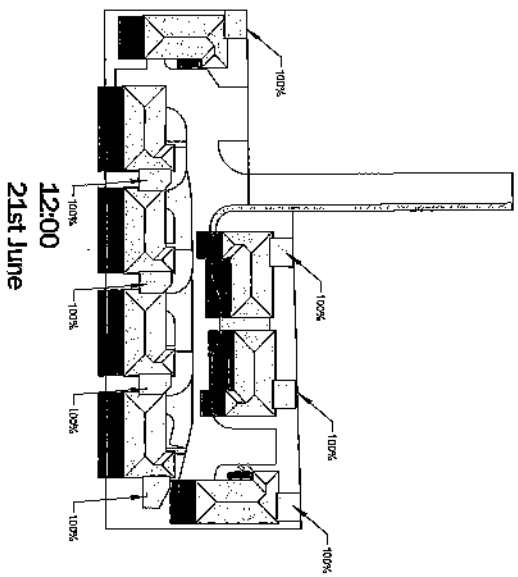
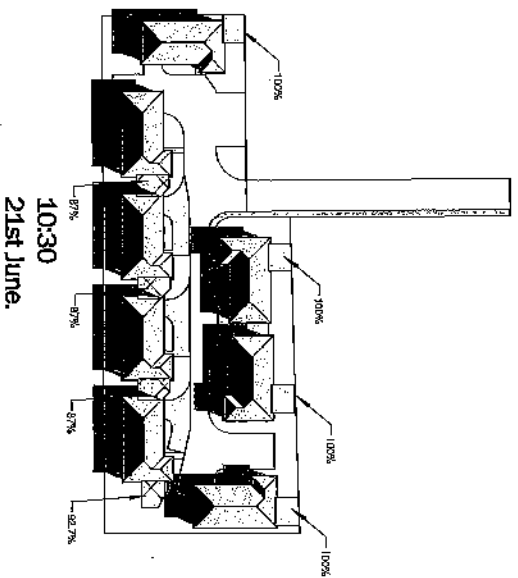
PART - DRAINAGE PLAN WEST

SCALE 1:200

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK

ENGINEERING OR PLANNING SERVICES ARCHITECTS MAY BE REQUIRED TO OBTAIN A COPY OF APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE WORK IS OUTSIDE THE SCOPE OF OUR PROFESSIONAL SERVICES AND A CONSULTANT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. ARCHITECTURE ADVISES THAT THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. ARCHITECTURE DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLAN OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

1-146



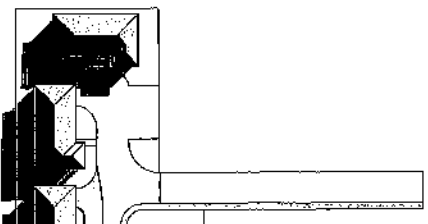
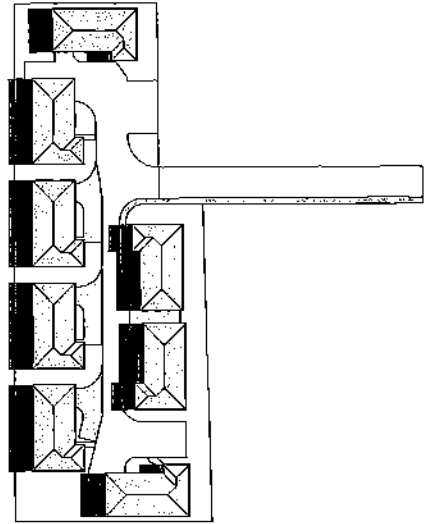
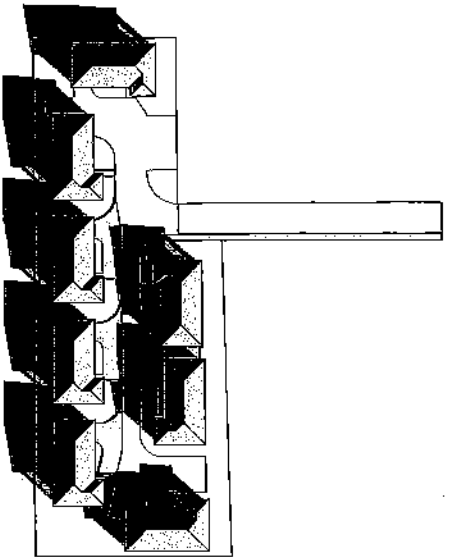
THESE DIAGRAMS SHOWS THE 3 HOURS PERIOD REQUIRED OF DAYLIGHT RECEIVING AT THE PRIVATE OPEN SPACE OF EACH UNIT
 24H2 MINIMUM PRIVATE OPENS SPACE INDICATED

PRIVATE OPEN SPACE - SHADOW DIAGRAM
 SCALE 1:1000

ENGINEERING DISCIPLINES STRUCTURAL ENGINEERS CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN, WIND CONDITIONS AND/OR SOIL CONDITIONS. THIS WORK IS OUTSIDE THE SCOPE OF THIS SERVICE AND A COMPETENT PERSON MUST BE APPOINTED TO COVER THESE AREAS. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE OF THE DESIGNER. THE DESIGNER ACCEPTS RESPONSIBILITY FOR THE DESIGN AND THE DRAWING. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE DRAWING DUE TO INADEQUATE INFORMATION FOR PROVISION OF INFORMATION.

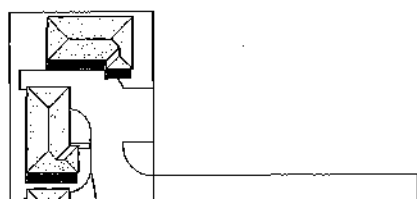
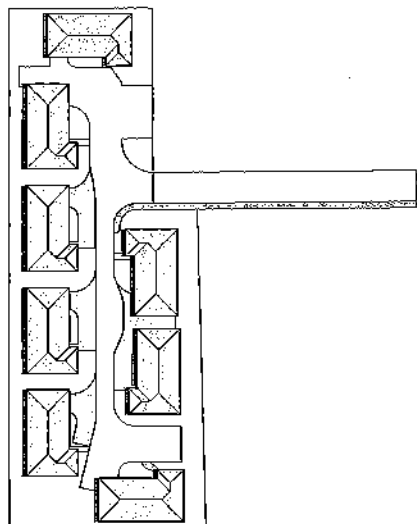
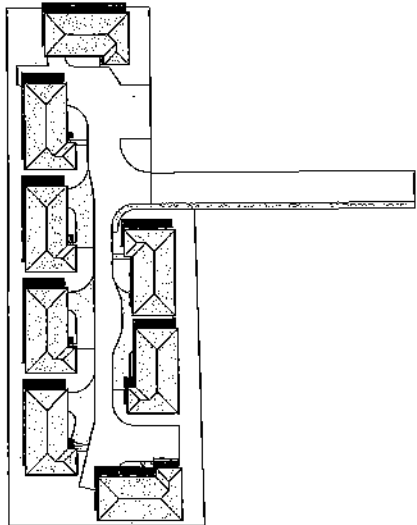
IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS, IF IN DOUBT - ASK



1-147

WINTER - SHADOW DIAGRAM
SCALE 1:1000



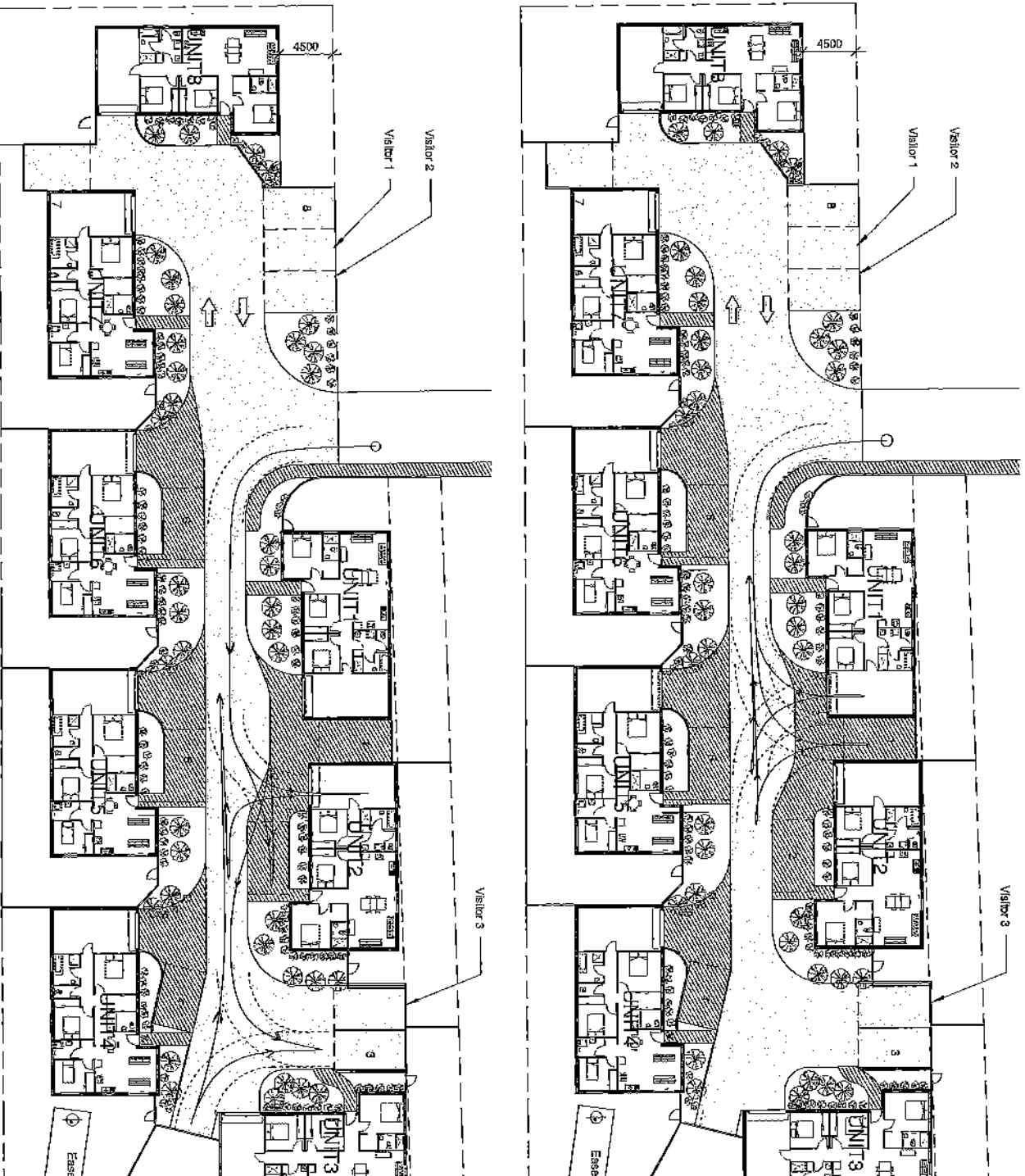
SUMMER - SHADOW DIAGRAM
SCALE 1:1000

ENGINEERING DISCIPLINES: STRUCTURAL, ENGINEERS CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN, WIND CONDITIONS AND/OR SOIL CONDITIONS. THIS WORK IS OUTSIDE THE SCOPE OF THIS OFFERING SERVICE AND A COMPLETE RISK TO THE CLIENT. ENGINEERS SHOULD BE ADVISED THAT THE PI SHOULD BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. LAYERS SHOULD BE ADVISED THAT THE PI DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS DUE TO INFORMATION SUPPLIED OR FOR ANY CONSTRUCTION OR INFORMATION.

IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK

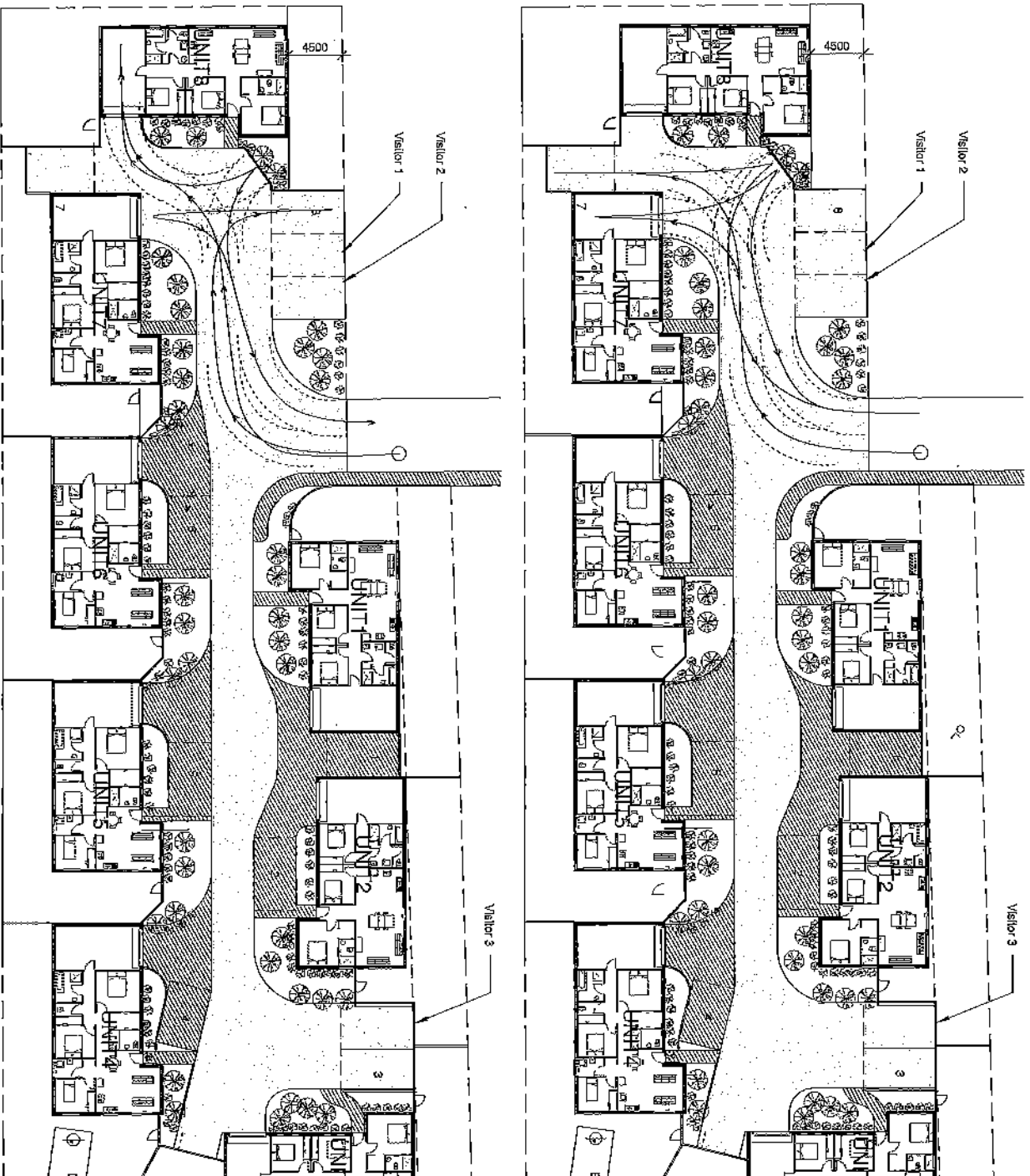
11



ENGINEERING OR DRAWINGS, STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER SPECIALTY WORK, SHALL BE THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT. THIS WORK IS OUTSIDE THE SCOPE OF THE DESIGN SERVICE AND A COMPLETE CONTRACT SHALL BE ENTERED INTO WITH THE ENGINEER OR ARCHITECT. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK.

IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL, WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK







ENGINEERING CONSULTANTS: STRUCTURAL ENGINEERS CERTIFICATIONS MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN, WIND LOADS, TOWER AND/OR SOIL CONDITIONS. THIS WORK IS OUTSIDE THE SCOPE OF THIS DRAWING SERVICE AND A COMPLETE STRUCTURAL ENGINEER SHOULD BE ENGAGED. THESE PLANS SHALL BE HELD IN THE OFFICE OF THE ARCHITECT WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. LATERAL RESISTANCE TO BE PROVIDED BY THE ARCHITECT. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS DUE TO MISSING SUPPLIER INFORMATION, NOR FOR MISCONSTRUCTION OR INTERPRETATION.

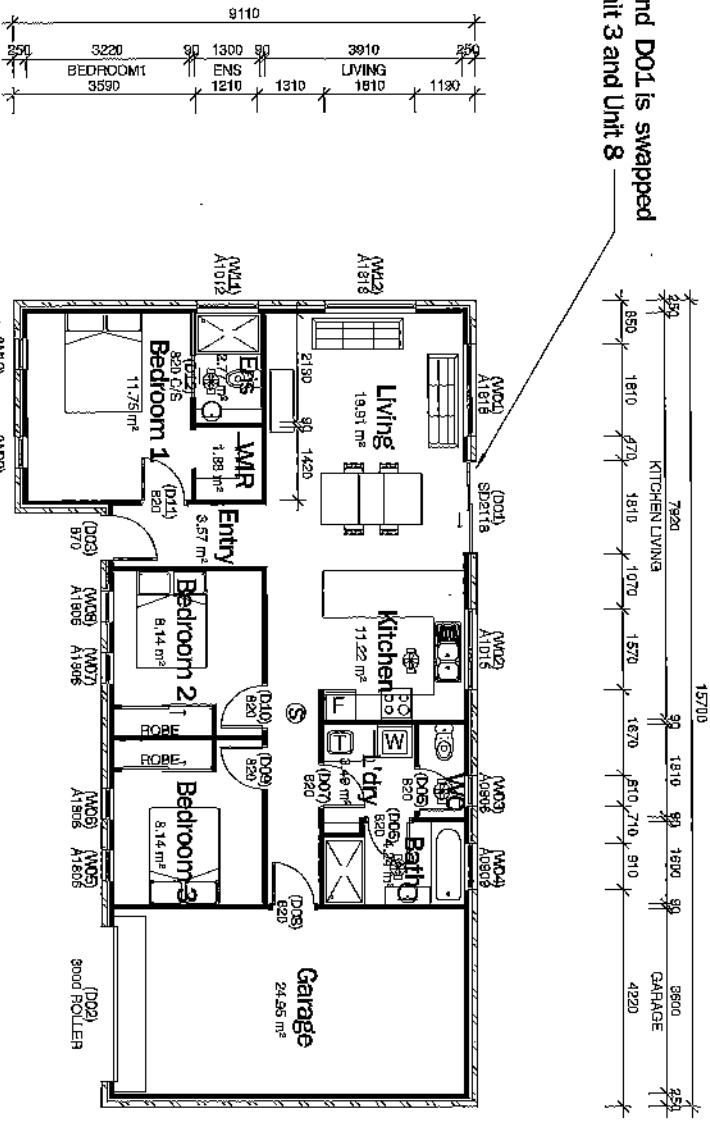
DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK

IMPORTANT: IF DRAWING NOT LOGGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

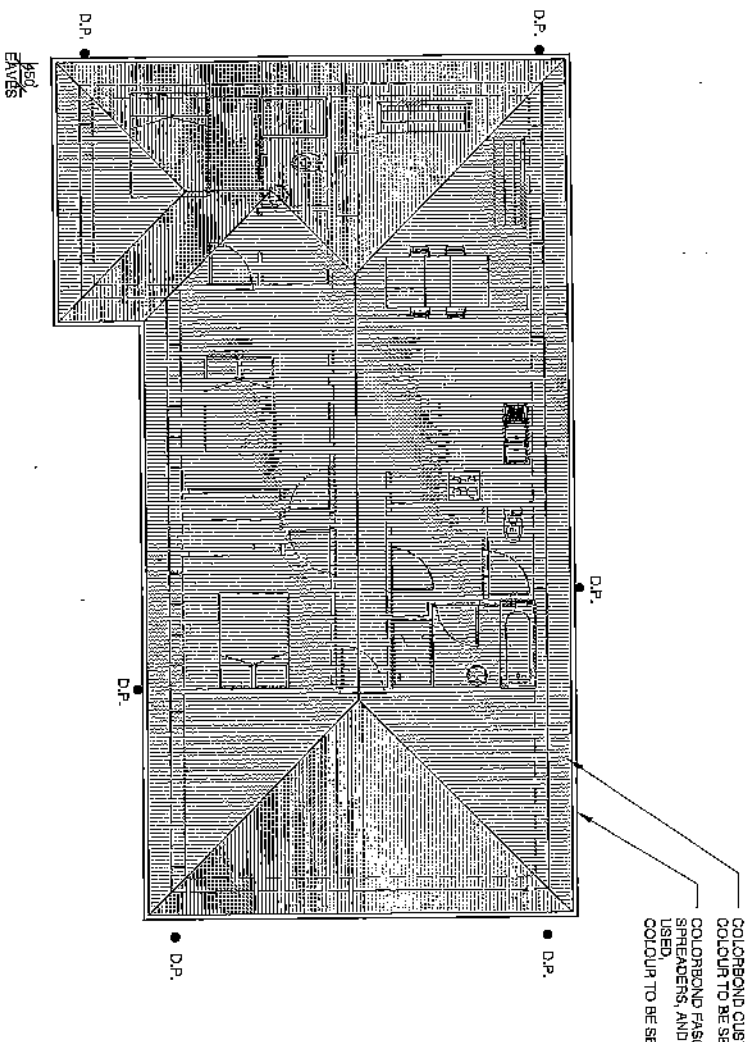
LEGEND:

-  = DENOTES NEW BRICK VENEER WALLS TO BE CONSTRUCTED.
-  = DENOTES NEW STUD WALLS TO BE CONSTRUCTED.
-  = DENOTES TACTICS ELECTRICAL FANS.
-  = DENOTES WIRED IN SMOKE DETECTORS POSITIONS.

W12 and D01 is swapped for Unit 3 and Unit 8



LEGEND:
 D.P. ● = DOWNPIPES



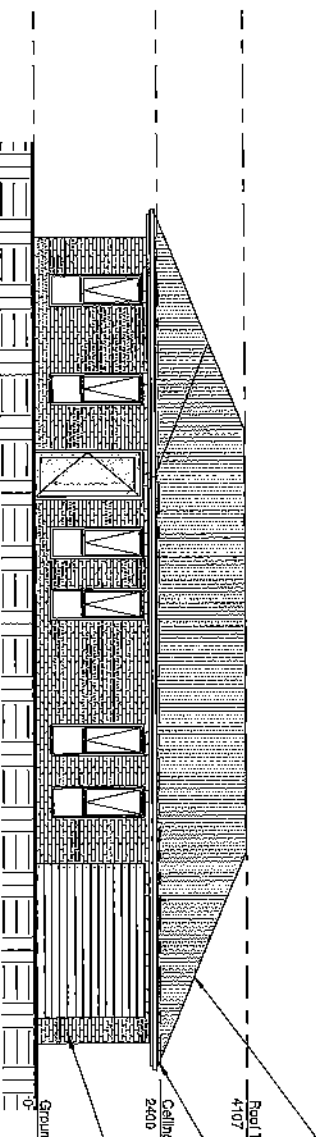
1-153

PROPOSED ROOF PLAN FOR UNIT 1,2,3,8
 SCALE 1:100

NOTE:
 COLORBOND CLADDING FITTED TO ROOF AS PER AS 1562 INSTALLATION OF ROOF AND WALL CLADDING AND N.C.C. 3.5/1.

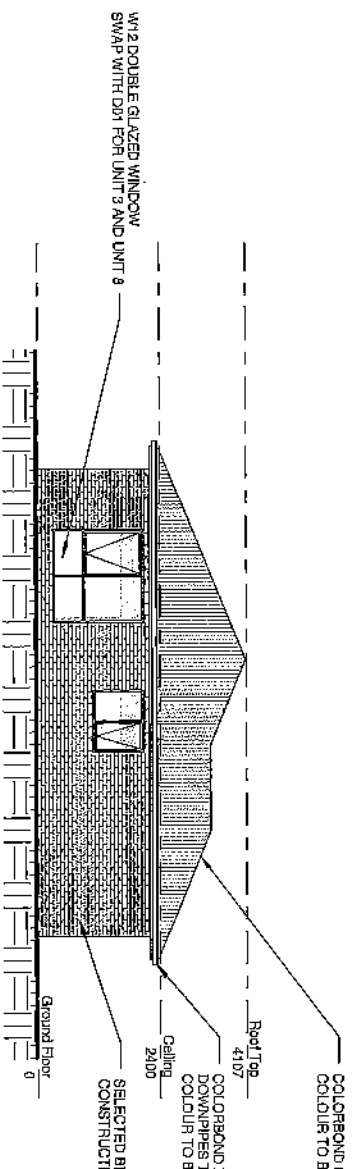
IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK



SOUTH ELEVATION FOR UNIT 1.2.3.8
 (REFERENCE UNIT 1)
 SCALE 1:100

1-155



WEST ELEVATION FOR UNIT 1.2.3.8
 (REFERENCE UNIT 1)
 SCALE 1:100

NOTE:

COLOPOUND CLADDING FITTED TO ROOF AS PER AS1 582
 INSTALLATION OF ROOF AND WALL CLADDING AND N.C.C. 3.5.1.

LEVELS PROVIDED ARE FOR LATERAL ARCHITECTURES PURPOSES
 ONLY AND ARE NOT TO BE USED AS CONSTRUCTION LEVELS. BUILDER
 MUST CONFIRM ALL LEVELS AND SLOPES ON BLOCK ON SITE BEFORE
 CONSTRUCTION.

ENGINEERING SPECIALIST structural engineers certificates may be required to cover areas of structural design,
 wind control and other matters. THIS WORK IS OUTSIDE THE SCOPE OF THIS CONTRACT SERVICE AND A COMPETENT
 PERSON SHOULD BE CONSULTED FOR THIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY. THE LOCAL AUTHORITY
 LOCAL AUTHORITY LATERAL ARCHITECTURE HOWEVER DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR
 OMISSIONS IN THE PLANS DUE TO INADEQUATE INFORMATION FOR CONSTRUCTION OR INTERPRETATION.

IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK

Name	Area	Window Number	Light Required	Light Achieved	Ventilation Required	Ventilation Achieved
Bedroom 3	81.4 m ²	W05,W06	0.91	2.16 m ²	0.41	1.08
Bedroom 2	81.4 m ²	W05,W07	0.91	2.16 m ²	0.41	1.08
Bedroom 1	11.75 m ²	W05,W10	1.18	2.16 m ²	0.59	1.08
Living	19.91 m ²	W01,D01,W12	1.98	7.39 m ²	1.00	9.69
Kitchen	11.22 m ²	W02	1.12	1.50 m ²	0.56	0.75

NATURAL LIGHT AND VENTILATION (UNIT 1,2,3,8)

PART 3.8.4.1 LIGHT Minimum 10% of the floor area of a habitable room required (natural light)
 PART 3.8.4.5 VENTILATION Minimum 5% of the floor area of a habitable room required (an exhaust fan may be used for a sanitary compartment, laundry or bathroom provided contained air discharges directly to the outside of the building by way of ducts.

Door Schedule (UNIT 1,2,3,8)

Mark	Type	Comments	Level	Height	Width	Material	Comments
D01	S0214		Ground Floor 2100	1810		Aluminium	Exterior
D02	3000 ROLLER		Ground Floor 2100	2010		Aluminium	Exterior
D03	610		Ground Floor 2040	820		Timber	Exterior
D05	820		Ground Floor 2040	820		Timber	Interior
D06	820		Ground Floor 2040	820		Timber	Interior
D07	820		Ground Floor 2040	820		Timber	Interior
D08	820		Ground Floor 2040	820		Timber	Interior
D09	820		Ground Floor 2040	820		Timber	Interior
D10	820		Ground Floor 2040	820		Timber	Interior
D11	820		Ground Floor 2040	820		Timber	Interior
D12	820 CG		Ground Floor 2140	820		Timber	Interior

Ground Floor-11
 Grand total: 11

Window Schedule (UNIT 1,2,3,8)





Mark	Type	Comments	Height	Width	Area	Head Height	Sill Height	Material	Glazing	Remarks
W01	A1812		1800	1810	3.25 m ²	2100	300	Aluminium	Clear Double Glazed	
W02	A1015		1600	1570	1.57 m ²	2100	1100	Aluminium	Clear Double Glazed	
W03	A0906		800	0.85 m	0.65 m ²	2100	1200	Aluminium	Opaque Double Glazed	
W04	A0908		900	910	0.82 m ²	2100	1200	Aluminium	Clear Double Glazed	
W05	A1805		1800	810	1.10 m ²	2100	300	Aluminium	Clear Double Glazed	
W06	A1806		1800	810	1.10 m ²	2100	300	Aluminium	Clear Double Glazed	
W07	A1808		1800	810	1.10 m ²	2100	300	Aluminium	Clear Double Glazed	
W08	A1808		1800	810	1.10 m ²	2100	300	Aluminium	Clear Double Glazed	
W09	A1808		1800	810	1.10 m ²	2100	300	Aluminium	Clear Double Glazed	
W10	A1808		1800	810	1.10 m ²	2100	300	Aluminium	Clear Double Glazed	
W11	A1012		1000	1210	1.21 m ²	2100	1100	Aluminium	Clear Double Glazed	
W12	A1818		1800	1310	2.35 m ²	2100	300	Aluminium	Clear Double Glazed	

Grand total: 12

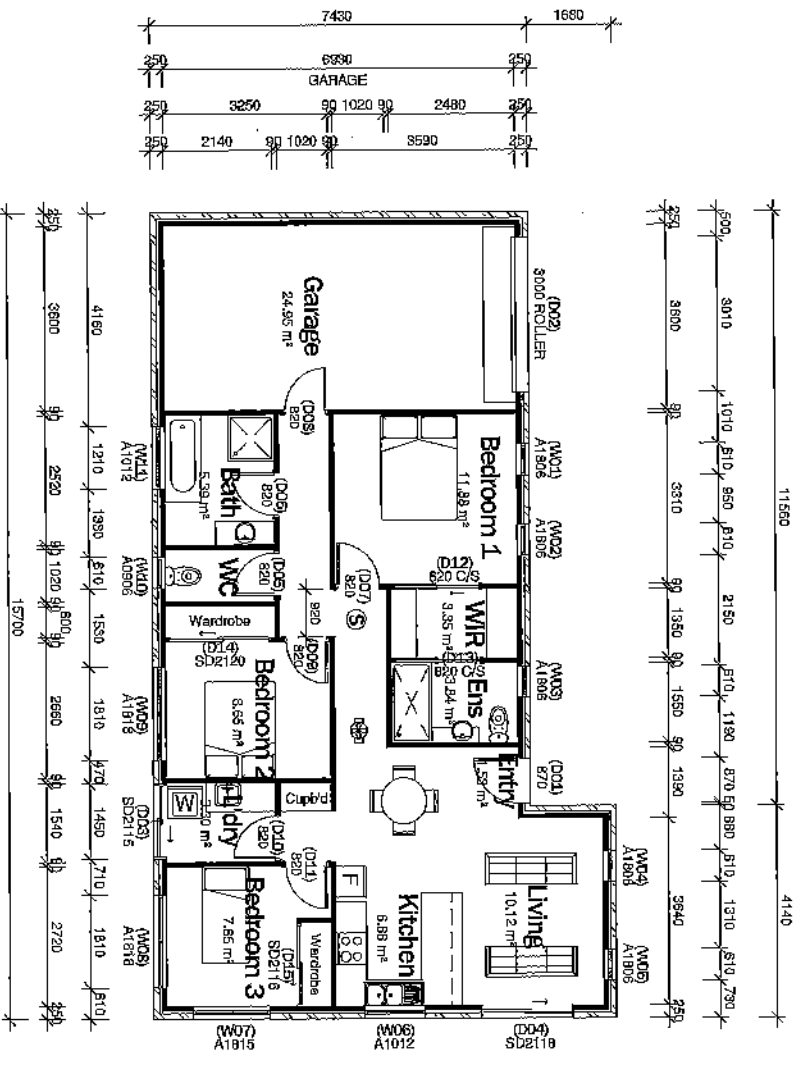
ENGINEERING DISCIPLINE: STRUCTURAL ENGINEERS CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN.
 WINDOW SCHEDULES AND DOOR SCHEDULES: THIS WORK IS OUTSIDE THE SCOPE OF THIS DRAWING SERVICE AND IS CONFIDENTIAL TO THE CLIENT. THE CLIENT IS ADVISED THAT THIS WORK IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT.
 DOOR ALUMINUM: LARGEST ARCHITECTURE ADVISES THAT THIS PLAN HAS BEEN DRAWN TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL ALUMINUM LARGEST ARCHITECTURE HOWEVER, IT IS NOT ACCEPTED FOR ANY ENGINEERING OF THE REQUIREMENTS OF THE CLIENTS. THE CLIENT IS ADVISED THAT THIS WORK IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT.
 DIMENSIONS IN THE PLAN ARE TO WINDOW SCHEDULES FOR ARCHITECTURAL OR MECHANICAL.

IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK

- LEGEND:**
-  DENOTES NEW BRICK VENEER WALLS TO BE CONSTRUCTED.
 -  DENOTES NEW STUD WALLS TO BE CONSTRUCTED.
 -  DENOTES TASTICS ELECTRICAL FANS.
 -  DENOTES WIRED IN SMOKE DETECTORS POSITIONS.

1-157



PROPOSED FLOOR PLAN (UNIT 4,5,6,7)
SCALE 1:100

TOTAL AREA	m ²	sq
Proposed Ground Floor	123.61	13.31

NOTE:

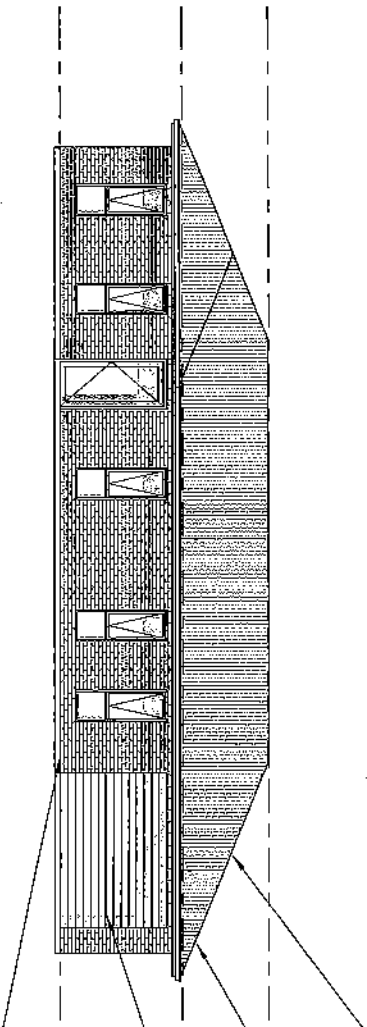
WINDOW SCHEDULE NOTE:

S1 915 = S: SLIDING, 15: 1500mm HIGH, 151610 WIDE.
 A1 509 = A: AWNING, 15: 1500mm HIGH, 093110 WIDE.
 D = DOUBLE HUNG, F = FIXED, C = CASEMENT.

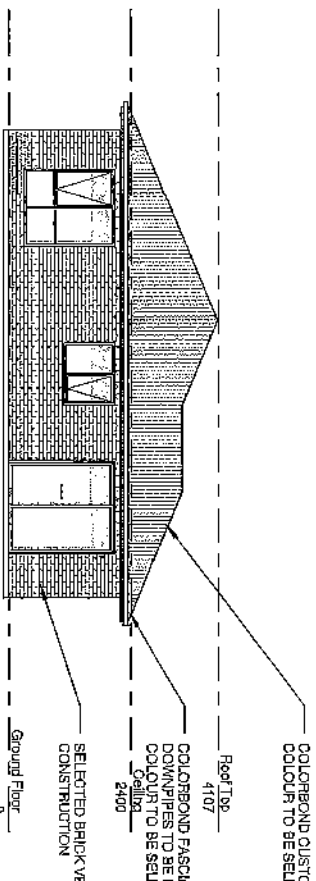
ENGINEERING CONSULTANTS, STRUCTURAL ENGINEERS, CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN. ALL WORKING DRAWINGS SHOULD BE CHECKED BY THE ARCHITECT FOR THE SCOPE OF THE DRAWING SERVICE AND A COMPLETE SET OF WORKING DRAWINGS SHOULD BE PROVIDED TO THE CONTRACTOR. THE ARCHITECT SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. LATERAL SUPPORTS SHALL BE PROVIDED FOR ALL WALLS AND CEILING. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS DUE TO WHOLLY SUPPLIED INFORMATION, AND FOR DISCREPANCY OR INTERFERENCE.

IMPORTANT: IF DRAWING NOT LODGED ON PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

(EXCLUDING DECK/CARPORT etc.)
DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK



NORTH ELEVATION FOR UNIT 4,5,6,7
SCALE 1:100



EAST ELEVATION FOR UNIT 4,5,6,7
SCALE 1:100

1-159

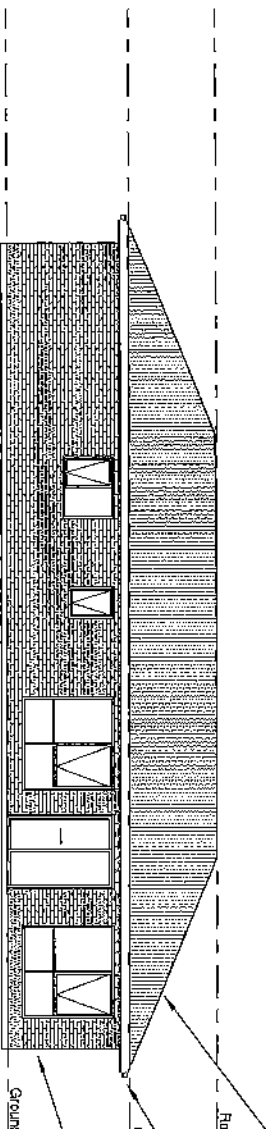
NOTE:

COLORBOARD CLADDING FITTED TO ROOF AS PER AS1582
INSTALLATION OF ROOF AND WALL CLADDING AND N.C.C. 9.5.11
LEVELS PROVIDED ARE FOR LATERAL ARCHITECTURES PURPOSES
ONLY AND ARE NOT TO BE USED AS CONSTRUCTION LEVELS. BUILDER
MUST CONFIRM ALL LEVELS AND SLOPES ON BLOCK ON SITE BEFORE
CONSTRUCTION.

ENGINEERING DISCLAIMER: ENGINEERS CERTIFICATE MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN.
WIND LOADS AND SOIL CONDITIONS. THIS WORK IS OUTSIDE THE SCOPE OF THE DRAWING SERVICE AND A CONSULTING
ENGINEER SHOULD BE ENGAGED TO COVER THESE AREAS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR
OMISSIONS IN THE PLANS DUE TO UNUSUALY SUPPLIED INFORMATION FOR CONSTRUCTION OR REPRESENTATION.
LOCAL AUTHORITIES, LATERAL ARCHITECTURE ADVISES THAT THIS PLAN HAS BEEN DRAWN TO COMPLY WITH THE REQUIREMENTS OF THE
DRAWMAN'S LIABILITY ACT 1981. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR
OMISSIONS IN THE PLANS DUE TO UNUSUALY SUPPLIED INFORMATION FOR CONSTRUCTION OR REPRESENTATION.

