[redacted]

ATTACHMENTS

A Application & plans

B Correspondence with applicant

C Representations and applicant's response.

PLANNING APPLICATION

ATTACHMENT A

Proposal

Description of proposal: NEW DWELLING & SHED

(attach additional sheets if necessary)

Site address: 637 RELBIA ROAD

RELBIA TAS 7258

ID no: ..... and /or Council's property no: .....

AND/OR

Area of land: ..... ha/m² and/or CT no: .....

Estimated cost of project $ 550 000 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? (Yes) / No

If yes – main building is used as ... shed/workshop/shed

If variation to Planning Scheme provisions requested, justification to be provided:

"SEE PLANNING REPORT"

(attach additional sheets if necessary)

If outbuilding has a floor area of over 56m², or there will be over 56m² of outbuildings on the lot, or is over 3m at apex in residential zone, details of the use of the outbuilding to be provided:

"N/A"

External colours: .....

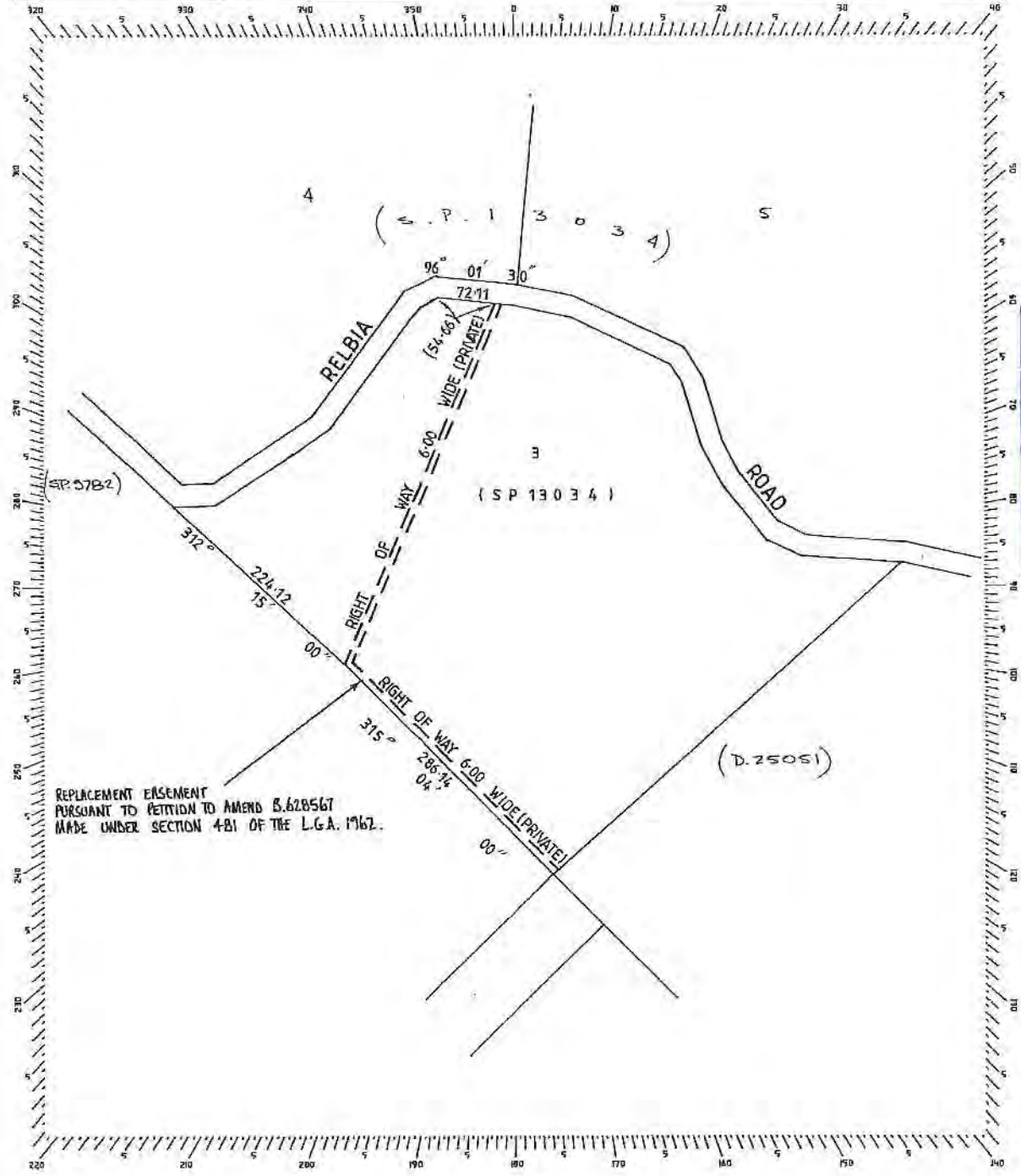
(attach additional sheets if necessary)

Is any signage required? NO (if yes, provide details)

ANNEXURE No. 2.

OWNER WOODSTOCK PASTORAL HOLDING PTY. LTD. FOLIO REFERENCE 3812/12 GRANTEE PART OF 1074 ACRES GRANTED TO T.B. BARTLEY & J.R KENWORTHY & PART OF 492 AC GRANTED TO T.B. BARTLEY.	PLAN OF SURVEY BY SURVEYOR JOHN WILLIAM DENT of CAMPBELL SMITH PHELPS PEDLEY PTY. LTD. of 60 ELPHIN RD., LAUNCESTON, of land situated in the LOCATION LAND DISTRICT OF CORNWALL PARISH OF EVANDALE SCALE 1:4000 LENGTHS IN METRES	SP13034 APPROVED EFFECTIVE FROM / Recorder of Titles

STATE MUNICIPAL CODE No.	LAST UPI No.	LAST SURVEY PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



Exhibited

Extract from email dated 30/10/2015 12:59 am
from A Shepherdson to E. Boer

PIS-298

- DESCRIPTION OF USE It is the shed I already have/own. It has some Tasmanian history to it as it used to be the Catholic school structure in Rosebery which is why I am wanting to put it to use here. I still have five children living with me, three of which have drivers licences and vehicles which is why there is a need for such a large garage. The shed does have a mezzanine but at this stage I don't have a use for that. To keep the costs down it is much cheaper to use this shed as I already own it. It was our original intention to use the shed frame in our house build but our builder advised us it would make the build more expensive.

STAGED PLANS

EXHIBITED

NEW RESIDENCE at 637 RELBIA ROAD RELBIA TAS 7258 for A SHEPHERDSON

1-121

DRAWING SCHEDULE

PLANS TO BUILD

L.M.DELL ACC. No. CC6932 G
Level 1, 10-14 Paterson street, Launceston
Tas 7250, P.O Box 378
Tel - 633 89914 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au

GENERAL NOTES:

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS..

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECCOMENDED BY THE DESIGNER FOR ALL SETOUT.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

ALL FITINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD COMPLIANCES.

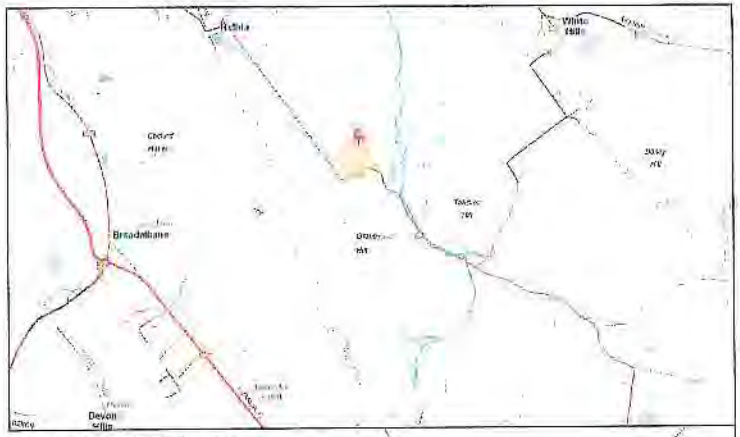
PROJECT INFORMATION:

FLOOR FLOOR AREAS: TOTAL FLOOR AREA - 508m²		LAND TITLE, VOLUME & FOLIO: 13034/4	
CLIMATE ZONE: 7	ALPINE AREA: N/A	SITE CLASSIFICATION: ##	BUSHFIRE ATTACK LEVEL: BAL N/A
TERRAIN CLASSIFICATION: T2		WIND REGION: A3	DESIGN WIND SPEED: N2
PROJECT NUMBER: 157074		SCALE: IF IN DOUBT ASK: SCALE @ A3	PRINT DATE: 12/11/2015

P1

rev.	Amendment	Date

DRAWING No: A00 1 of 9 | ISSUE: APPROVAL | REV:



LOCATION PLAN

EXHIBITED

ADJOINING PROPERTY
CT - 108207/2

ADJOINING PROPERTY
CT - 13034/16

ADJOINING PROPERTY
CT - 13034/5

TITLE BOUNDARY 290.10m
TITLE BOUNDARY 150.63m
TITLE BOUNDARY 104.57m
TITLE BOUNDARY 127.99m
TITLE BOUNDARY 73.87m
TITLE BOUNDARY 289.45m
TITLE BOUNDARY 117.19m
TITLE BOUNDARY 73.47m
TITLE BOUNDARY 120.70m
TITLE BOUNDARY 235.80m
TITLE BOUNDARY 79.68m
30.76m
30.76m
26.03m

NEW ONSITE SEPTIC SEWER SYSTEM (LOCATION APPROX)

PROPOSED RESIDENCE

33.000
17.200
19.500

NEW SHED 6x24m

EXISTING SHED

EXISTING SHIPPING CONTAINERS (x4)

EXISTING DRIVEWAY

176.000 +/-

LOT 4
CT - 13034/4
AJ & LM SHEPHERDSON PTY LTD

RELBIA CREEK

REBLIA ROAD

1-122

60
60
70
70
50
10
10

SITE PLAN
SCALE 1:3000
Project North
0mm 30000 60000 90000 120000 150000

DEVELOPMENT SUMMARY

SITE AREA - 173,817m²

NOTE:
ALL NEW SEWER IS TO CONNECT INTO NEW ONSITE SEWER SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL PLUMBING REGULATIONS AND MANUFACTURER DETAILS

ALL NEW STORMWATER IS CONNECT INTO EXISTING SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

PLANS TO BUILD
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Tas 7250, P.O Box 378
Tel - 633 89914 - Mob - 0400 659 771
Email - leigh@planstobuild.com.au

P2

rev.	Amendment	Date
2	STAGE 2 INDICATED	12.11.15
1	APPROVAL	26.10.15

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A01 2 of 9	REV: 2

PLANS TO BUILD
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P3

rev.	Amendment	Date
1	STAGE 2 INDICATED	12.11.15

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A02 3 of 9	REV: 1

1-124

DEVELOPMENT SUMMARY

BRICKWORK AREAS
NORTHERN ELEVATION:- 11m²
+ 24m² INTERNAL WALL
WESTERN ELEVATION:- 77m²
+ 36m² SUB-FLOOR
EASTERN ELEVATION:- 73m²
SOUTHERN ELEVATION:- 79m²
+ 19m² SUB-FLOOR
COURTYARD:- EXTERNAL FACE 26m²

TOTAL:- 345m²
(INCLUDING SUB-FLOOR)