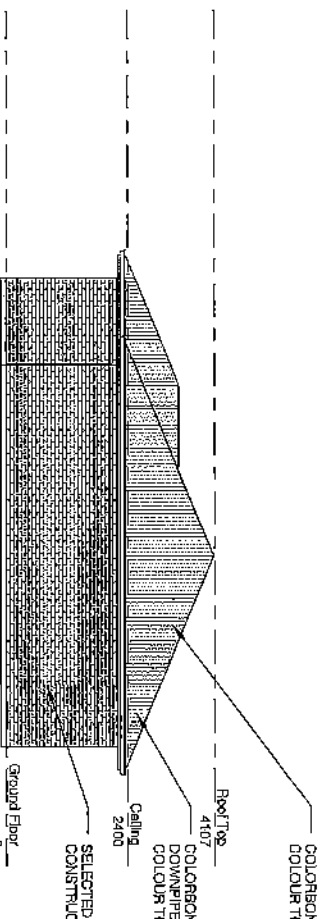
IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS, IF IN DOUBT - ASK



SOUTH ELEVATION FOR UNIT 4,5,6,7
SCALE 1:100

1-160



WEST ELEVATION FOR UNIT 4,5,6,7
SCALE 1:100

NOTE:

COLORBOND CLADDING FITTED TO ROOF AS PER AS1582
INSTALLATION OF ROOF AND WALL CLADDING AND N.C.C. 3.5.1.

LEVELS PROVIDED ARE FOR LATERAL ARCHITECTURES PURPOSES
ONLY, AND ARE NOT TO BE USED AS CONSTRUCTION LEVELS. BUILDER
MUST CONFIRM ALL LEVELS AND SLOPES OR BLOCK ON SITE BEFORE
CONSTRUCTION.

ENGINEERING ORGANISER ENGINEERS CERTIFICATES MAY BE REQUIRED TO COVER AREAS OF STRUCTURAL DESIGN,
WIND CONDITIONS AND/OR CONDUCTIONS. THE WORK IS OUTSIDE THE SCOPE OF THIS DRAWING SERVICE AND A COMPLETE
SET OF DRAWINGS MUST BE PROVIDED TO THE ARCHITECT. THE ARCHITECT ADVISES THAT THE PLAN HAS BEEN DRAWN TO COMPLY WITH THE REQUIREMENTS OF THE
LOCAL AUTHORITY. LATERAL ARCHITECTURE HOWEVER DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY ERRORS OR
OMISSIONS IN THE PLAN DUE TO MATERIAL SUPPLIED INFORMATION, NOR FOR ANY CONSTRUCTION OR INSPECTIONAL

IMPORTANT: IF DRAWING NOT LODGED ON PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS, IF IN DOUBT - ASK

NATURAL LIGHT AND VENTILATION (UNIT 4,5,6,7)

PART 354 LIGHT Minimum 10% of the floor area of a habitable room (regulated natural light)
 PART 355 VENTILATION Minimum 8% of the floor area of a habitable room (required for minimum ten m³/hr used for a healthy environment, liquidity or bathroom products
 commercial or dispenses directly to the outside of the building by way of ducts.

Name	Area	Window Number	Light Required	Light Achieved	Ventilation Required	Ventilation Achieved
Bedroom 2	8,32 m²	W06	0,89	3,24 m³	0,416	1,62
Bedroom 3	7,51 m²	W06, W07	0,79	3,24 m³	0,3655	1,62
Bedroom 1	11,49 m²	W01, W02	1,19	2,16 m³	0,694	1,08
Living	24,52 m²	W04, W05, D04, W06	2,46	7,19 m³	1,281	3,60

Door Schedule (UNIT 4,5,6,7)

Mark	Type	Height	Width	Material	Comments
D01	670	2040	970	Aluminium	Exterior
D02	3000 ROLLER	2100	3070	Aluminium	Exterior
D03	SD2115	2200	1450	Aluminium	Exterior
D04	SD2718	2200	1870	Aluminium	Exterior
D05	801	2040	820	Timber	Interior
D06	920	2040	820	Timber	Interior
D07	920	2040	820	Timber	Interior
D08	920	2040	820	Timber	Interior
D09	920	2040	820	Timber	Interior
D10	920	2040	820	Timber	Interior
D11	920	2040	820	Timber	Interior
D12	920 C/S	2040	800	Timber	Interior
D13	920 C/S	2040	800	Timber	Interior

Ground Floor 13
 Grand total 13

1-161

Window Schedule (UNIT 4,5,6,7)

Mark	Type	Height	Width	Area	Head Height	Sill Height	Material	Glazing	Remarks
W01	A1808	1800	610	1,10 m²	2100	300	Aluminium	Clear Double Glazed	
W02	A1806	1900	610	1,10 m²	2100	300	Aluminium	Clear Double Glazed	
W03	A1806	1900	610	1,10 m²	2100	300	Aluminium	Opaque Double Glazed	
W04	A1806	1900	610	1,10 m²	2100	300	Aluminium	Clear Double Glazed	
W05	A1806	1900	610	1,10 m²	2100	300	Aluminium	Clear Double Glazed	
W06	A1012	1000	1210	1,21 m²	2100	1100	Aluminium	Clear Double Glazed	
W07	A1815	1800	1510	2,72 m²	2100	300	Aluminium	Clear Double Glazed	
W08	A1818	1800	1810	3,26 m²	2100	300	Aluminium	Clear Double Glazed	
W09	A1818	1900	1810	3,46 m²	2100	300	Aluminium	Clear Double Glazed	
W10	A808	900	610	0,55 m²	2100	1200	Aluminium	Opaque Double Glazed	
W11	A1012	1000	1210	1,21 m²	2100	1100	Aluminium	Clear Double Glazed	

SI 815 = S. SLIDING, 1818
 A1808 = A. RAINING, 1515
 D = DOUBLE HUNG, F = FL
 Peter Glazing U value and SI
 PROTECTION OF OPENING
 All Openings must be provide
 the floor below the window or
 beneath of a opening is below
 All Openings must be adequ
 Absorb

All Glazed window & door At
 All other glass to comply with
 Wet area glazing, Shower St
 Glass Shower Screens to co

DO NOT SCALE DRAWINGS. IF IN DOUBT - ASK

ENGINEERING DRAWINGS: STRUCTURAL ENGINEERS CERTIFICATES MAY BE REQUIRED TO COVER ABOVE OR STRUCTURAL DESIGN,
 VIBRO CONSULTING ENGINEERS, SOIL CONSULTING ENGINEERS, CIVIL ENGINEERS, ELECTRICAL ENGINEERS, MECHANICAL ENGINEERS,
 MECHANICAL ELECTRICAL PLUMBING ENGINEERS, ENVIRONMENTAL ENGINEERS, LANDSCAPE ARCHITECTS, ARCHITECTS, PLANNING,
 DESIGNER, LANDSCAPE ARCHITECTURE ADVISER THAT THIS PLAN HAS BEEN DRAWN TO COMPLY WITH THE REQUIREMENTS OF THE
 LOCAL AUTHORITY. THESE ARE NOT A DESIGN OR ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE DRAWING OR
 OMISSIONS IN THE DRAWING DUE TO INADEQUATE INFORMATION NOT FOR REPRODUCTION OR IN REVISION.

IMPORTANT: IF DRAWING NOT LODGED OR PROCESSED WITH COUNCIL WITHIN 12 MONTHS OF LAST REVISION DATE, THEN PLEASE RETURN FOR REVIEW BEFORE PROCEEDING.

Our ref: 105100.575; P15-299; Porky & Co (obo DA Wrigley Contracting P/L)
Enquiries: Erin Boer



**NORTHERN
MIDLANDS
COUNCIL**

13th October 2015

Porky & Co (obo DA Wrigley Contracting P/L)
PO Box 5012
LAUNCESTON 7250
via email: samhogg@porky.net.au

emailed 13/10

Dear Mr Hogg

Planning Application P15-299 - Information Required
Multiple dwellings x 8 (heritage precinct) at 11A Frederick Street, Perth

I refer to the abovementioned application, which has been further reviewed by Council's Planning Officers. The following information is required to allow consideration of your application under the *Northern Midlands Interim Planning Scheme 2013*:

- Submission addressing the General Residential Zone provisions, addressing the following matters in particular:
 - i. Clause 10.4.3 A2 (c) – The private open space, as required by this clause, is not directly accessible from habitable rooms for units 3 and 8. This could easily be rectified by relocating the sliding door to the northern elevation. Alternatively, a strong submission addressing the corresponding performance criteria is required. *✓ 16/11*
 - ii. Clause 10.4.4 A1 – Units 4-7 do not have any habitable rooms (other than bedrooms) located on the northern side. A redesign of these units is preferable to ensure these units achieve adequate solar access. Alternatively, a strong submission addressing the corresponding performance criteria is required. *✓ 16/11*
 - iii. 10.4.6 A3 (a/b) – A number of units have less than the separation distance required by this clause between habitable rooms and shared *1/11*

- Traffic Impact Assessment (TIA)
In accordance with clause E4.5.1, a basic TIA is required to demonstrate compliance with clause E4.6.1 P2, as it is anticipated that the site will generate greater than 40 spaces, based on the Department of Infrastructure, Energy and Resources (Roads & Traffic Division) – Traffic Impact Assessment Guidelines September 2007 (section 2.3, note 8).
Rec 11-11-15
- Turning templates
Turning templates for each unit (in particular parking spaces for units 2,4,5,7 & 8) are required to demonstrate vehicles are able to enter and exit in a forward direction. This may need to be shown on multiple sheets for clarity. Please note that turning area shall not pass over land dedicated to another unit
*Rec 11-11-15
(part of TIA)*
- Distance to sewer manhole
The distance from the edge of the sewer man hole to the edge of unit four is required to be shown on the plan.
✓ 16/11
- Waste storage, storage and site services are required to be shown on the plans in accordance with clauses 10.4.8, 10.4.9 and 10.4.12.
✓ 16/11

Therefore, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been supplied to the satisfaction of the Planning Authority. It is a requirement of the Planning Authority that all correspondence, if emailed, is sent to Planning@nmc.tas.gov.au and referenced with the planning application number P15-299. If you have any queries, please contact Council's Planning Section on 6397 7301, or e-mail Planning@nmc.tas.gov.au.

Yours sincerely



Erin Boer
PLANNING OFFICER

Paul Godier

From: Paul Godier
Sent: Tuesday, 8 December 2015 10:11 AM
To: 'Sam Hogg'
Cc: Duncan Payton
Subject: RE: Fencing - 11A Frederick Street, Perth

Thanks Sam, that's a good outcome.

From: Sam Hogg [mailto:sam.hogg@porky.net.au]
Sent: Saturday, 5 December 2015 7:46 AM
To: Paul Godier <paul.godier@nmc.tas.gov.au>
Cc: Duncan Payton <duncan.payton@nmc.tas.gov.au>
Subject: Re: Fencing - 11A Frederick Street, Perth

Hi Paul,

Yes I'd be very happy to do that.

Thanks

Sam

Sent from Outlook

On Thu, Dec 3, 2015 at 9:03 PM -0800, "Paul Godier" <paul.godier@nmc.tas.gov.au> wrote:

Hello Sam, can you please advise whether you would be willing to replace the colourbond fence with a 1.8m high paling fence, for the length of the driveway on both sides?

Regards,

Paul Godier



Senior Planner | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331

The General Manager
Northern Midlands Council
13 Smith Street
Longford 7301

28 November 2015

13 Frederick Street
Perth Tasmania 7212

Dear Sir,

DA15-299: Development application 11A Frederick Street Perth obo Porky Pty

As owners of 13 Frederick Street, (property ID332 School House) listed the Tasmanian Heritage Register we submit this representation on the proposed development of 8 strata-titled houses on the adjoining property, 11A Frederick Street for your consideration.

Built in 1860, the house was originally the Perth Primary School and thought to be one of the earliest government schools in Tasmania. Joseph Lyons, who went on to become Tasmania's first Prime Minister of Australia lived and taught here in 1908. When a new school was built on 11 Frederick Street in 1940, the Schoolmaster's house became a private residence.

If the Perth Heritage Precinct character statement in the IPS 2013 is to have any meaning or purpose, the performance criteria and objectives afforded by the local heritage code and subsequent clauses need to be appropriately applied when considering this development application.

E13 Local Historic Heritage Code

E13.1 Purpose

E13.1.1 (a) & (d) The development fails to meet the purpose of this provision.

E13.2 Application of the Code

Confirms that application of the code shall apply in this case.

E13.6.2 Subdivision and development density

The subdivision and development application fail to meet the objective or comply with Performance Criteria P1 (a) (b) (d) & (e)

E13.6.3 Site Cover

The application fails to meet the objective under Acceptable Solutions A1 within a precinct identified in Table E13.1: Heritage Precincts nor does it comply with Performance criteria P1 (a) & (b)

As part of its Planning Scheme Purpose 2.2.2.8 Heritage a) Council has the responsibility to recognise the importance of the area's Aboriginal and European heritage to the community and protect it for the benefit of the community and visitors and b) recognise the importance to the identity of the community and value to the economy of the area of its heritage buildings, items and places.

If the Council's objectives are to make the best use out of the available urban land it must ensure development compliments the Heritage Precinct and does not impact negatively on it.

E13.6.5 Fences Performance criteria:

Fences along both sides of the access driveway and most of the other boundaries of the development have been clad in colourbond sheets that fail to comply with E13.6.5 Fences Performance criteria P1 (a) (b) & (c) and Fences in F2 Historic Precinct Specific Area Plan F2.5.15 A1.2 (b).

We also draw your attention to the shorter lengths of colourbond sheeting with timber sleepers placed loosely beneath them along 50 metres +/- of the fence between the access driveway and 13 Frederick Street. (see photos in Appendix A) Presumably this is not acceptable for a new fence under any circumstance?

Any approval should be conditional on the colourbond sheets being replaced with vertical timber palings to a maximum height of 1800mm at least along both sides of the access driveway where they can be seen from the street as required under F2 Historic Precinct Specific Area Plan.

E13.6.12 Tree and Vegetation Removal

We have already endured a protracted and stressful period while the development of 11A Frederick Street was being considered by the previous owner. During that time a controversial resurvey was undertaken resulting in a realignment of the side boundary. There also has been a substantial loss, both in amenity and to the value of our property with the removal of six fully mature and perfectly healthy Cypress trees that were over 6 metres tall and situated along the boundary between 13 Frederick Street and the access driveway of 11A Frederick Street.

We made enquiries about this matter with Council's Planning Department on no less than 5 occasions in 2013 and 2014; three times by telephone and two times in person. On each occasion we were assured that we would receive a response but almost two years later we are still waiting.

We would now appreciate an answer from Council as to whether it received an application to remove the trees from Mr. Wrigley, the owner of the property at the time? Did the Planning Department give permission or an exemption for them to be removed, or if not, what action did Council take about the

F2 Application of Specific Area Plan

F 2.1 Purpose of Specific Area Plan & F 2.1.1 The development fails to meet the purpose of this provision as required by a development within the Perth Heritage Precinct.

F2.4 Requirements of design statement F2.4.1 & F2.4.2 The development as shown makes token concessions to requirements under this provision. Council should ensure the applicant meets all the design statements for a development within the Perth Heritage Precinct.

F2.4.3 The development application fails to provide a design statement that addresses the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that, as required.

F2.5.4 Roof Forms - Acceptable Solutions A1.1 The roof form for new buildings, must, if visible from the street, be in the form of hip or gable, with a pitch between 30 – 40 degrees (refer Figure F2.14 & F2.18)

F.2.5.9 Roof Covering A1.2 Colours - noting on the DA that this be left to owners, colours should be (i) all the same and (ii) only selected from the list of approved colours in F2 Historic Precinct Specific Area Plan.

F2.5.10 Roof Plumbing A1.1, A1.2 & A2 be complied with

F2.5 – F2.5.15 be strictly adhered to especially **F2.5.16 Paint Colours Objectives** be complied with the list approved approved colours.

If, however, Council is still of a mind to approve this development application; before doing so we would urge Council to encourage the applicant to seek advice from Council's heritage advisor, then go back to the drawing board and revise its proposal in order to produce a more relevant and sympathetic design of the units that incorporate the design elements so clearly outlined within the Specific Area Plan ensuring it sits more in harmony with the historic precinct.

In conclusion, we ask that Council reject this application on the grounds that it fails to meet critical design and other standards required for a development application within the historic precinct and for the other reasons stated.

Yours faithfully,

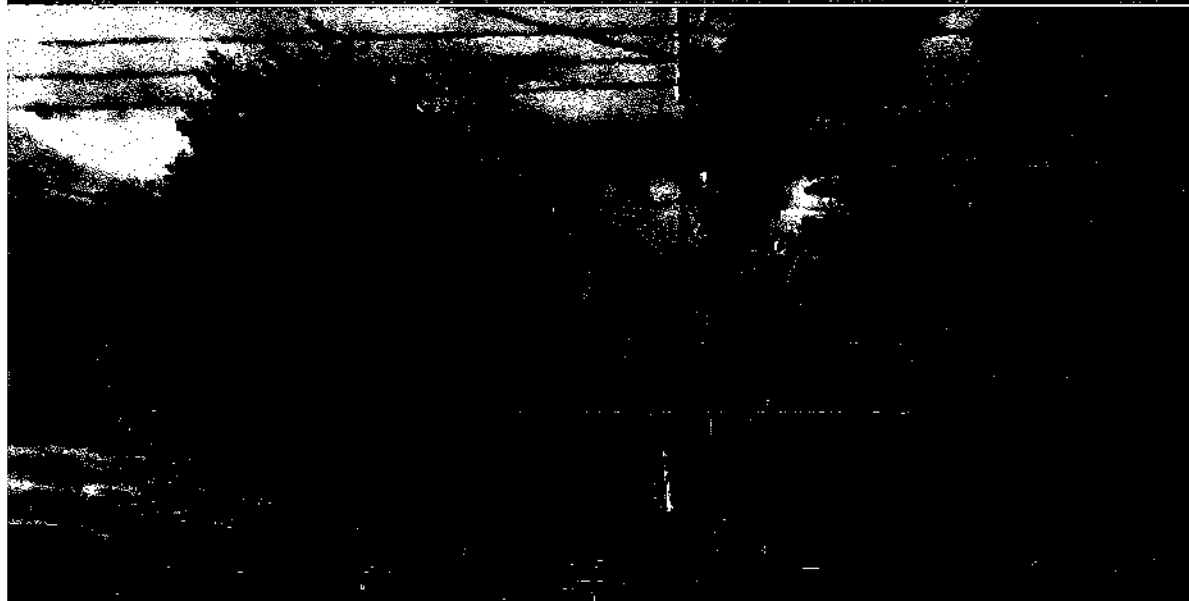
re DA15-299 11A Frederick Street, Perth

Submitted by Mr. & Mrs. J Wilson 13 Frederick Street Perth 7300

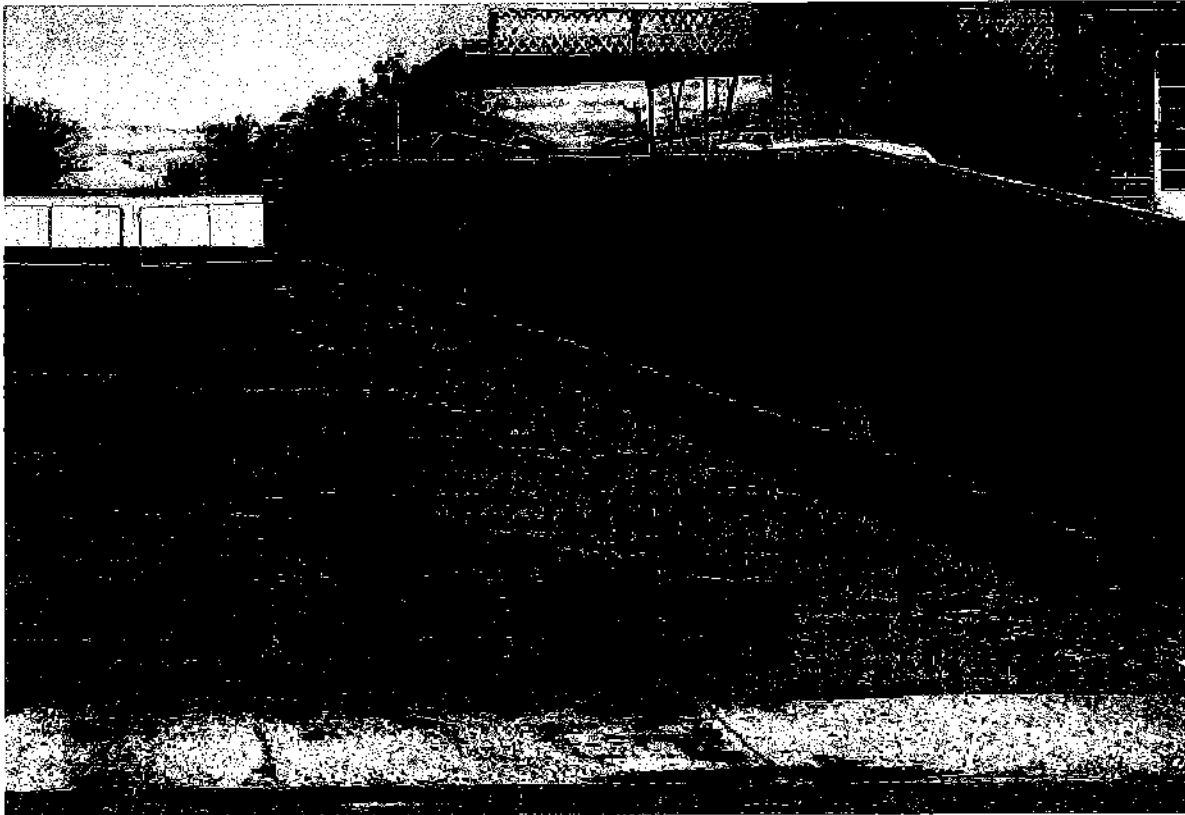


Multiple unit development in 5 Scone Street showing the roof of 13 Frederick Street in the background on the left and St Andrews Church roof in the far background.

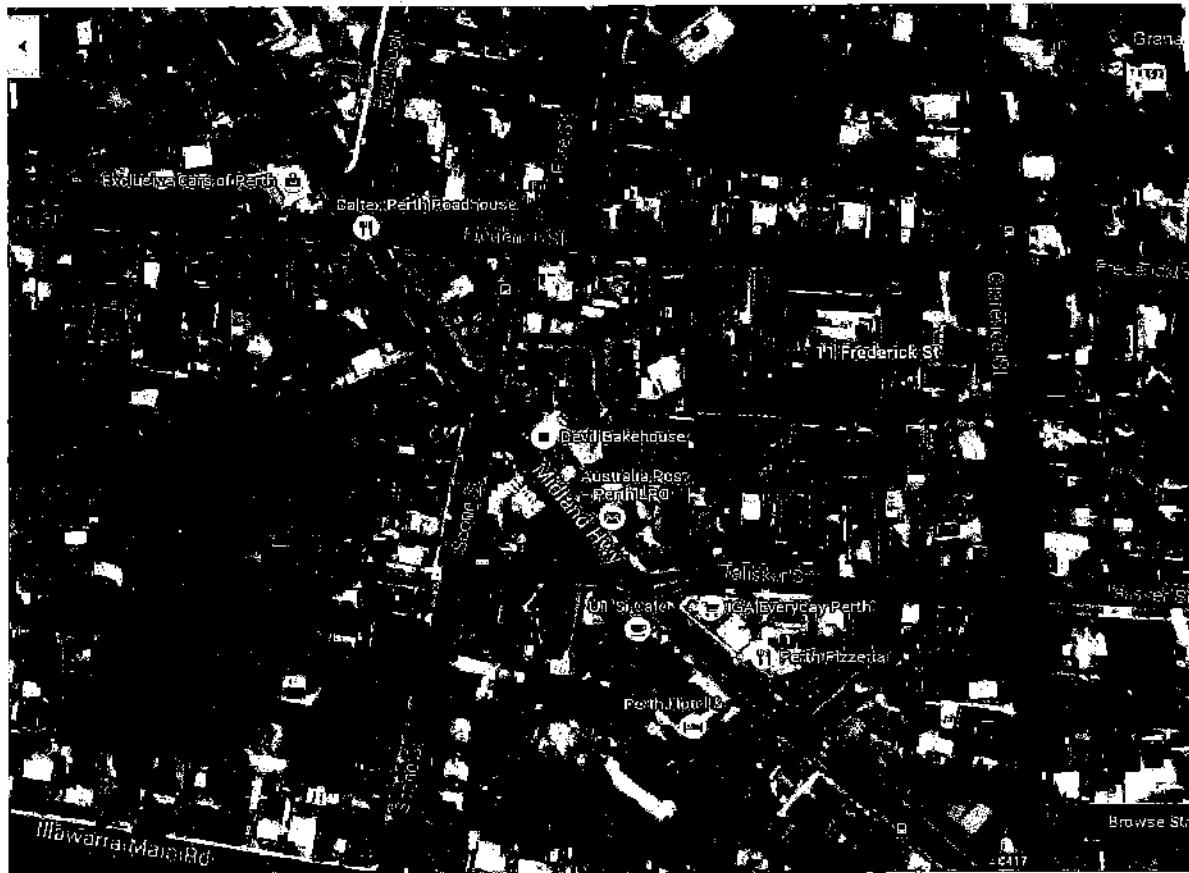




1-170



Access driveway 11A Frederick Street. Note the gap and timber sleepers under the sheeting.