FLOOR AREAS
GROUND FLOOR AREA: 361m²
FIRST FLOOR AREA: 147m²

TOTAL:- 508m²

FLOOR PLAN LEGEND

S.D HARDWIRED INTERLINKED SMOKE DETECTORS

FIRST FLOOR PLAN
SCALE 1:100
Project North
0mm 1000 2000 3000 4000 5000

EXHIBITED

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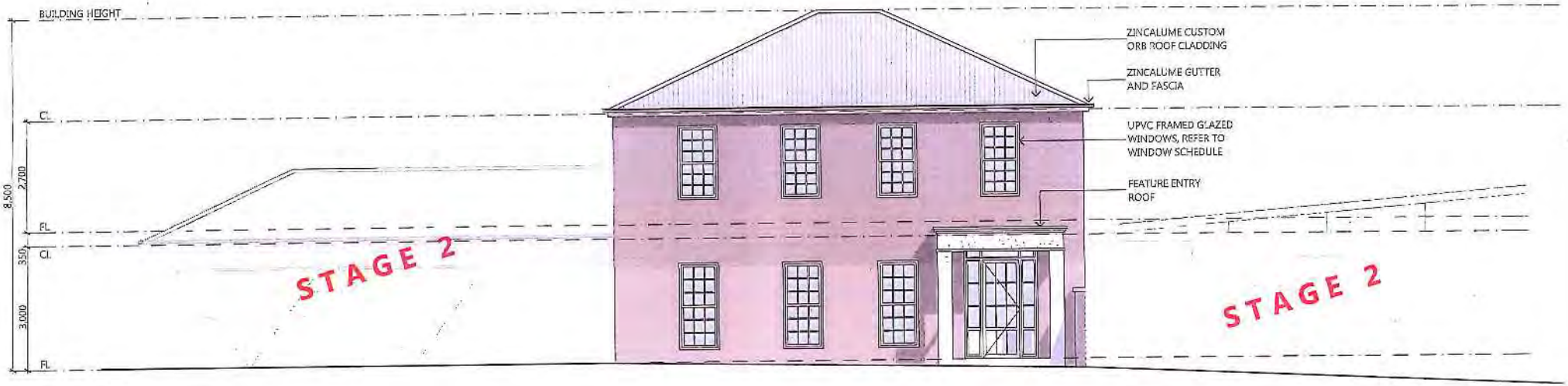
P4

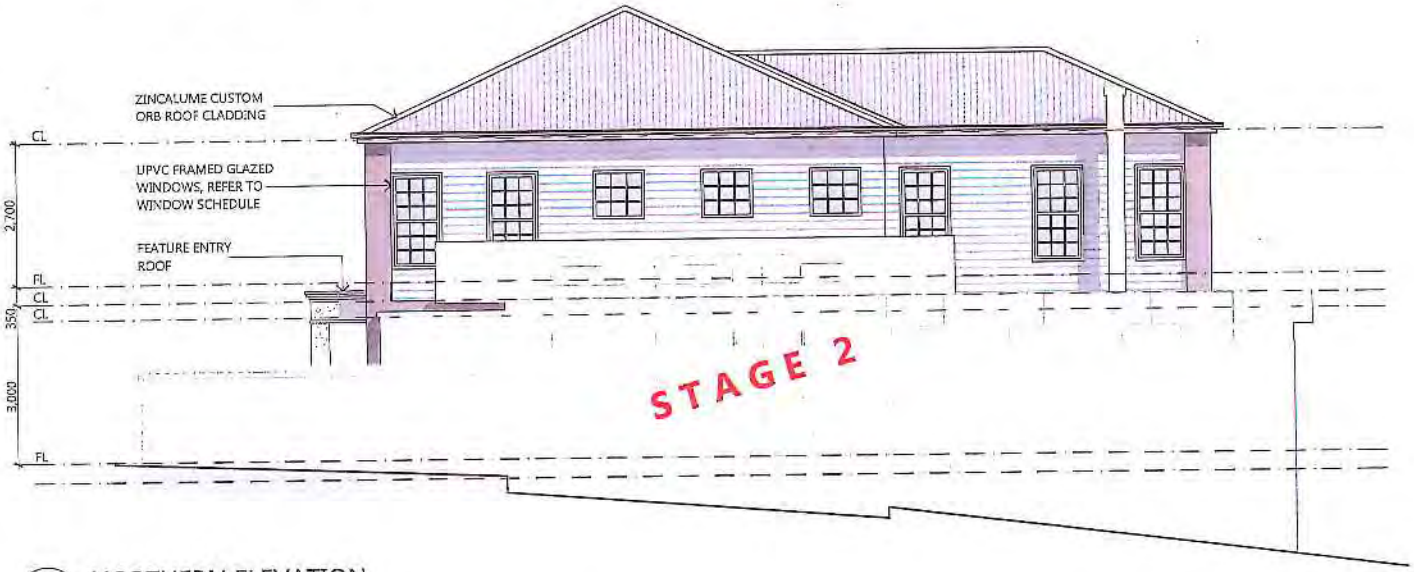
rev.	Amendment	Date
1	STAGE 2 INDICATED	12.11.15

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A03 4 of 9	REV: 1



1 EASTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 NORTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

1-125

EXHIBITED

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258

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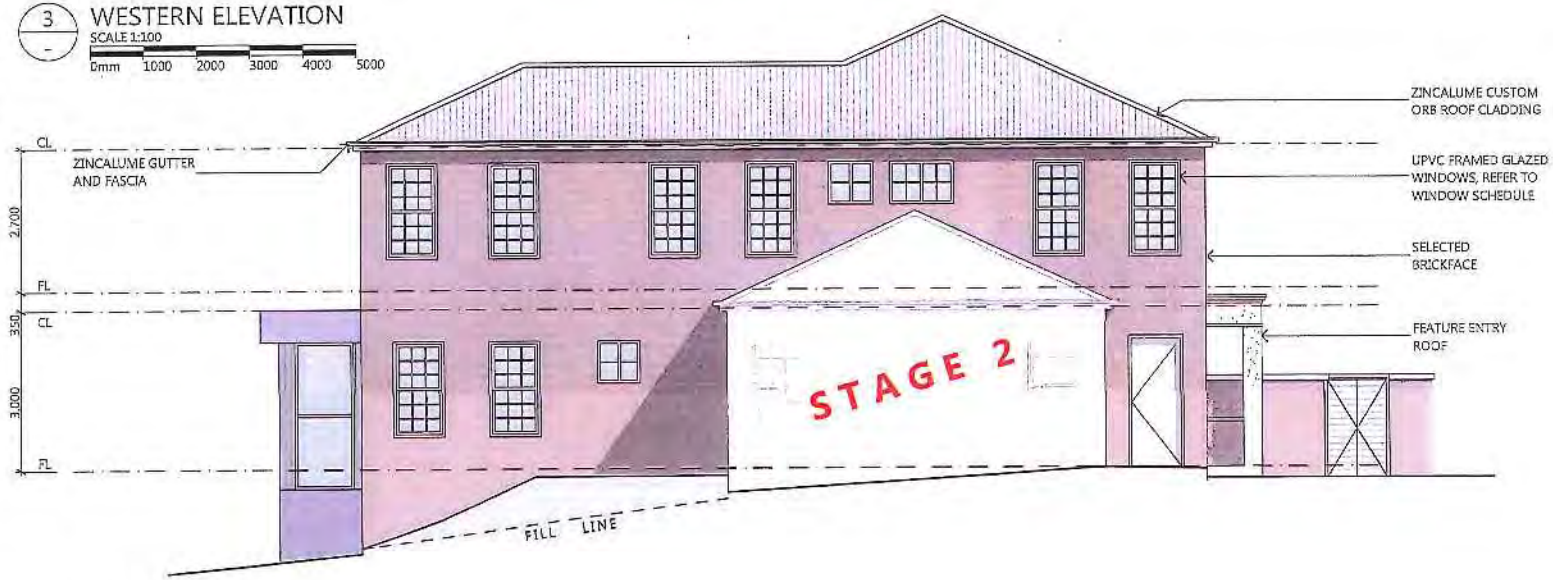
rev.	Amendment	Date
1	STAGE 2 INDICATED	12.11.15

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A04 5 of 9	REV: 1

3 / - WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



4 / - SOUTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

1-126

EXHIBITED

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PLANS TO BUILD
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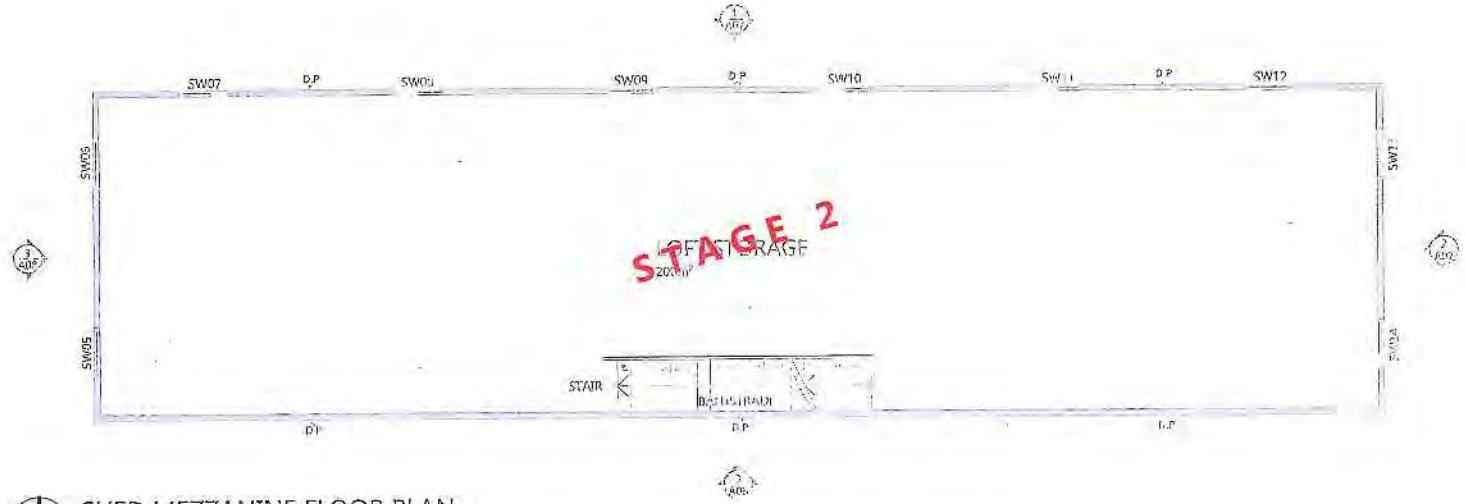
P6