Jan Cunningham

From: Boersma, Ian (Heritage) <Ian.Boersma@heritage.tas.gov.au>
Sent: Tuesday, 1 December 2015 9:42 AM
To: NMC Planning
Subject: Comment on DA 15-299, relating to 13 Frederick Street Perth
Attachments: 2005-12-09_13FrederickSt_HTCB (8).JPG; 2005-12-09_13FrederickSt_HTCB (9).JPG

The General Manager
Northern Midlands Council
Longford, Tasmania

Dear Sir,

I refer to DA 15-299 which is currently on exhibition. I wish to comment on this application, but not formally through s.57 (ie this is not a formal representation). My comment is provided at officer level and is not necessarily reflective of the views held by this agency or broader government, nor of the Tasmanian Heritage Council.

The development is situated behind a place (13 Frederick Street) that is entered on the Tasmanian Heritage Register and has its access driveway beside the heritage place.

In 2014 the then owner of the subject place allegedly removed trees along the driveway and relocated the fence on the boundary with the heritage place. We were made aware of the issue by persons associated with the heritage place, but considered the primary issue to be a legal dispute relating to a boundary and thus refrained from becoming involved.

Removal of the trees has affected the setting and amenity of the heritage place; although, based on the information available to us, it appeared that the trees had no intrinsic heritage value.

I recommend that, in assessing and determining this application, Council has regard for the setting of the heritage place and, if appropriate to do so under the planning scheme provisions, to consider requiring establishment and perpetual maintenance a continuous boundary landscaping treatment that visually isolates/screens the development (including its driveway) from the heritage place. Further, I recommend that the surface treatment of the driveway be specified in conditions unless a more specific reference than the vague "aggrigate" that is indicated on drawing no. 5 is provided in the submitted documentation, in order to ensure that the material is visually acceptable.

Attached, for your information, are two views of the driveway to the subject place prior to the recent removal of trees and relocation of fence.

1-173

←



1-174





Porky
& Co P/L

developers

07 December 2015

Mr P. Godier
Senior Planner
Northern Midlands Council
PO Box 156
LONGFORD TAS 7310

Dear Mr Godier,

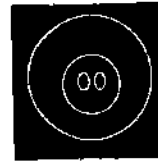
RE: OBJECTION TO DA15-299, 11 FREDERICK STREET, PERTH

I refer to the objection received and aim to address the concerns raised in the letter.

E13 Local Heritage Code

E13.1.1 The proposed development is located on an internal block with an existing driveway into the block. Currently the driveway is not attractive but with the addition of landscaping it could only add to the amenity of the street. The proposed development, being located on an internal lot, will not diminish the streetscape or in fact impact the local heritage zone. The size and location of the block is best used for a unit development.

- E13.6.2
- a) The proposed development is consistent with the historical development of the area as outlined showing similar development around the proposed development.
 - b) The proposed development is sympathetic to its surrounds. It is not dissimilar to other unit developments in the area and is on an internal lot which shields the development from Frederick Street.
 - d) The proposed development will not be removing any vegetation (apart from grass)



Porky
& Co P/L

developers

Waste removal

Like every local government area, every second week there will be the requirement to have recycling removed. This cannot be a reason to refuse development. The street is long and there is plenty of room for all bins.

Access Driveway

Table E6.2: Access Widths for Vehicles outlines the requirements for access strips. It states for 6-20 car spaces served the minimum access strip is 4.5m for the initial 7m from road carriageway and 3.0m thereafter. The proposed development complies with the requirements of Table E6.2 being 6.05m wide.

F2.1 Application of Specific Area Plan

F2.1.1 The purpose of this Specific Area Plan is to ensure that development makes a positive contribution to the streetscape within the Heritage Precincts. This development adds to the streetscape by taking what now looks like an unkempt cracked sealed access strip with weeds into a landscaped sealed access strip.

F2.4.3 See design statement

Kind regards

Design Statement for 11A Frederick St Perth

Existing land

The land at 11A Frederick Street in Perth is a flat paddock, zoned General Residential, access by a strip approximately 55 metres long and 7 metres wide. The subject land is approximately 3800 square metres in area.

Proposed Development

The proposed development seeks to make minimal impact on the streetscape by not being able to be viewed from Frederick Street. A passer-by will only be able to view the face of unit 6 garage and landscaping of unit 7 as they look up the access strip. As such it will have minimal impact to the streetscape.

The development is orientated towards the north. It has a setback of 4.5 metres from the northern boundary and 4 metres from the southern boundary. Its access strip is 6 metres wide. The roofing of the units will be of a hip roof style. The colour of the roofs will be from the selected approved colours list despite not being able to be seen from the streetscape.

The affect this development will have on the properties to the north of the development will be minimal with a 4.5 metre setback and no shading. The properties to the south, east and west have no objection to this development.

This development is going to transform what is currently an unattractive open paddock to a quality infill development thereby adding to the streetscape rather than detracting from it.

Submission to Planning Authority Notice

Council Planning Permit No.	P15-299	Council notice date	16/11/2015
TasWater details			
TasWater Reference No.	TWDA 2015/01819-NMC	Date of response	18/11/2015
TasWater Contact	Amanda Craig	Phone No.	03) 6345 6318
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	planning@northmidlands.tas.gov.au		
Development details			
Address	11A FREDERICK ST, PERTH	Property ID (PID)	3189814
Description of development	Multiple dwellings x 8		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Conditions			
<i>Water and Sewerage Industry Act</i>			
CONNECTIONS & METERING			
development must be designed and constructed to TasWater's satisfaction and be in accordance			
the developer's cost.			
56W CONSENT			



Advice

For information on TasWater development standards, please visit
<http://www.taswater.com.au/Development/Development-Standards>

For information regarding assessment fees and other miscellaneous fees, please visit
<http://www.taswater.com.au/Development/Fees---Charges>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

A handwritten signature in black ink, appearing to read "Jason Taylor".

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN
DATE: 16-Nov-2015
REF NO: P15-299; 105100.575
SITE: 11A Frederick Street, Perth
PROPOSAL: Multiple dwellings x 8 (heritage precinct)
APPLICANT: Porky & Co (obo DA Wrigley Contracting P/L)
REASON FOR REFERRAL: HERITAGE PRECINCT
*Local Historic Heritage Code
Heritage Precincts Specific Area Plan*

Do you have any objections to the proposal: **No**

Do you have any other comments on this application?

The proposal is on an internal block at the end of a 52m driveway and will not have an effect on the streetscape.

Recommend driveway be concrete with traditional style cobble stenciling in slate grey or charcoal or concrete with exposed aggregate.

Recommend planting of pencil pines along driveway adjacent to 13 Frederick Street



David Denman (Heritage Adviser)
Date: 8/12/2015

Assessment against E13.0 (Local Historic Heritage Code)

E13.1 Purpose

E13.1.1 The purpose of this provision is to:

- a) protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and*
- b) encourage and facilitate the continued use of these items for beneficial purposes; and*
- c) discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and*
- d) ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and*
- e) conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place*

E13.2 Application of the Code

E13.2.1 This code applies to use or development of land that is:

- a) within a Heritage Precinct;*
- b) a local heritage place;*
- c) a place of identified archaeological significance.*

E13.3 Use or Development Exempt from this Code

E13.3.1 The following use or development is exempt from this code:

- a) works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;*
- b) electricity, optic fibre and telecommunication cables and gas lines to individual buildings which connect above ground or utilise existing service trenches;*
- c) internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;*

Comment:

The subject site is within a *Heritage Precinct*.

E13.5 Use Standards

E13.5.1 Alternative Use of heritage buildings

Comment: N/a

E13.6 Development Standards

E13.6.1 Demolition

Comment: N/a

E13.6.2 Subdivision and development density

Comment: N/a

E13.6.3 Site Cover

Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.

Acceptable Solutions	Performance Criteria
<p>A1 Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 The site coverage must:</p> <ul style="list-style-type: none"> a) be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.4 Height and Bulk of Buildings

Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
<p>A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and</p> <p>P1.2 Extensions proposed to the front or</p>

E13.6.5 Fences

Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 <i>New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>New fences must:</i> a) <i>be designed to be complementary to the architectural style of the dominant buildings on the site or</i> b) <i>be consistent with the dominant fencing style in the heritage precinct; and</i> c) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: Satisfies the performance criteria.

E13.6.6 Roof Form and Materials

Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 <i>Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>Roof form and materials for new buildings and structures must:</i> a) <i>be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and</i> b) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: Satisfies the performance criteria.

E13.6.7 Wall materials

Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
-----------------------------	-----------------------------

E13.6.8 Siting of Buildings and Structures

Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The front setback for new buildings or structure must: <ul style="list-style-type: none"> a) be consistent with the setback of surrounding buildings; and b) be set at a distance that does not detract from the historic heritage significance of the place; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.9 Outbuildings and Structures

Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1. Outbuildings and structures must be: <ul style="list-style-type: none"> a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any. 	P1 New outbuildings and structures must be designed and located; <ul style="list-style-type: none"> a) to be subservient to the primary buildings on the site; and b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.10 Access Strips and Parking

Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
-----------------------------	-----------------------------

E13.6.11 Places of Archaeological Significance

Comment: N/a

E13.6.12 Tree and Vegetation Removal

<i>Objective: To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	<p>P1 The removal of vegetation must not:</p> <p>a) unreasonably impact on the historic cultural significance of the place; and</p> <p>b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

E13.6.13 Signage

Comment: N/a

Table E13.1: Local Heritage Precincts

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

<p>Heritage Precincts –</p> <ol style="list-style-type: none"> 1. Evandale Heritage Precinct 2. Ross Heritage Precinct 3. Perth Heritage Precinct 4. Longford Heritage Precinct 5. Campbell Town Heritage Precinct
<p>Existing Character Statement - Description and Significance</p> <p>3 PERTH HERITAGE PRECINCT CHARACTER STATEMENT</p> <p><i>The Perth Heritage Precinct is unique because it is still the core of a small nineteenth century riverside town, built around the thoroughfare from the first bridge to cross the South Esk River, and which retains its historic atmosphere. It combines significant colonial buildings, compact early river's edge residential development, and retains the</i></p>

To ensure developments within street reservations in the towns and villages having Heritage Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.

Comment: The proposal is consistent with the Heritage Precinct Character Statement and satisfies the Management Objectives.

Assessment against F2.0 (Heritage Precincts Specific Area Plan)
--

F2.1 Purpose of Specific Area Plan

F2.1.1 *In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a positive contribution to the streetscape within the Heritage Precincts.*

F2.2 Application of Specific Area Plan

F2.2.1 *This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.*

F2.3 DefinitionsF2.3.1 *Streetscape*

For the purpose of this specific area plan streetscape refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

F2.3.2 *Heritage-Listed Building*

For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

F2.4 Requirements for Design Statement

F2.4.1 *In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.*

F2.4.2 *The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.*

F2.4.3 *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

Comment: Although the subject site is within the Heritage Precincts Specific Area Plan, the proposal will not have an effect on the streetscape.

ATTACHMENT D

GENERAL RESIDENTIAL ZONE
ZONE PURPOSE
<p><i>To provide for residential use or development that accommodates a range of dwelling types at suburban densities, where full infrastructure services are available or can be provided.</i></p> <p><i>To provide for compatible non-residential uses that primarily serve the local community.</i></p> <p><i>Non-residential uses are not to be at a level that distorts the primacy of residential uses within the zones, or adversely affect residential amenity through noise, activity outside of business hours traffic generation and movement or other off site impacts.</i></p> <p><i>To encourage residential development that respects the neighbourhood character and provides a high standard of residential amenity.</i></p>
<p>Assessment: The proposal meets the zone purpose.</p>

LOCAL AREA OBJECTIVES
<p><i>To consolidate growth within the existing urban land use framework of the towns and villages.</i></p> <p><i>To manage development in the General residential zone as part of or context to the Heritage Precincts in the towns and villages.</i></p> <p><i>To ensure developments within street reservations contribute positively to the Heritage Precincts in each settlement.</i></p>
<p>Assessment: The proposal meets the local area objectives.</p>

10.4 Development Standards

10.4.1 Residential density for multiple dwellings

Objective: *To provide for suburban densities for multiple dwellings that:*

- (a) *make efficient use of suburban land for housing; and*

<p>A1</p>	<p><i>Multiple dwellings must have a site area per dwelling of not less than 325m²;</i></p>	<p>P1 <i>Multiple dwellings must only have a site area per dwelling that is less than 325m², or that specified for the applicable density area in Table 10.4.1, if the development will not exceed the capacity of infrastructure services and:</i></p> <p><i>(a) is compatible with the density of the surrounding area; or</i></p> <p><i>(b) provides for a significant social or community housing benefit and is in accordance with at least one of the following:</i></p> <p><i>(i) the site is wholly or partially within 400m walking distance of a public transport stop;</i></p> <p><i>(ii) the site is wholly or partially within 400m walking distance of a business, commercial, urban mixed use, village or inner residential zone.</i></p>
<p>Comment: "Site area per dwelling" means "the area of the site (excluding any access strip) divided by the number of dwellings".</p> <p>"Access strip" means "land, the purpose of which is to provide access to a road".</p> <p>The title shows an area of 3825m². The plans show access areas of 1042.45m².</p> <p>The site area per dwelling is (3825m² - 1042.45m²) / 8 units = 347.78m².</p>	<p>Not applicable.</p>	

10.4.2 Setbacks and building envelope for all dwellings

<p><i>Objective: To control the siting and scale of dwellings to:</i></p> <ul style="list-style-type: none"> <i>(a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and</i> <i>(b) assist in the attenuation of traffic noise or any other detrimental impacts from roads with high traffic volumes; and</i> <i>(c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and</i> <i>(d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.</i> 	
Acceptable Solutions	Performance Criteria
<p>A1 A dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> <i>(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site.</i> 	<p>P1 A dwelling must:</p> <ul style="list-style-type: none"> <i>(a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and</i> <i>(b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road.</i>
<p>Comment – The proposal complies.</p>	<p>Not applicable.</p>

than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:

(a) be contained within a building envelope (refer to Diagram 10.4.2D) determined by:

(i) for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and

(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and

(b) only have a setback within 1.5m of a side boundary if the dwelling:

(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or

(ii) does not exceed a total length of 9m or one-third

amenity by:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

(ii) overshadowing the private open space of a dwelling on an adjoining lot; or

(iii) overshadowing of an adjoining vacant lot; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

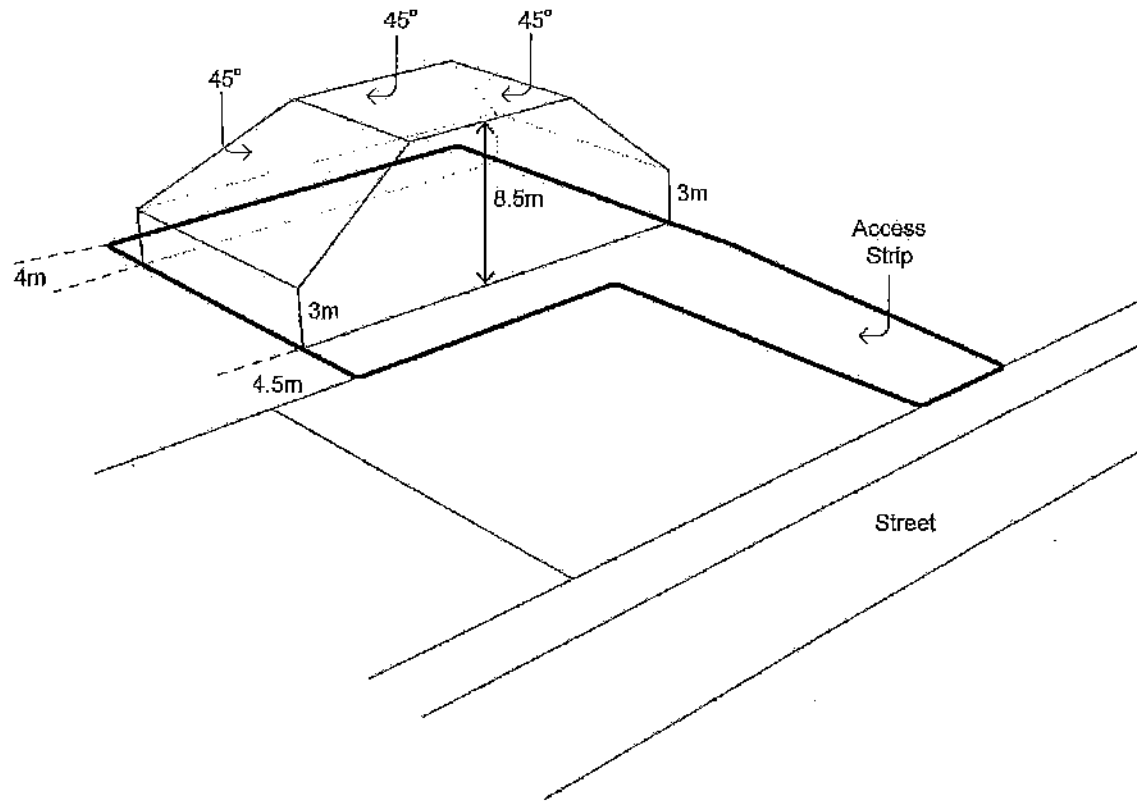


Diagram 10.4.2D. Building envelope for internal lots as required by subclause 10.4.2A3(a).

10.4.3 Site coverage and private open space for all dwellings

<p><i>Objective: To provide:</i></p> <ul style="list-style-type: none"> (a) <i>for outdoor recreation and the operational needs of the residents; and</i> (b) <i>opportunities for the planting of gardens and landscaping; and</i> (c) <i>private open space that is integrated with the living areas of the dwelling; and</i> (d) <i>private open space that has access to sunlight.</i> 	
Acceptable Solutions	Performance Criteria
<p>A1 Dwellings must have:</p> <ul style="list-style-type: none"> (a) <i>a site coverage of not more than 50% (excluding eaves up to 0.6m); and</i> (b) <i>for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</i> (c) <i>a site area of which at least 25% of the site area is free from impervious surfaces.</i> 	<p>P1 Dwellings must have:</p> <ul style="list-style-type: none"> (a) <i>private open space that is of a size and dimensions that are appropriate for the size of the dwelling and is able to accommodate:</i> <ul style="list-style-type: none"> (i) <i>outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any communal open space provided for this purpose within the development; and</i> (ii) <i>operational needs, such as clothes drying and storage; and</i> (b) <i>reasonable space for the planting of gardens and landscaping.</i>

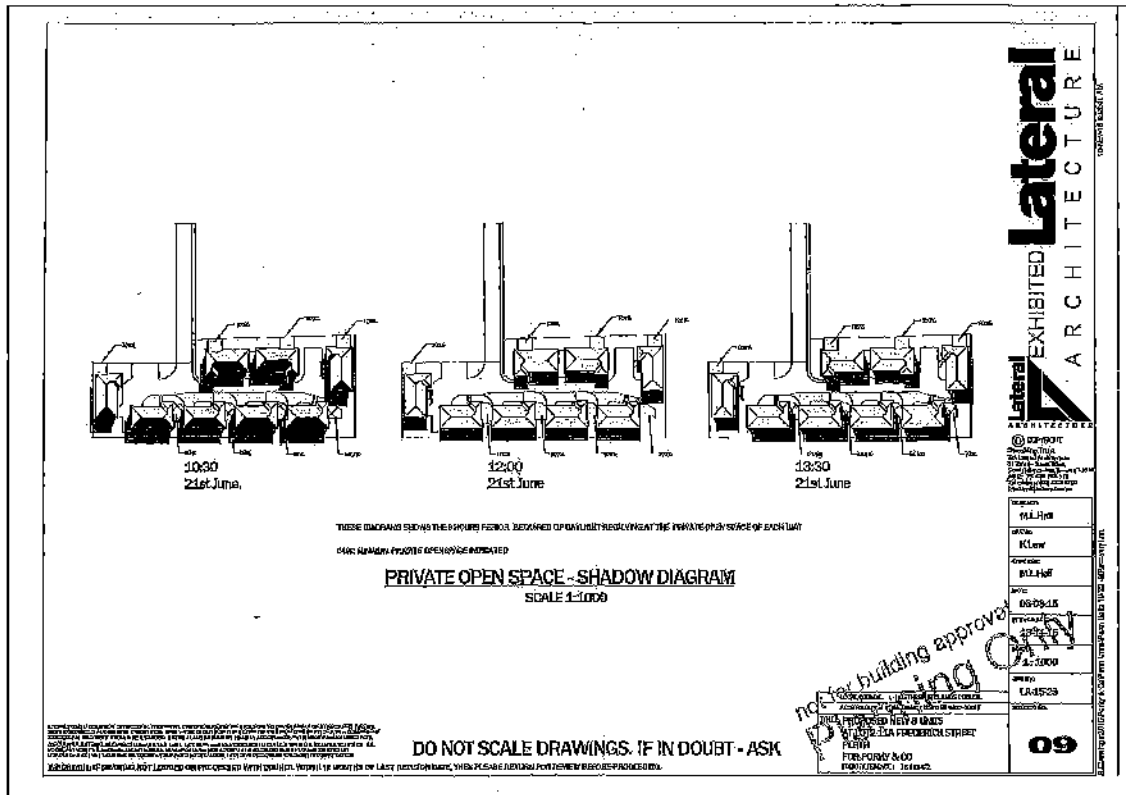
<p>The site coverage is therefore $991.05\text{m}^2 / (3825\text{m}^2 - 1042.45\text{m}^2) \times 100 = 35.6\%$.</p> <p>The proposal complies.</p> <p>(b) Private open space:</p> <p>Unit 1: 247.79 m²</p> <p>Unit 2: 203.64 m²</p> <p>Unit 3: 207.94 m²</p> <p>Unit 4: 257.43 m²</p> <p>Unit 5: 217.41 m²</p> <p>Unit 6: 219.98 m²</p> <p>Unit 7: 202.52 m²</p> <p>Unit 8: 236.63 m²</p> <p>The proposal complies.</p> <p>(c) The title shows an area of 3825m². The plans show sealed access areas of 1042.45m² and buildings covering 991.05m² (total 2033.5m²). The area free from impervious surfaces is therefore $1791.5 / 3825 \times 100 = 46.8\%$.</p> <p>The proposal complies.</p>	
<p>A2 A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at</p>	<p>P2 A dwelling must have private open space that:</p> <p>(a) includes an area that is capable of</p>

<p><i>south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and</i></p> <p><i>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</i></p> <p><i>(f) has a gradient not steeper than 1 in 10; and</i></p> <p><i>(g) is not used for vehicle access or parking.</i></p>	
<p>Private open space that:</p> <p>(a) is in one location and is at least 24m².</p> <p>Comment: All units comply.</p> <p>(b) has a minimum horizontal dimension of 4m.</p> <p>Comment: All units comply.</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (either</p>	<p>Not applicable</p>

<p>Comment: Units 1, 2, 3 & 8 have private open space to the north. Units 4 – 7 have private open space to the east. The proposal complies.</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site.</p> <p>Comment: The site is an internal lot. Private open space is not located between the dwellings and the frontage.</p> <p>(f) has a gradient not steeper than 1 in 10.</p> <p>Comment: Complies.</p> <p>(g) is not used for vehicle access or parking.</p> <p>Comment: Complies.</p>	
--	--

10.4.4 Sunlight and overshadowing for all dwellings

<p><i>Objective: To provide:</i></p> <ul style="list-style-type: none"> (a) <i>the opportunity for sunlight to enter habitable rooms (other than bedrooms) of dwellings; and</i> (b) <i>separation between dwellings on the same site to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.</i> 	
Acceptable Solutions	Performance Criteria
<p>A1 <i>A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A).</i></p>	<p>P1 <i>A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom).</i></p>
Comment: The proposal complies.	Not applicable.
<p>A2 <i>A multiple dwelling that is to the north of a window of a habitable room (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and 30 degrees east of north must be separated from the habitable room window by at least 3m.</i></p>	<p>P2 <i>A multiple dwelling must be designed and sited to not cause unreasonable loss of amenity by overshadowing a window of a habitable room (other than a bedroom), of another dwelling on the same site, that faces between 30 degrees west of north and 30 degrees east of north.</i></p>
Comment: The proposal complies.	Not applicable.
<p>A3 <i>A multiple dwelling, that is to the</i></p>	<p>P3 <i>A multiple dwelling must be designed</i></p>



10.4.5 Width of openings for garages and carports for all dwellings

Objective: To reduce the potential for garage or carport openings to dominate the primary frontage.	
Acceptable Solutions	Performance Criteria
A1 A garage or carport within 12m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage	P1 A garage or carport must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.