rev.	Amendment	Date
1	STAGE 2 INDICATED	12.11.15

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A05 6 of 9	REV: 1

SHED GROUND FLOOR PLAN
SCALE 1:100
Project North
0mm 1000 2000 3000 4000 5000



SHED MEZZANINE FLOOR PLAN
SCALE 1:100
Project North
0mm 1000 2000 3000 4000 5000

1-127

EXHIBITED

STAGE 2

STAGE 2

FLOOR AREAS
STAGE 2
GROUND FLOOR AREA: 150.6m²
FIRST FLOOR AREA: 150.6m²
TOTAL:- 301.2m²

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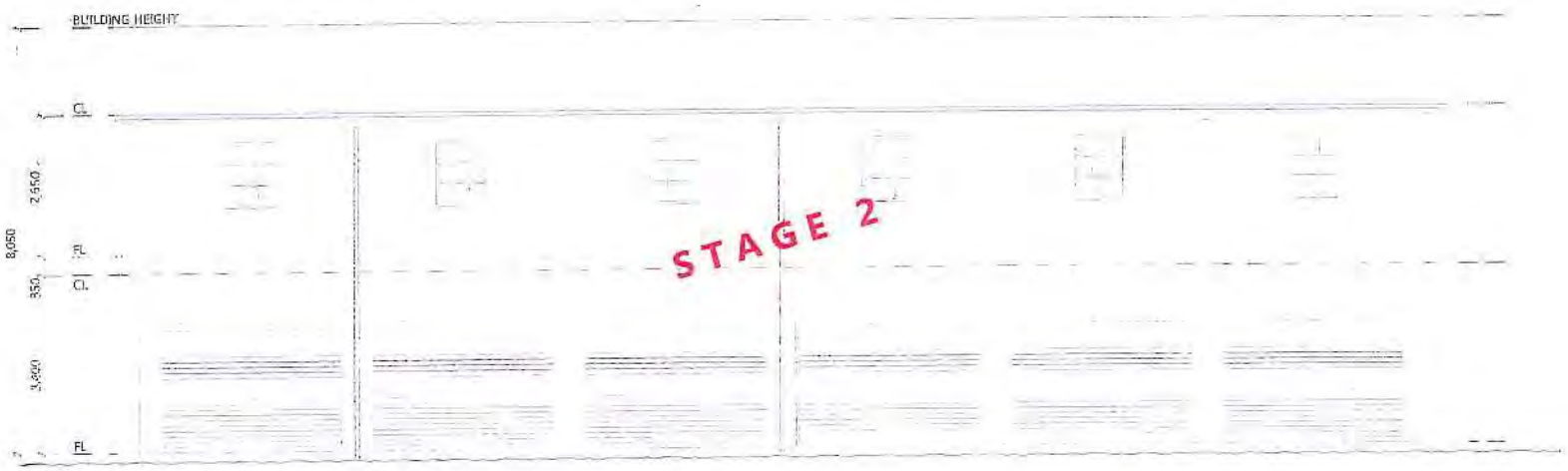
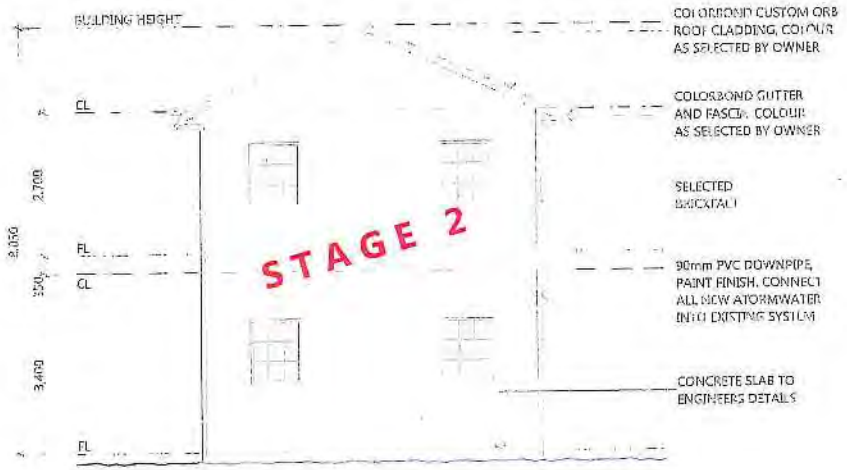
rev.	Amendment	Date
2	STAGE 2 INDICATED	12.11.15
1	APPROVAL	26.10.15

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A06 7 of 9	REV: 2



1 NORTHERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



2 EASTERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

EXHIBITED

DEVELOPMENT SUMMARY

BRICKWORK AREAS (SHED)
NORTHERN ELEVATION:- 92.3m²
EASTERN ELEVATION:- 56.2m²
SOUTHERN ELEVATION:- 145.6m²
WESTERN ELEVATION:- 56.2m²

TOTAL:- 350.3m²
(EXCLUDING SUB-FLOOR)

PLANS TO BUILD
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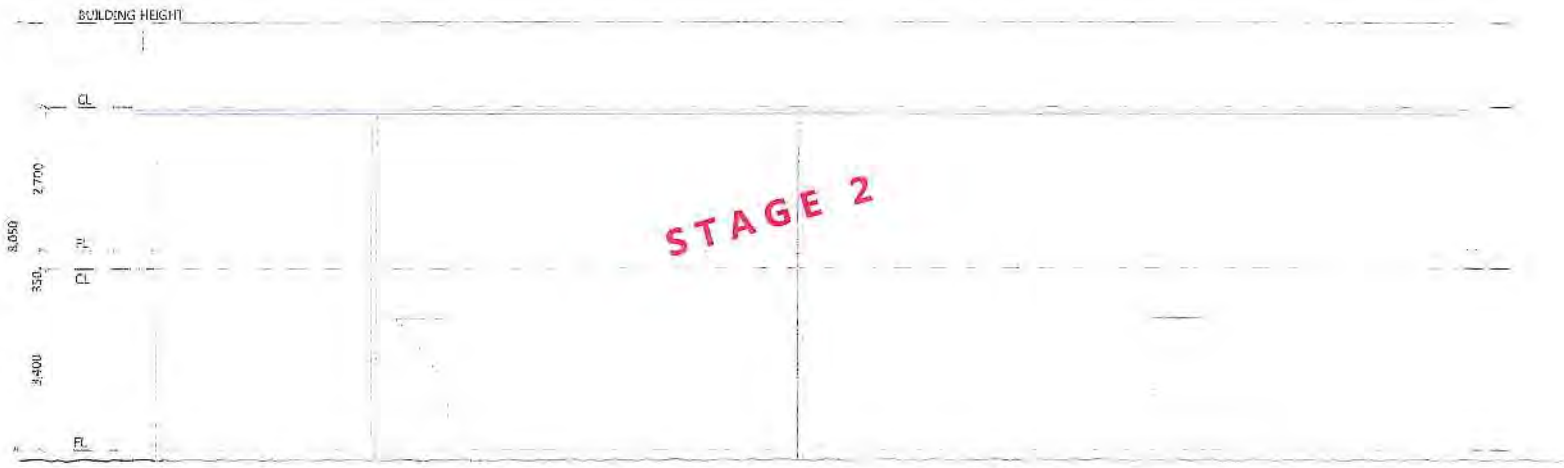
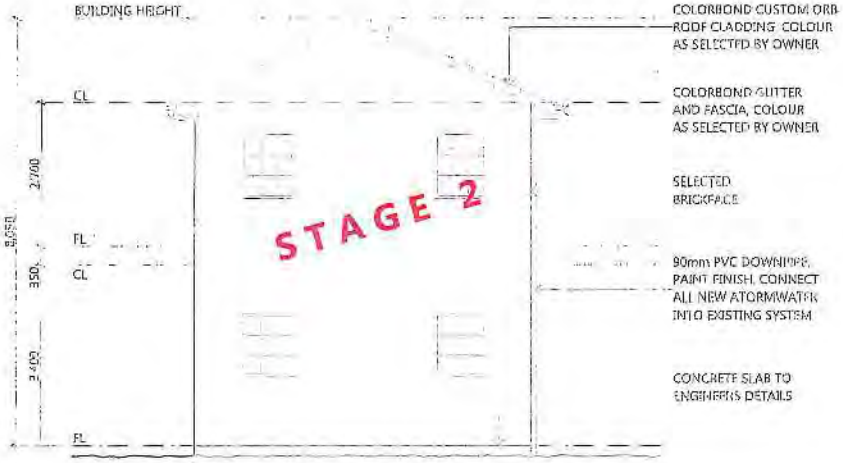
rev.	Amendment	Date
2	STAGE 2 INDICATED	12.11.15
1	APPROVAL	26.10.15

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A07 8 of 9	REV: 2



3 SOUTHERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



3 WESTERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

1-129

EXHIBITED

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rev.	Amendment	Date
2	STAGE 2 INDICATED	12.11.15
1	APPROVAL	26.10.15

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	12/11/2015	A08 9 of 9	REV: 2

EXHIBITED

1-130

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258
for A SHEPHERDSON

DRAWING SCHEDULE

PLANS TO BUILD

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PROJECT INFORMATION:

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CLIMATE ZONE: 7	ALPINE AREA: N/A	SITE CLASSIFICATION: ##	BUSHFIRE ATTACK LEVEL: BAL N/A
TERRAIN CLASSIFICATION: T2		WIND REGION: A3	DESIGN WIND SPEED: N2
PROJECT NUMBER: 157074		SCALE: IF IN DOUBT ASK: SCALE @ A3	PRINT DATE: 27/10/2015

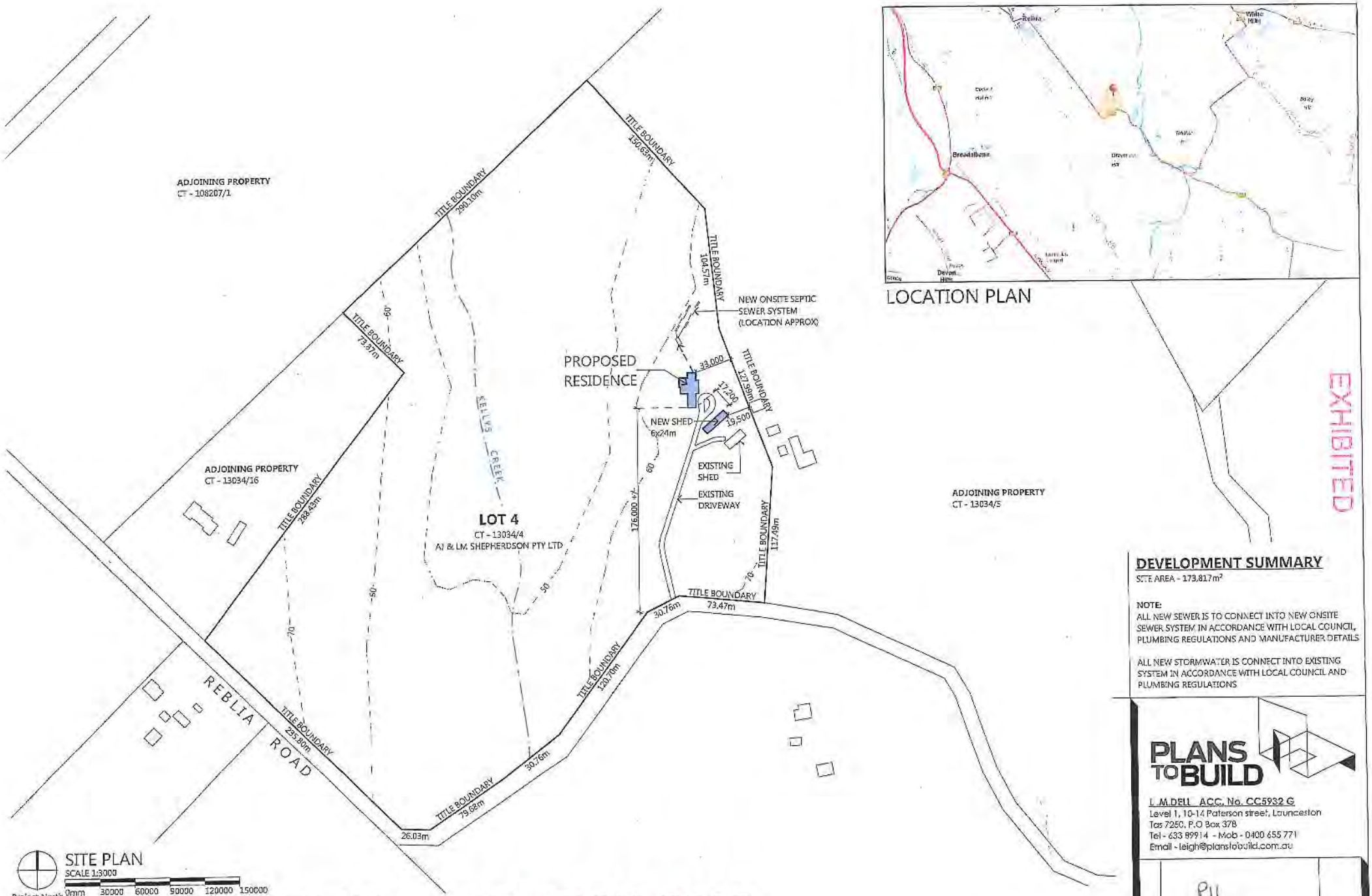
P10

rev.	Amendment	Date

DRAWING No: A00 1 of 9

ISSUE: APPROVAL

REV:



SITE PLAN
SCALE 1:3000

LOCATION PLAN

EXHIBITED

1–131

DEVELOPMENT SUMMARY

SITE AREA - 173,817m²

NOTE:

ALL NEW SEWER IS TO CONNECT INTO NEW ONSITE SEWER SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL, PLUMBING REGULATIONS AND MANUFACTURER DETAILS

ALL NEW STORMWATER IS CONNECT INTO EXISTING SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

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Email - leigh@planstobuild.com.au

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:
157074	7	SCALE @ A3	27/10/2015

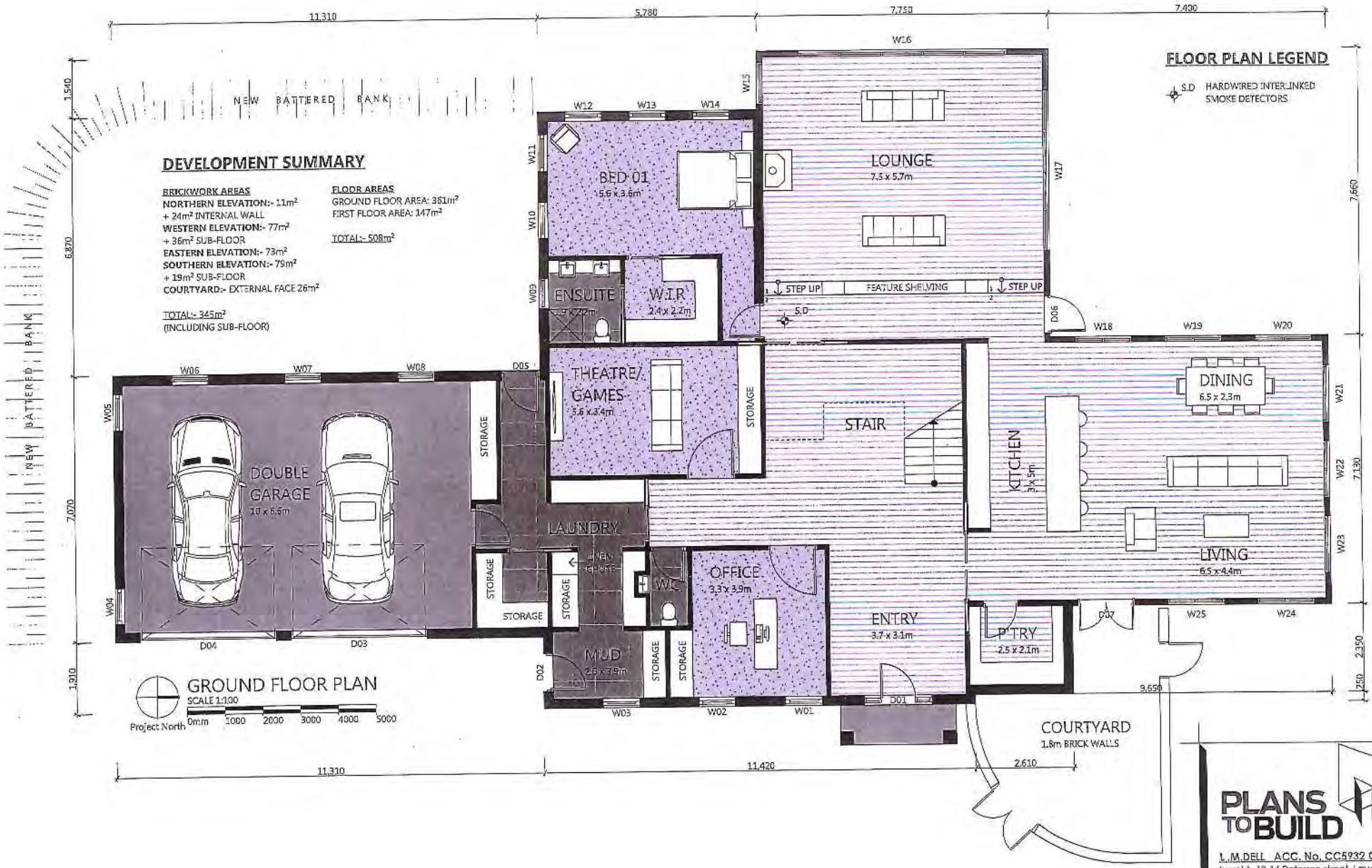
P11

rev.		Date
1	APPROVAL	26.10.15
rev.	Amendment	Date

DRAWING No: A01 2 of 9

ISSUE: APPROVAL

REV:



1-132

EXHIBITED

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NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	27/10/2015	A02 3 of 9	REV:

rev. Amendment Date

1-133

DEVELOPMENT SUMMARY

BRICKWORK AREAS
NORTHERN ELEVATION:- 11m²
+ 24m² INTERNAL WALL
WESTERN ELEVATION:- 77m²
+ 36m² SUB-FLOOR
EASTERN ELEVATION:- 73m²
SOUTHERN ELEVATION:- 79m²
+ 19m² SUB-FLOOR
COURTYARD:- EXTERNAL FACE 26m²

TOTAL:- 345m²
(INCLUDING SUB-FLOOR)

FLOOR AREAS
GROUND FLOOR AREA: 361m²
FIRST FLOOR AREA: 147m²

TOTAL:- 508m²

FIRST FLOOR PLAN
SCALE 1:100
Project North
0mm 1000 2000 3000 4000 5000

FLOOR PLAN LEGEND

S.D HARDWIRED INTERLINKED SMOKE DETECTORS

EXHIBITED

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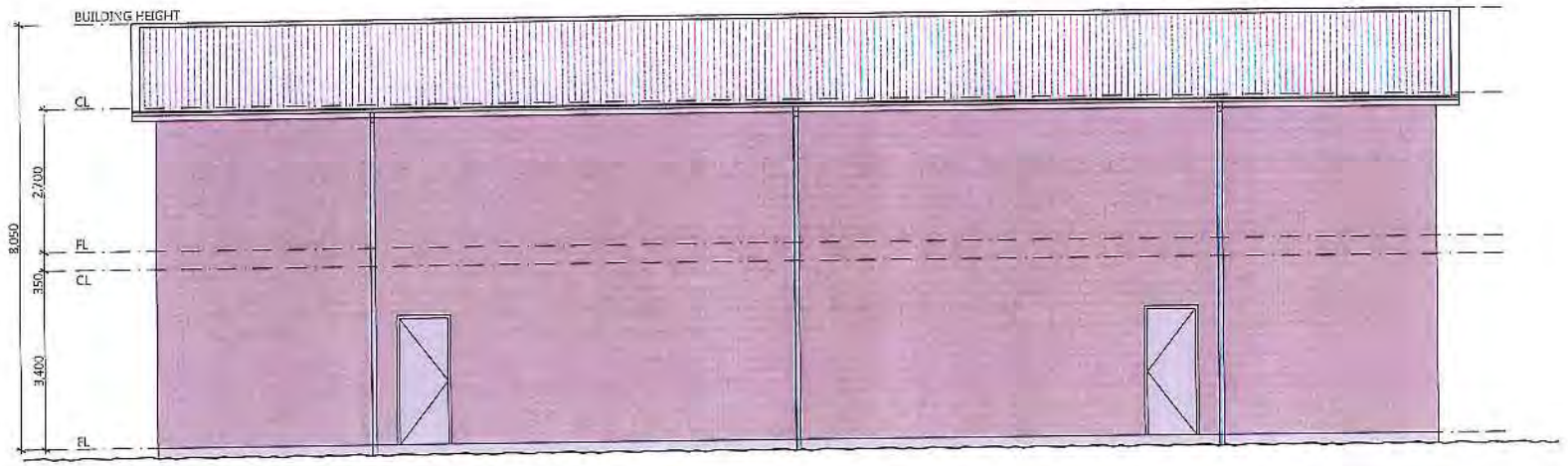
P13

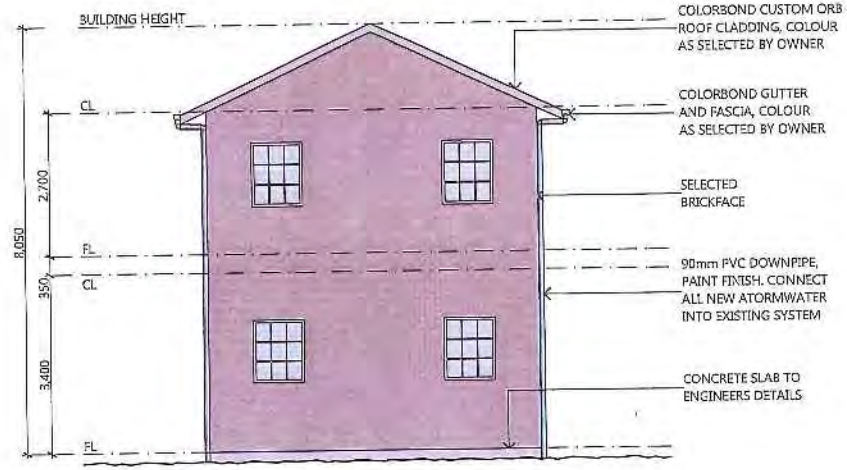
rev.	Amendment	Date

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	27/10/2015	A03 4 of 9	REV:



3 - SOUTHERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



3 - WESTERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

EXHIBITED

DEVELOPMENT SUMMARY

BRICKWORK AREAS (SHED)
NORTHERN ELEVATION:- 92.3m²
EASTERN ELEVATION:- 56.2m²
SOUTHERN ELEVATION:- 145.6m²
WESTERN ELEVATION:- 56.2m²

TOTAL:- 350.3m²
(EXCLUDING SUB-FLOOR)

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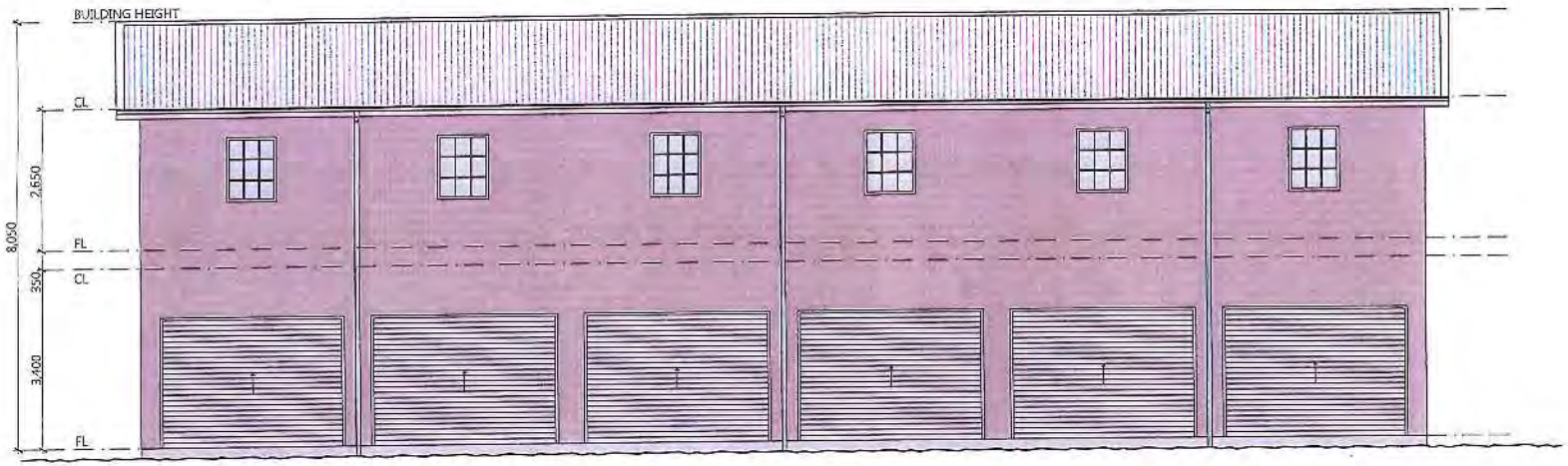
Tas 7250. P.O Box 376
Tel - 633 89914 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au

P14

rev.		Date
1	APPROVAL	26.10.15
rev.	Amendment	Date

NEW RESIDENCE at 637 RELBIA ROAD
RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	27/10/2015	A08 9 of 9	REV:



1 NORTHERN SHED ELEVATION
SCALE 1:100
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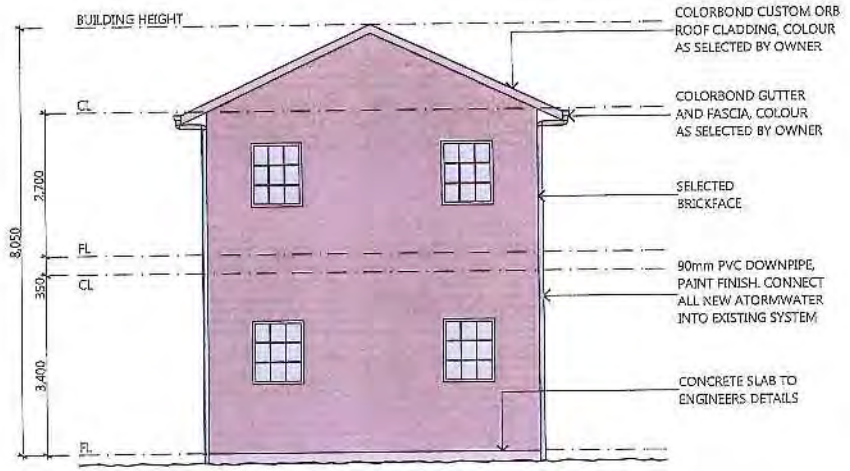


2 EASTERN SHED ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

1-135

EXHIBITED

DEVELOPMENT SUMMARY

BRICKWORK AREAS (SHED)
NORTHERN ELEVATION:- 92.3m²
EASTERN ELEVATION:- 56.2m²
SOUTHERN ELEVATION:- 145.6m²
WESTERN ELEVATION:- 56.2m²

TOTAL:- 350.3m²
(EXCLUDING SUB-FLOOR)

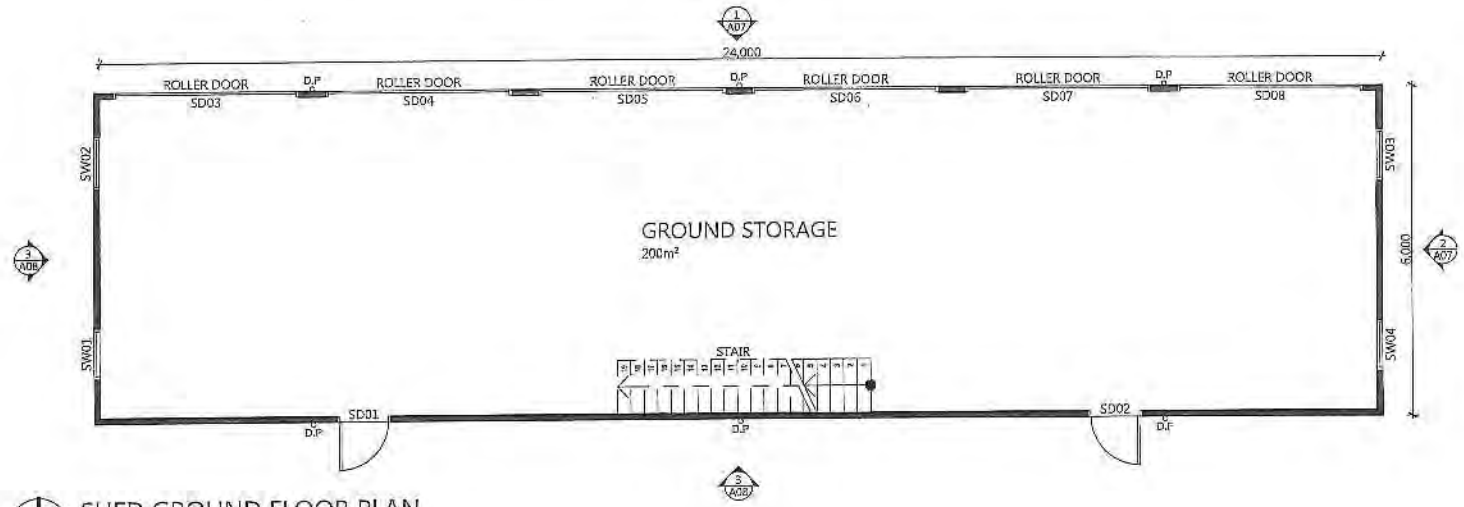
PLANS TO BUILD
L.M.DELL ACC. No. CC5932 G
Level 1, 10-14 Paterson street, Launceston
Tas 7250, P.O Box 378
Tel - 633 89914 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au

NEW RESIDENCE at 637 RELBIA ROAD

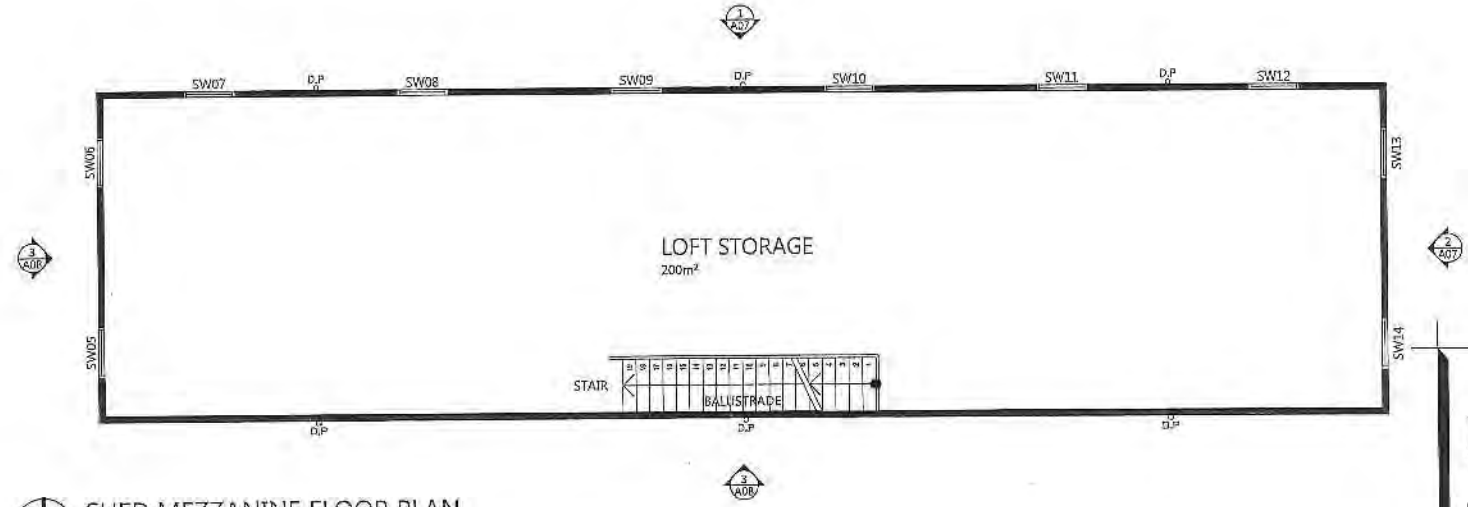
RELBIA TAS 7258

rev.		Date
1	APPROVAL	26.10.15
	Amendment	

PROJECT NUMBER: 157074 | CLIMATE ZONE: 7 | SCALE: IF IN DOUBT ASK SCALE @ A3 | PRINT DATE: 27/10/2015 | DRAWING No: A07 8 of 9 | ISSUE: APPROVAL | REV:



SHED GROUND FLOOR PLAN
SCALE 1:100
Project North 0mm 1000 2000 3000 4000 5000



SHED MEZZANINE FLOOR PLAN
SCALE 1:100
Project North 0mm 1000 2000 3000 4000 5000

EXHIBITED

PLANS TO BUILD
L.M.DELL ACC. No. CC5932 G
Level 1, 10-14 Paterson street, Launceston
Tas 7250. P.O Box 378
Tel - 633 89914 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au

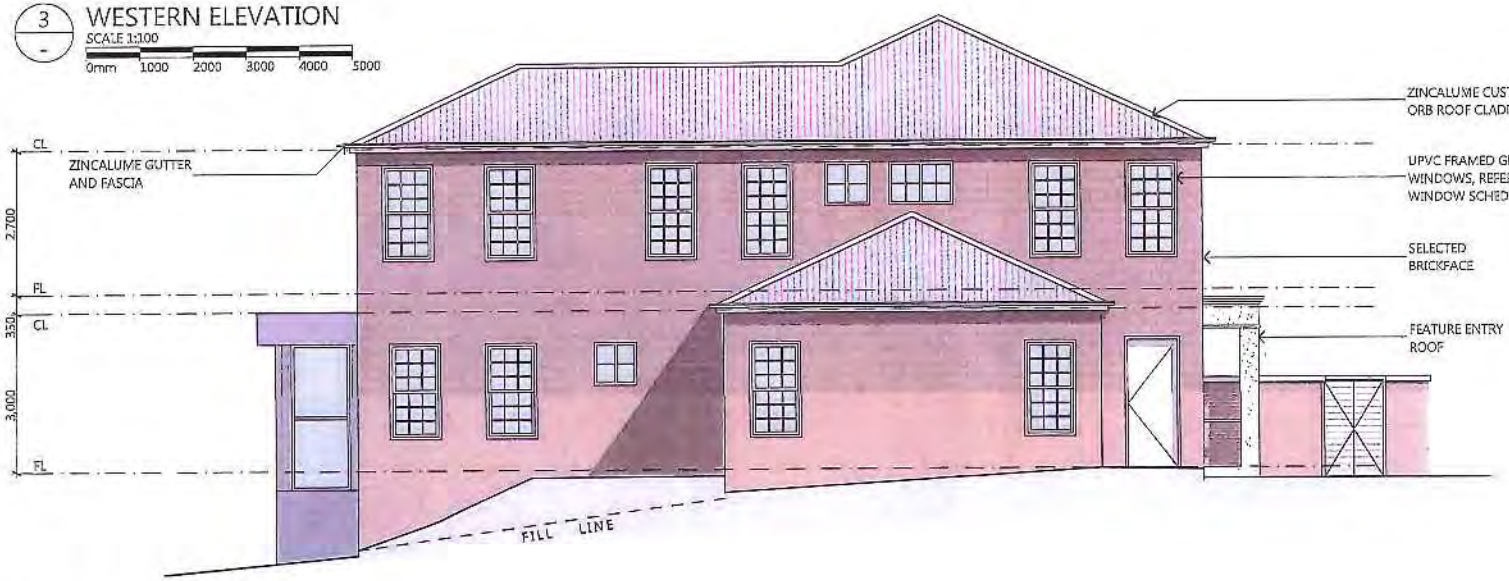
rev.		Date
1	APPROVAL	26.10.15

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	27/10/2015	A06 7 of 9	REV:

3 WESTERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000



4 SOUTHERN ELEVATION
SCALE 1:100
0mm 1000 2000 3000 4000 5000

1-137

EXHIBITED

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PLANS TO BUILD
L.M.DELL ACC. No. CC5932 G
Level 1, 10-14 Paterson street, Launceston
Tas 7250. P.O Box 378
Tel - 633 89914 - Mob - 0400 655 771
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rev.	Amendment	Date
P7		

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	27/10/2015	A05 6 of 9	REV:

1 - EASTERN ELEVATION

SCALE 1:100

0mm 1000 2000 3000 4000 5000

2 - NORTHERN ELEVATION

SCALE 1:100

0mm 1000 2000 3000 4000 5000

1-138

EXHIBITED

NEW RESIDENCE at 637 RELBIA ROAD

RELBIA TAS 7258

PLANS TO BUILD

L.M.DELL ACC. No. CC5932 G
Level 1, 10-14 Paterson street, Launceston
Tas 7250, P.O Box 378
Tel - 633 89914 - Mob - 0400 655 771
Email - leigh@planstobuild.com.au

P18

rev.	Amendment	Date

PROJECT NUMBER:	CLIMATE ZONE:	SCALE: IF IN DOUBT ASK	PRINT DATE:	DRAWING No:	ISSUE: APPROVAL
157074	7	SCALE @ A3	27/10/2015	A04 5 of 9	REV:

28 August 2015

Mr Des Jennings
General Manager
Northern Midlands Council
13 Smith Street
LONGFORD TAS 7301

Dear Sir

LN14379: REVISED Planning Report - 643 Relbia Road – for Development Application

Please find attached documents which allow a Development Application for the repositioning of a dwelling previously approved under reference P14-048.

The dwelling has been moved to allow greater separation between the new dwelling and the neighbouring dwelling – maximise each other's privacy.

Since the approval of the earlier application the roadworks have been carried out thus securing that permit. Water tanks have also been established on site for fire fighting purposes. The containers previously approved have been located on site. All the illegal sheds have been demolished.

Below is a summary of the planning issues associated with this development:

PROPOSAL

It is proposed to carry out the following development:

- erect a dwelling,
- 2 sheds (1 from the previous permit)

on this 17ha site accessed off Relbia Road.

The dwelling will be double level with a pitched roof. It will be located 33m from the eastern boundary and 181m from the southern boundary (Relbia Road). The previously approved shed will be relocated to the north of the former illegal small sheds (now demolished). A new shed 6m x ~~18~~ 24m will be build north of the existing shed.

The house will have five bedrooms, two/three public rooms and the usual amenity areas. It is highly likely that the dwelling will be staged – building the central unit first and then the wings. This will assist with financing of the whole project. The staging of the dwelling and the shed is shown in the submitted plans. The undertaking is that on completion of stage 1; stage 2 will take place within six months of completion of stage 1.

SITE/TITLE

The site is legally known as:

D1

pitt&sherry
sustainable*thinking*

transport
community
mining & industrial
carbon & energy

Launceston
Level 4 Cimitiere House
113 – 115 Cimitiere Street
PO Box 1409
Launceston TAS 7250
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Offices in:
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Devonport
T (03) 6424 1641

Hobart
T (03) 6210 1400

Melbourne
T (03) 9682 5290

Sydney
T (02) 8216 4700

E info@pittsh.com.au
www.pittsh.com.au
1300 pittsh

Incorporated as
Pitt & Sherry
(Operations) Pty Ltd
ABN 67 140 184 309

Incorporating
RARE

CONSULT AUSTRALIA
Member Firm

Property Address	'KELLY'S CREEK VINEYARD' - 643 RELBIA RD RELBIA TAS 7258
Property ID	View Details
Title Reference	13034/4

Figure 1 – Site Plan

USE OF SITE AND SURROUNDING USE OF LAND

The land is used for grazing – there is a deep creek feature running north-south bisecting the site. A disused vineyard is located in the western sector of the site. A section of replanted vegetation is located in the eastern sector facing Relbia Road.

The buildings on site are identified below:

Figure 2 – Buildings on Site

Previously, the subject site had been used as a vineyard. Surrounding lands are used for similar purposes – small lots with a dwelling and grazing lands.

PLANNING MATTERS

The land use planning document covering the site is the Northern Midlands Interim Planning Scheme 2013 (the Planning Scheme).

ZONING

The site is zoned Rural Resource under the Planning Scheme.

OVERLAYS

There are no Overlay Controls impacting the site.

USE

The proposal falls under the Residential use class within the Planning Scheme.

USE CLASSIFICATION

Within the Zone Use Table a Residential use is a Discretionary use.

USE STANDARDS

Within the Zone are a series of use standards which need consideration:

Use Standard	Comment
Dwellings	
P1.1 A dwelling may be constructed where it is demonstrated that: a) it is integral and subservient to resource development, as demonstrated in a report prepared by a suitably qualified person, having	Compliance is going to rely on P1.1 b) The site has been previously subdivided by a decision of Council into the pattern of lots we have today. At that time there must have been a

regard to: i) scale; and ii) complexity of operation; and iii) requirement for personal attendance by the occupier; and iv) proximity to the activity; and v) any other matters as relevant to the particular activity; or b) the site is practically incapable of supporting an agricultural use or being included with other land for agricultural or other primary industry use, having regard to: i) limitations created by any existing use and/or development surrounding the site; and ii) topographical features; and iii) poor capability of the land for primary industry operations (including a lack of capability or other impediments); and c) the location of the use on the site is reasonably required for operational efficiency.	decision made that this land was not suitable for broadacre agricultural production. This is a small site with severe limitation imposed on its use by the creek valley bisecting the site. The creek in reality makes this two sites. As all other surrounding lots are of a similar size and contain "hobby farm" development it is highly unlikely that the site will be acquired by a neighbouring land owner. This has actually been tested in March 2104 when the subject site was on the open market and could have been purchased by any of the surrounding landowners. This is class 4/5 and class 5 land – its agricultural potential is very limited. There is a dwelling on the lot to the east within 10m of the subject site boundary. If an agricultural pursuit could be developed on the subject site – it would have a severe impact on the existing dwelling.
P1.2 A dwelling may be constructed where it is demonstrated that wastewater treatment for the proposed dwelling can be achieved within the lot boundaries, having regard to the rural operation of the property and provision of reasonable curtilage to the proposed dwelling; and	Compliance is going to rely on P1.2 . There is currently a septic system on site which seems to be operating well. It is suggested that should approval be considered then a condition be included which requires the submission of a design for the current or improved waste water system prior to works commencing on site.
P1.3 A dwelling may be constructed where it is demonstrated that the lot has frontage to a road or a Right of Carriageway registered over all relevant titles.	Compliance relies on P1.3 – the site has frontage to a road (Relbia Road).
Irrigation Districts	
A1 Non-agricultural uses are not located within an irrigation district proclaimed under Part 9 of the *Water Management Act 1999*.	The site is not in a defined irrigation area.

DEVELOPMENT STANDARDS

Within the Zone are a series of development standards which need consideration:

Development Standards	Comment
Building Location and Appearance	
P1 Building height must: a) be unobtrusive and complement the character of the surrounding landscape; and b) protect the amenity of adjoining uses from adverse impacts as a result of the proposal.	The dwelling is proposed to be 8.5m in height at its highest point. This is 0.5m higher than the Acceptable Solution of 8m for a dwelling and 3.5m lower than any other building. The distance from Relbia Road (181m) will make the increase in height insignificant. The dwelling is no higher (and in some cases lower) than other similar scaled houses along Relbia Road.

P2 Buildings must be setback so that the use is not likely to constrain adjoining primary industry operations having regard to: a) the topography of the land; and b) buffers created by natural or other features; and c) the location of development on adjoining lots; and d) the nature of existing and potential adjoining uses; and e) the ability to accommodate a lesser setback to the road having regard to: i) the design of the development and landscaping; and ii) the potential for future upgrading of the road; and iii) potential traffic safety hazards; and iv) appropriate noise attenuation.	The setback for the dwelling will be 33m from the eastern boundary (the neighbouring dwelling) and 181m from the southern boundary (Relbia Road). This revised location will maximise the separation between the proposed dwelling and the neighbouring dwelling – whist at the same time not pushing the proposed dwelling off the plateau area of the site. The current screen planting along the boundary will be retained and supplemented to provide a better buffer between the two properties.
Subdivision	
No subdivision is proposed	

CODES

Within the Planning Scheme are a series of Codes which need consideration:

Codes	Comment
E1 BUSHFIRE HAZARD CODE	A Bushfire report supports this application
E2 POTENTIALLY CONTAMINATED LAND CODE	There is no evidence of any previous use causing contamination on this site.
E3 LANDSLIP CODE	There is no evidence of landslip on this site
E4 ROAD AND RAILWAY ASSETS CODE	Not now relevant to the revised development (since the access was altered under the previous 2014 application)
E5 FLOOD PRONE AREAS CODE	The site is not subject to Flooding
E6 CAR PARKING AND SUSTAINABLE TRANSPORT CODE	Not applicable in this instance
E7 SCENIC MANAGEMENT CODE	Not applicable in this instance
E8 BIODIVERSITY CODE	Not applicable in this instance
E9 WATER QUALITY CODE	Not applicable in this instance
E10 RECREATION AND OPEN SPACE CODE	Not applicable in this instance
E11 ENVIRONMENTAL IMPACTS AND ATTENUATION CODE	This matter is covered in a separate section below. See also noise report.
E12 AIRPORTS IMPACT MANAGEMENT CODE	Not applicable in this instance
E13 HERITAGE CODE	Not applicable in this instance
E14 COASTAL CODE	Not applicable in this instance
E15 SIGNS CODE	Not applicable in this instance

E11 ENVIRONMENTAL IMPACTS AND ATTENUATION CODE

Within the vicinity of the subject site are three quarries which need consideration in terms of this code. The diagram below shows the distances between each quarry and the house site and the title boundaries.

Figure 3 – Quarry Distances to Site/Dwelling

Within the Code the required separation distance for a quarry to a sensitive use is 1000m (blasting). Of the three quarries:

The Boral Quarry has in effect ceased to operate. The quarry buffer covers not only this site but many of the rural residential properties in Glenwood Road and along Relbia Road. It is reported that the prevailing winds takes any noise and dust from the quarry away from the subject site. As the distance between this quarry and the title boundary of the subject site or the house site exceeds 1000m this quarry can be eliminated from any further discussion. Even with the revised location the quarries will have no impact on the proposed dwellings.

The Stornoway Quarry still operates. The distance title boundary to title boundary is 870m. However, the distance from the operational face to the house site is 1.6km. The question is in which way will the quarry develop into the future and will the impact on the proposed house get less or worse?

The Development Proposal and Environmental Management Plan (DPEMP) prepared in June 2010 relative to an extension to the quarry made the following statements:-

Stornoway Quarrying operate the Raeburn quarry on private land owned by Stornoway at Breadalbane in Northern Tasmania. The quarry has been in operation for over twenty years and provides a wide selection of construction and building materials essential for regional development without any significant adverse environmental effects. It is also well located to provide construction materials being situated in close proximity to a major road network close to Launceston and in an isolated area of private land well screened from residences and local views. It is an important supplier to the civil construction industry in Northern Tasmania.

In order to allow for future customer demand, Stornoway are applying for a level 2 permit at a production level of 210,000 cubic metres of product per annum. Concurrently, Stornoway has been a Mining Lease (1874P/M) over the future production area to allow for planned operations of over 30 years. The area also has potential reserves which would sustain operations for over 50 years and is a resource which the RPDC have acknowledged as having strategic importance in recent hearings into a proposed residential subdivision in proximity to the quarry.