Acceptable Solutions	Performance Criteria
<p>A1 <i>A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</i></p> <p>(a) <i>side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3m from the side boundary; and</i></p> <p>(b) <i>rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4m from the rear boundary; and</i></p> <p>(c) <i>dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6m:</i></p> <p>(i) <i>from a window or glazed door, to a habitable room of the other dwelling on the same site; or</i></p> <p>(ii) <i>from a balcony, deck, roof terrace or the private open space of</i></p>	<p>P1 <i>A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:</i></p> <p>(a) <i>a dwelling on an adjoining lot or its private open space; or</i></p> <p>(b) <i>another dwelling on the same site or its private open space; or</i></p> <p>(c) <i>an adjoining vacant residential lot.</i></p>

<p>(a) <i>The window or glazed door:</i></p> <p>(i) <i>is to have a setback of at least 3 m from a side boundary; and</i></p> <p>(ii) <i>is to have a setback of at least 4m from a rear boundary; and</i></p> <p>(iii) <i>if the dwelling is a multiple dwelling, is to be at least 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</i></p> <p>(iv) <i>if the dwelling is a multiple dwelling, is to be at least 6m from the private open space of another dwelling on the same site.</i></p>	<p>(a) <i>window or glazed door, to a habitable room of another dwelling; and</i></p> <p>(b) <i>the private open space of another dwelling; and</i></p> <p>(c) <i>an adjoining vacant residential lot.</i></p>
<p>(b) <i>The window or glazed door:</i></p> <p>(i) <i>is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or</i></p> <p>(ii) <i>is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7m above the</i></p>	

<p>A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of at least:</p> <p>(a) 2.5m; or</p> <p>(b) 1m if:</p> <p>(i) it is separated by a screen of at least 1.7m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of at least 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level.</p>	<p>P3 A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise detrimental impacts of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.</p>
<p>Comment: The proposal complies.</p>	<p>Not applicable.</p>

10.4.7 Frontage fences for all dwellings

Objective: To control the height and transparency of frontage fences to:

(a) provide adequate privacy and security for residents; and

<p>(b) 1.8m, if any part of the fence that is within 4.5m of a primary frontage has openings above a height of 1.2m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).</p>	<p>and the dwelling; and</p> <p>(b) be compatible with the height and transparency of fences in the street, taking into account the:</p> <p>(i) topography of the site; and</p> <p>(ii) traffic volumes on the adjoining road.</p>
<p>Comment: Although the application sought to utilise the existing colourbond fencing along the internal driveway, the applicant has advised that he is happy to replace this with a paling fence. Condition required for the fence to be no higher than 1.2m within 4.5m of the front boundary.</p>	

10.4.8 Waste storage for multiple dwellings

<p><i>Objective: To provide for the storage of waste and recycling bins for multiple dwellings.</i></p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1 A multiple dwelling must have a storage area, for waste and recycling bins, that is an area of at least 1.5m² per dwelling and is within one of the following locations:</p> <p>(a) in an area for the exclusive use of each dwelling, excluding the area in front of the dwelling;</p>	<p>P1 A multiple dwelling development must provide storage, for waste and recycling bins, that is:</p> <p>(a) capable of storing the number of bins required for the site; and</p> <p>(b) screened from the frontage and dwellings; and</p>

<p><i>frontage and any dwelling by a wall to a height of at least 1.2m above the finished surface level of the storage area.</i></p>	
<p>Comment: The proposal complies with A1 (a).</p>	<p>Not applicable.</p>

10.4.9 Storage for multiple dwellings

<p><i>Objective</i> To provide adequate storage facilities for each multiple dwelling.</p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1 Each multiple dwelling must have access to at least 6 cubic metres of secure storage space.</p>	<p>P1 Each multiple dwelling must provide storage suitable to the reasonable needs of residents.</p>
<p>Comment: The proposal complies.</p>	<p>Not applicable.</p>

10.4.10 Common Property for multiple dwellings

<p><i>Objective</i> To ensure that communal open space, car parking, access areas and site facilities for multiple dwellings are easily identified.</p>	

10.4.11 Outbuildings and Ancillary Structures for the Residential Use Class other than a single dwelling

<p><i>Objective</i></p> <p><i>To ensure:</i></p> <p>a) that outbuildings do not detract from the amenity or established neighbourhood character; and</p> <p>b) that dwellings remain the dominant built form within an area; and</p> <p>c) earthworks and the construction or installation of swimming pools are appropriate to the site and respect the amenity of neighbouring properties.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 Outbuildings for each multiple dwelling must have a combined gross floor area not exceeding 45m².</p>	<p>P1 Outbuildings for each multiple dwelling must be designed and located having regard to:</p> <p>a) visual impact on the streetscape; and</p> <p>b) compatibility with the size and location of outbuildings in the neighbourhood.</p>
<p>Comment: The proposal complies.</p>	<p>Not applicable.</p>

10.4.12 Site Services for multiple dwellings

<p><i>Objective</i></p> <p><i>To ensure that:</i></p> <p>a) site services for multiple dwellings can be installed and easily maintained; and</p>
--

CODES	
BUSHFIRE PRONE AREAS CODE	N/A
POTENTIALLY CONTAMINATED LAND	N/A
LANDSLIP CODE	N/A
ROAD AND RAILWAY ASSETS CODE	See code assessment below.
FLOOD PRONE AREAS CODE	N/A
CAR PARKING AND SUSTAINABLE TRANSPORT CODE	See code assessment below
SCENIC MANAGEMENT CODE	N/A
BIODIVERSITY CODE	N/A
WATER QUALITY CODE	N/A
RECREATION AND OPEN SPACE CODE	N/A
ENVIRONMENTAL IMPACTS & ATTENUATION CODE	N/A
AIRPORTS IMPACT MANAGEMENT CODE	N/A
LOCAL HISTORIC HERITAGE CODE	See Heritage Adviser's referral
COASTAL CODE	N/A
SIGNS CODE	N/A

Assessment against E6.0 – Car Parking & Sustainable Transport Code

E6.6 Use Standards

E6.6.1 Car Parking Numbers

Acceptable Solutions	Performance Criteria
<i>The number of car parking spaces must not be less than the requirements of Table E6.1.</i>	<i>The number of car parking spaces provided must have regard to: the provisions of any relevant location specific car parking plan; and the availability of public car parking spaces within reasonable walking distance; and any reduction in demand due to sharing of spaces by multiple uses either because of variations in peak demand or by efficiencies gained by consolidation; and the availability and frequency of public transport within reasonable walking distance of the site; and</i>

	<p>having regard to: <i>the size of the dwelling and the number of bedrooms;</i> <i>and</i> <i>the pattern of parking in the locality; and</i> <i>any existing structure on the land.</i></p>
<p>Assessment: All dwellings have three bedrooms. There are eight dwellings, and the site is an internal lot. 19 spaces are required. Each unit has a single garage and an open parking space. There are 3 visitor spaces. The proposal complies.</p>	<p>NA</p>

Table E6.1: Parking Space Requirements

Use	Parking Requirement	
	Vehicle	Bicycle
<i>If a 1 bedroom or studio dwelling in the General Residential Zone (including all rooms capable of being used as a bedroom)</i>	<i>1 space per dwelling</i>	<i>1 space per unit or 1 space per 5 bedrooms in other forms of accommodation.</i>
<i>If a 2 or more bedroom dwelling in the General Residential Zone (including all rooms capable of being used as a bedroom)</i>	<i>2 spaces per dwelling</i>	
<i>visitor parking for multiple dwellings in the General Residential Zone</i>	<i>If on an internal lot or located at the head of a cul-de-sac, 1 dedicated space per 3 dwellings (rounded up to the nearest whole number)</i>	

E6.6.2 Bicycle Parking Numbers

Acceptable Solutions	Performance Criteria
<p><i>Permanently accessible bicycle parking or storage spaces must be provided either on the site or within 50m of the site in accordance with the requirements of</i></p>	<p><i>Permanently accessible bicycle parking or storage spaces must be provided having regard to the:</i></p>

E6.6.3 Taxi Drop-off and Pickup

Acceptable Solutions	Performance Criteria
<i>One dedicated taxi drop-off and pickup space must be provided for every 50 car spaces required by Table E6.1 or part thereof (except for dwellings in the General Residential Zone).</i>	<i>No performance criteria.</i>
Assessment: NA	NA

E6.6.4 Motorbike Parking Provisions

Acceptable Solutions	Performance Criteria
<i>One motorbike parking space must be provided for each 20 car spaces required by Table E6.1 or part thereof.</i>	<i>No performance criteria.</i>
Assessment: NA	NA

E6.7 Development Standards

E6.7.1 Construction of Car Parking Spaces and Access Strips

Acceptable Solutions	Performance Criteria
<i>All car parking, access strips manoeuvring and circulation spaces must be: formed to an adequate level and drained; and b) except for a single dwelling, provided with an impervious all weather seal; and except for a single dwelling, line marked or provided with other clear physical means to delineate car spaces.</i>	<i>All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.</i>
Assessment: An aggregate driveway is proposed. The internal parking, manoeuvring and circulation spaces are to be concrete or bitumen.	Assessment: The proposed aggregate driveway satisfies the performance criteria.

E6.7.2 Design and Layout of Car Parking

<i>Objective: To ensure that car parking and manoeuvring space are designed and laid out to</i>

	<p><i>buildings; and</i></p> <p><i>the layout of car parking in the vicinity; and</i></p> <p><i>the level of landscaping proposed for the car parking.</i></p>
<p>Assessment: The proposal complies.</p>	<p>NA</p>
<p><i>Car parking and manoeuvring space must:</i></p> <p><i>have a gradient of 10% or less; and</i></p> <p><i>where providing for more than 4 cars, provide for vehicles to enter and exit the site in a forward direction; and</i></p> <p><i>have a width of vehicular access no less than prescribed in Table E6.2 and Table E6.3, and</i></p> <p><i>The layout of car spaces and access ways must be designed in accordance with Australian Standards AS 2890.1 - 2004 Parking Facilities, Part 1: Off Road Car Parking.</i></p>	<p><i>Car parking and manoeuvring space must:</i></p> <p><i>be convenient, safe and efficient to use having regard to matters such as slope, dimensions, layout and the expected number and type of vehicles; and</i></p> <p><i>provide adequate space to turn within the site unless reversing from the site would not adversely affect the safety and convenience of users and passing traffic.</i></p>
<p>Assessment: The carparking area provides for 19 cars. The access width is to be 4.5m for the initial 7m from the road carriageway and 3m thereafter. The access width is 7.2m (per title) – 1.15m pedestrian path = 6.05m. The proposal complies. Recommended that the access width generally be 3m wide to allow for landscaping. One passing bay will be required.</p>	<p>NA</p>

Table E6.2: Access Widths for Vehicles

Number of parking spaces served	Access width (see note 1)	Passing bay (2.0m wide by 5.0m long plus entry and exit tapers) (see note 2)
1 to 5	3.0m	Every 30m
6 to 20	4.5m* for initial 7m from	Every 30m

<i>Car parking areas with greater than 20 parking spaces must be: secured and lit so that unauthorised persons cannot enter or; visible from buildings on or adjacent to the site during the times when parking occurs.</i>	<i>Car parking areas with greater than 20 parking spaces must provide for adequate security and safety for users of the site, having regard to the: levels of activity within the vicinity; and opportunities for passive surveillance for users of adjacent building and public spaces adjoining the site.</i>
Assessment: Not applicable	NA

E6.7.4 Parking for Persons with a Disability

Acceptable Solutions	Performance Criteria
<i>All spaces designated for use by persons with a disability must be located closest to the main entry point to the building.</i>	<i>No performance criteria.</i>
Assessment: Not applicable.	NA
<i>One of every 20 parking spaces or part thereof must be constructed and designated for use by persons with disabilities in accordance with Australian Standards AS/NZ 2890.6 2009.</i>	<i>No performance criteria.</i>
Assessment: Does not apply to dwellings.	NA

E6.7.6 Loading and Unloading of Vehicles, Drop-off and Pickup

Acceptable Solutions	Performance Criteria
<i>For retail, commercial, industrial, service industry or warehouse or storage uses: at least one loading bay must be provided in accordance with Table E6.4; and loading and bus bays and access strips must be designed in accordance with Australian Standard AS/NZS 2890.3 2002 for the type of vehicles that will use the site.</i>	<i>For retail, commercial, industrial, service industry or warehouse or storage uses adequate space must be provided for loading and unloading the type of vehicles associated with delivering and collecting people and goods where these are expected on a regular basis.</i>
Assessment: NA	NA

E6.8 Provisions for Sustainable Transport**E6.8.2 Bicycle Parking Access, Safety and Security**

<i>AS/NZS 1158 2005 Lighting Category C2 during the times they will be used; and Parking space for residents' and employees' bicycles must be under cover and capable of being secured by lock or bicycle lock.</i>	
Assessment: Bicycle parking provided in garages.	Assessment: The proposal satisfies the performance criteria.
<i>Bicycle parking spaces must have: minimum dimensions of: 1.7m in length; and 1.2m in height; and 0.7m in width at the handlebars; and unobstructed access with a width of at least 2m and a gradient of no more 5% from a public area where cycling is allowed.</i>	<i>Bicycle parking spaces and access must be of dimensions that provide for their convenient, safe and efficient use.</i>
Assessment: Bicycle parking provided in garages.	Assessment: The proposal satisfies the performance criteria.

E6.8.5 Pedestrian Walkways

Acceptable Solution	Performance Criteria
<i>Pedestrian access must be provided for in accordance with Table E6.5.</i>	<i>Safe pedestrian access must be provided within car park and between the entrances to buildings and the road.</i>
Assessment: Complies. A 1.15m wide pedestrian path is proposed.	NA

Table E6.5: Pedestrian Access

Number of Parking Spaces Required	Pedestrian Facility
1-10	<i>No separate access required (i.e. pedestrians may share the driveway). [Note (a) applies].</i>
11 or more	<i>A 1m wide footpath separated from the driveway and parking aisles except at crossing points. [Notes</i>

SPECIFIC AREA PLANS	
TRANSLINK SPECIFIC AREA PLAN	N/A
HERITAGE PRECINCTS SPECIFIC AREA PLAN	See Heritage Adviser's referral

SPECIAL PROVISIONS	
9.1 Changes to an Existing Non-conforming Use	NA
9.2 Development for Existing Discretionary Uses	NA
9.3 Adjustment of a Boundary	NA
9.4 Demolition	NA
9.5 Subdivision	NA

STATE POLICIES
The proposal is consistent with all State Policies.

OBJECTIVES OF LAND USE PLANNING & APPROVALS ACT 1993
The proposal is consistent with the objectives of the <i>Land Use Planning & Approvals Act 1993</i> .

STRATEGIC PLAN/ANNUAL PLAN/COUNCIL POLICIES
<i>Strategic Plan 2007-2017</i> 4.3 – Development Control.