The extent of the resource is shown in the map below which formed part of the DPEMP.

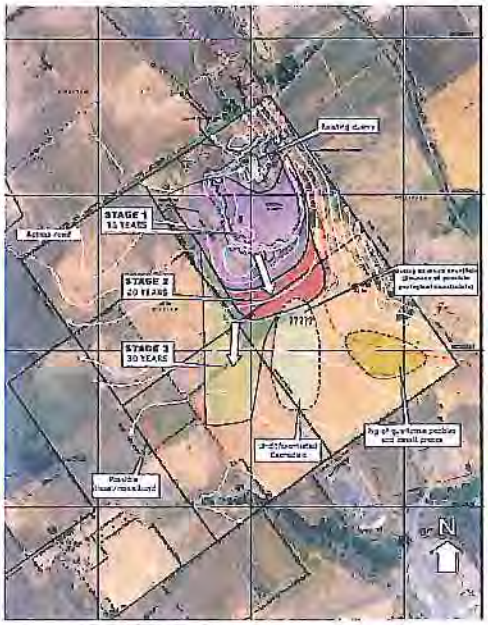

Figure 4 DPEMP Stornoway Quarries - source – John Miedecke and Partners – 2010

Clearly, the migration of the working face is away from the subject house site – increasing the separation distance from quarry to house site to over 2km. Stornoway has strict blasting regimes which it communicates to its neighbours. Noise in the area is then predictable and regulated to cause least nuisance. This is only good neighbour practice.

BIS Quarry is the closest to the subject site being 500m title to title boundary. The working face of the quarry is still over 1000m away from the house site. This is a quarry in closing mode. Its operation is very much impacted by the operation of the Launceston Airport – being accessed from the north-west end of the runway. The ridge line between this quarry and the subject site provides effective sound screening to the subject site.

Relating these matters to the Code:

Performance Criteria	Comment
P1 Sensitive use or subdivision for sensitive use within an attenuation area to an existing activity listed in Tables E11.1 and E11.2 must demonstrate by means of a site specific study that there will not be an environmental nuisance or environmental harm, having regard to the: a) degree of encroachment; and b) nature of the emitting operation being protected by the attenuation area; and c) degree of hazard or pollution that may emanate from the emitting operation; and d) the measures within the proposal to mitigate impacts of the emitting activity to the sensitive use.	There will be no environmental nuisance or environmental harm to the proposed house from the quarries having regard to; a) There is only encroachment if the title to tile boundary distance is used as the separator – as this is unrealistic and the distance should be operational face to sensitive use there is not encroachment from any of the quarries. b) The way Stornoway quarry will develop is away from the house site. c) The prevailing winds will take any dust (and noise away from the subject site. d) The influence of the airport on the operation of the quarries assists in the

	reduction of impact on the proposed house.

STATE POLICIES

The proposal does not impact on any approved State Policies.

CONCLUSIONS

This is a good solution to what has been an on-going planning issue for many years (before the current owners). It removes illegal structures, recognizes that the land has got little farming potential and allows the lot to be used for what is intent of was meant to be when it was subdivided – a dwelling in a rural setting. Given the increase in separation between the dwellings both the neighbours and proposed this application is less contentious than the previous proposal.

Yours sincerely

Ian Abernethy
Planning Manager – North

Enc:

Plans
Noise Report
Bushfire Report
Bushfire Certificate
Application Form
Title

23 Sept 2015

Mr Des Jennings
General Manager
Northern Midlands Council
13 Smith Street
LONGFORD TAS 7301

Dear Sir

LN14379: Bushfire Assessment - 643 Relbia Road – for Development Application

We have been commissioned to provide a bushfire assessment relative to a revised site for the proposal on the site above.

PROPOSAL

It is proposed to erect a dwelling, and a shed on this small rural property with frontage to Relbia Road.

Figure 1 – site plan – subject title in bold red– source theLIST

EXHIBITED

pitt&sherry
sustainablethinking
transport
community
mining & industrial
carbon & energy

Launceston
Level 4 Cimitiere House
113 – 115 Cimitiere Street
PO Box 1409
Launceston TAS 7250
T (03) 6323 1900
F (03) 6334 4651

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T (07) 3221 0080

Canberra
T (02) 6295 2100

Devonport
T (03) 6424 1641

Hobart
T (03) 6210 1400

Melbourne
T (03) 9682 5290

Sydney
T (02) 8216 4700

E info@pittsh.com.au
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1300 pittsh

Incorporated as
Pitt & Sherry
(Operations) Pty Ltd
ABN 67 140 184 309

Incorporating
RARE

CONSULT AUSTRALIA
Member Firm

D2

TITLE

Property Address	'KELLY'S CREEK VINEYARD' - 643 RELBIA RD RELBIA TAS 7258
Property ID	View Details
Title Reference	13034/4

LAND USE PLANNING

The land use control document covering this site is the Northern Midlands Interim Planning Scheme 2013. The site is zoned Rural Resource use under the Planning Scheme

CURRENT USES IN AREA

Figure 2 – Uses in the immediate area

CRITICAL THREAT AREAS

The critical threat area comes from land under the control of the applicant/developer. Land to the east is managed as a garden and presents no increased risk of bushfire.

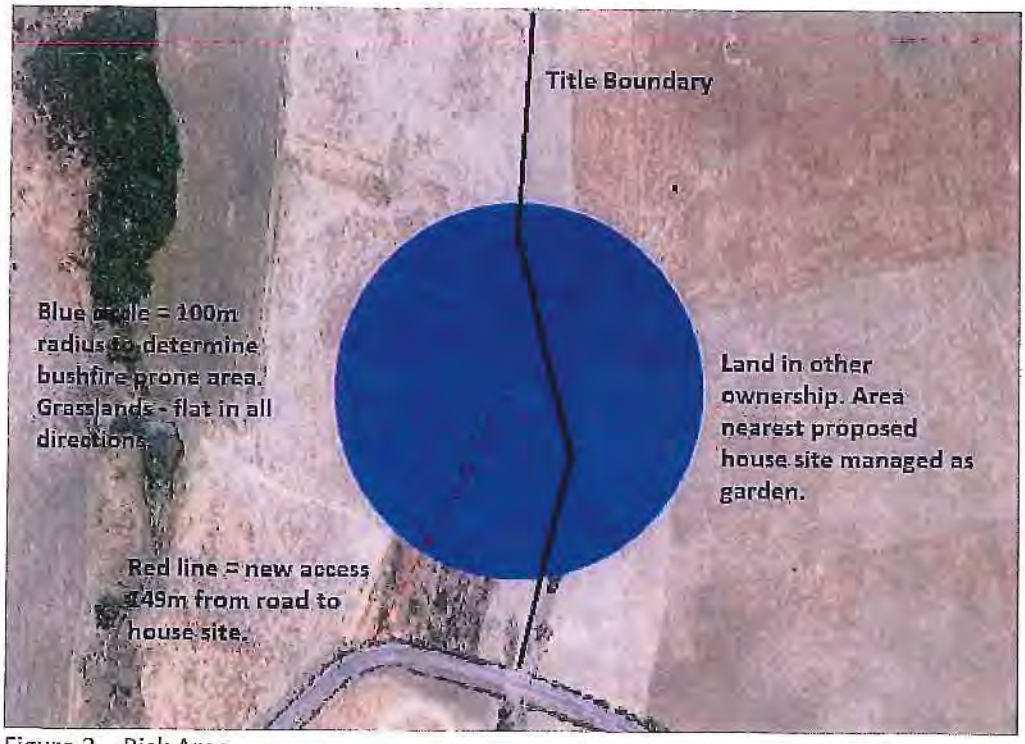


Figure 3 – Risk Area

ENVIRONMENTAL MATTERS

Reference to Tas VEG 3 classifies the vegetation on the site and surrounding lots as:-

Vegetation Community Group	Agricultural Land and Exotic Urban
Vegetation Community Code	NBA
Vegetation Community Description	(FAG) Agricultural Land
Emergent Tree	
Forest Structure	Other
Source Date	3/5/1997
Field Checked	
Source Type	UNK

There are no threatened flora or fauna on this site or within 500m of the site.

ACCESS

Access to the site will be from Relbia Road, a fully formed sealed public road. The public road is 7.5m wide where it fronts the site – it does vary in width from 6.5m to 8m over its extensive length.
Access to the site from the public road will be from a newly formed unsealed driveway – 4m wide. As the driveway is over 50m in length, passing places every 50m have been provided – bringing the total width of the driveway to 6m.

WATER

The site is serviced by reticulated water – the current supply is in Relbia Road. There are however no apparent fire hydrants in Relbia Road at this location; the last hydrants seem to be at the intersection with Glendale Lane. As such the development will have to rely on tank water as a fire fighting source. Tanks (approved under previous application) for firefighting purposes have been installed.

SLOPE

The house site is flat. Outside of the house site and the 100m radius the site has a deep creek gully.

POWER LINES

There are no power lines within the subject site.

VEGETATION

The vegetation in the area is grasslands to the west, north and south. To the east is a homestead and garden area – managed land. Further east the grasslands continue – grazing land.

FIRE PATH (LIKELY)

The prevailing wind impacting on this site comes from the north - flat to the site.

ASSESSMENT OF RISK

The assessment of risk is presented in a table form below:-

	North	South	East	West
Vegetation				
Slope				
Distance				

Table 1 – Bushfire Risk Assessment

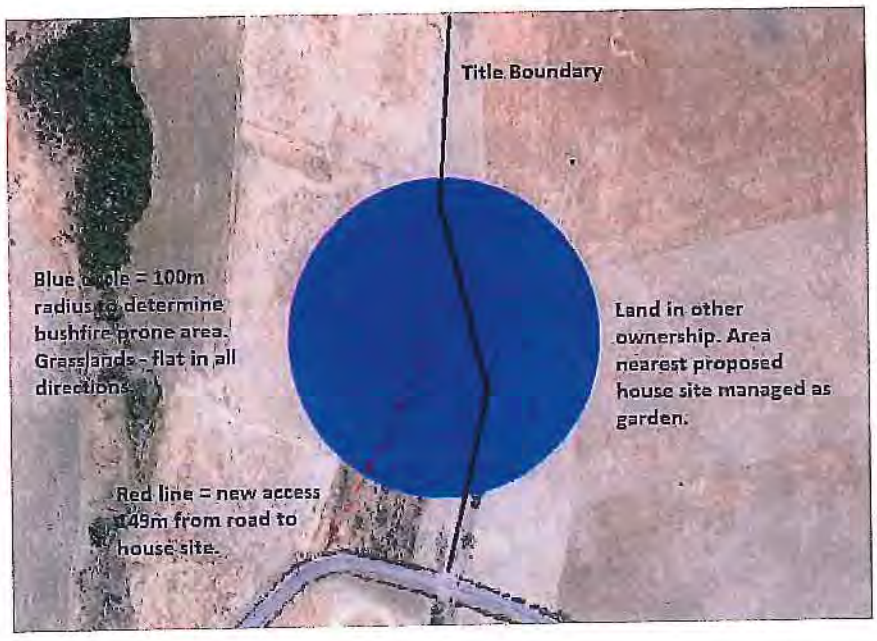


Figure 4 - Plan of bushfire risk assessment

CONSEQUENCE

Given there is a structure on site which has been used as a dwelling for over 20 years it could be argued that replacing this structure with a fully complaint new dwelling will in fact reduce the bushfire risk.

The new driveway and the installed water tanks both assist with bushfire risk reduction.

With all these matters taken into account the risk to the development from bushfire is quite low. However, because of the access and water matters associated with this site a rating of BAL 12.5 is appropriate.

CONCLUSIONS

The nature of the site and the fact that the applicant controls all land to the north, west and south of the site means that risk from bushfire to the proposed house is low. The lands to the east are managed as garden grounds and thus present a very low risk to the spread of bushfire.

The water supply and access arrangements are compliant. The rating for this development of BAL 12.5 is reasonable given the above circumstances.

RECOMMENDATIONS

1. The new house shall be built within the building envelope as shown on the site plan.
2. BAL 12.5 construction standards shall be enforced for new houses.
3. That around the building envelope there will be a 14m to north, south and east and 16m to the west fuel managed area where ground cover is kept at a length of 100mm or less.

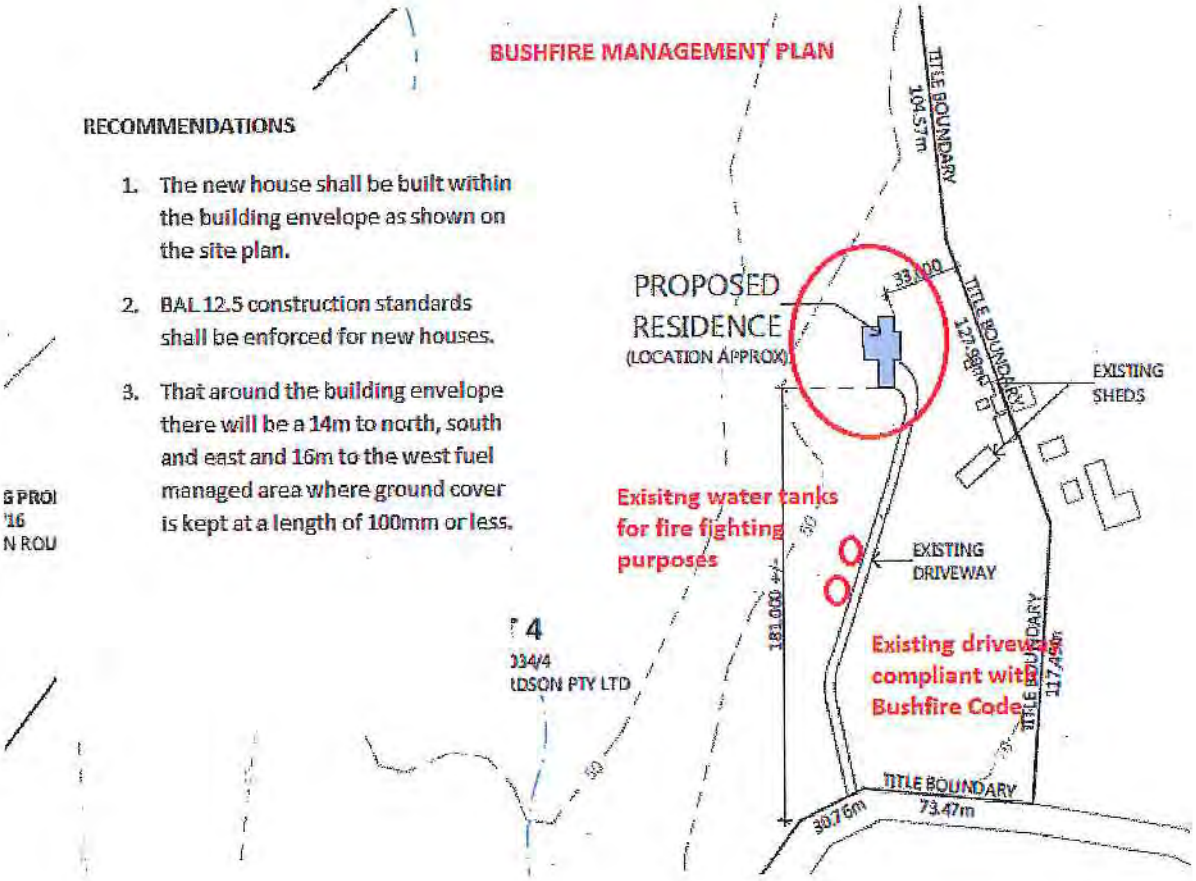
REFERENCES

Northern Midlands Interim Planning Scheme 2013.
Standards Australia. (2009). AS 3959-2009 Construction of Buildings in Bushfire Prone Areas.
Guidelines for development in Bushfire Prone Areas in Tasmania - 2005
Building Code of Australia (Tasmanian Section)

Yours sincerely

Ian Abernethy
Planning Manager – North
BFP 124

BUSHFIRE MANAGEMENT PLAN



Tasmania Fire Service

Approved Form of a Bushfire Hazard Management Plan

Chief Officer's requirements for a Bushfire Hazard Management Plan for compliance or exemption			
Version:	*1*	*Issue Date:*	*7 February 2014*
Purpose	To provide an approved form for a Bushfire Hazard Management Plan in accordance with: Section 60A of the *Fire Service Act 1979* - ***bushfire hazard management plan*** *means a plan showing means of protection from bushfires in a form approved in writing by the Chief Officer.* *Section* 3 *Land Use Planning and Approvals Act 1993* ***bushfire hazard management plan*** means a plan showing means of protection from bushfires in a form approved in writing by the Chief Officer; ***Chief Officer*** means the person appointed as Chief Officer under section 10 of the *Fire Service Act 1979*;		
Declaration	A Bushfire Hazard Management Plan (BHMP) is in a form approved by the Chief Officer if: 1. The BHMP is consistent with a Bushfire Report that has been prepared taking into consideration such of the matters identified in Schedule 1 as are applicable to the purpose of the BHMP; and 2. The BHMP contains a map, plan or schedule identifying the specific measures required to provide a tolerable level of risk from bushfire for the purpose or activity described in the BHMP having regard to the considerations in Schedule 2; and 3. The BHMP is consistent with all applicable Bushfire Hazard Management Advisory Notes issued by the Chief Officer.		
	Mike Brown AFSM Chief Officer Tasmania Fire Service		

Schedule 1 - Bushfire Report

A Bushfire Report is an investigation and assessment of bushfire risk to establish the level of bushfire threat, vulnerability, options for mitigation measures, and the residual risk if such measures are applied on the land for the purpose or activity described in the assessment.

A Bushfire Report must include:

a) A description of the characteristics of the land and of adjacent land;

b) A description of the use or development that may be threatened by a bushfire on the site or on adjacent land; and

c) Whether the use or development on the site is likely to cause or contribute to the occurrence or intensification of bushfire on the site or on adjacent land; and

d) Whether the use or development on the site, and any associated use or development, can achieve and maintain a tolerable level of residual risk for the occupants and assets on the site and on adjacent land having regard for –

   i. The nature, intensity and duration of the use;

   ii. The type, form and duration of any development;

   iii. A Bushfire Attack Level assessment to define the exposure to a use or development; and

   iv. The nature of any bushfire hazard mitigation measures required on the site and/or on adjacent land.

Schedule 2 - Bushfire Hazard Management Plan

A BHMP is a document containing a map, plan or specification and must:-

a) Identify the site to which the BHMP applies by address, Property Identifier (PID), and reference to a Certificate of Title under the *Land Titles Act 1980;*

b) Identify the certifying Bushfire Hazard Practitioner, Accreditation Number, and Scope of Accreditation.

c) Identify the proposed activity to which the BHMP applies by reference to any plans, specifications or other documents that are applicable for the purpose of describing the proposed use or development;

d) Indicate the bushfire hazard management and protection measures required to be implemented by the Bushfire Report;

e) If intended to be applied for the purpose of satisfying a regulatory requirement, identify the regulation by its statutory citation and indicate the applicable provisions for which the BHMP applies; and

f) Have, as a schedule, the Bushfire Report that details specific bushfire hazard management and bushfire mitigation measures required to achieve a tolerable level of residual risk for the proposed activity and any building or development on the site, including:

   i) Measures to achieve compliance with any mandatory land use planning requirement in a planning process required under the *Land Use Planning and Approvals Act 1993 (Attachment 1);*

   ii) Measures to achieve compliance with any mandatory outcome for a building or work undertaken in accordance with the *Building Act 2000* and the Building Regulations 2004 (Form 55).

Attachment 1: Certificate of Compliance to the Bushfire-prone Area Code under Planning Directive No 5

Code E1 – Bushfire-prone Areas Code

Certificate under s51(2)(d) *Land Use Planning and Approvals Act 1993*

Office Use
Date Received
Permit Application No
PID

1. Land to which certificate applies[1]	
Name of planning scheme or instrument: Northern Midlands Interim Planning Scheme 2013(The Scheme)	

Use or Development Site **Street Address** **643 Relbia Road, Relbia**	**Certificate of Title / PID** 13034/4
Land that is not the Use or Development Site relied upon for bushfire hazard management or protection **Street Address**	**Certificate of Title / PID**

2. **Proposed Use or Development** *(provide a description in the space below)* Erect a Dwelling	

- ☐ Vulnerable Use
- ☐ Hazardous Use
- ☐ Subdivision
- ☐ New Habitable Building on a lot on a plan of subdivision approved in accordance with Bushfire-prone Areas Code.
- X New habitable Building on a lot on a pre-existing plan of subdivision
- ☐ Extension to an existing habitable building
- ☐ Habitable Building for a Vulnerable Use

[1] If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.

3. Documents relied upon[2]

	Document or certificate description:
X	***Description of Use or Development[3] (Proposal or Land Use Permit Application)*** ***Documents, Plans and/or Specifications*** *Title: Proposed Dwelling 643 Relbia Road Relbia 157074* *Author: Plans to Build, Paterson St, Launceston* *Date:* Sept 2015 (revised plans)
X	***Bushfire Report[4]*** *Title: BUSHFIRE ASSESSMENT AND BAL CALCULATION* *643 Relbia Road, Relbia* *Author: Ian Abernethy* *Date:* Sept 2015
X	***Bushfire Hazard Management Plan[5]*** *Title: Bushfire Management Plan 643 Relbia Road, Relbia* *Author: Ian Abernethy* *Date:* Sept 2015
☐	***Other documents*** *Title:* *Author:* *Date:*

[2] List each document that is provided or relied upon to describe the use or development, or to assess and manage risk from bushfire, including its title, author, date, and version.

[3] Identify the use or development to which the certificate applies by reference to the documents, plans, and specifications to be provided with the permit application to describe the form and location of the proposed use or development. For habitable buildings, a reference to a nominated plan indicating location within the site and the form of development is required.

[4] If there is more than one Bushfire Report, each document must be identified by reference to its title, author, date and version.

[5] If there is more than one Bushfire Hazard Management Plan, each document must be identified by reference to its title, author, date and version

4. Nature of Certificate[6]

	Applicable Standard	Assessment Criteria	Compliance Test: Certificate of Insufficient Increase in Risk		Compliance Test: Certified Bushfire Hazard Management Plan		Reference to applicable Bushfire Risk Assessment or Bushfire Hazard Management Plan[7]
❑	**E1.4 – Use or development exempt from this code**						
	E1.4. **(identify which exemption applies)**		No specific measures required because the use or development is consistent with the objective for each of the applicable standards identified in this Certificate	❑	Not Applicable		
❑	**E1.5.1 - *Vulnerable Use***						
	E1.5.1.1 – location on bushfire-prone land	A2	Not Applicable		Tolerable level of risk and provision for evacuation	❑	
❑	**E1.5.2 - *Hazardous Use***						
	E1.5.2.1 – location on bushfire-prone land	A2	Not Applicable		Tolerable level of risk from exposure to dangerous substances, ignition potential, and contribution to intensify fire	❑	
❑	***E1.6.1 - Subdivision***						
	E1.6.1.1 - Hazard Management Area	A1	No specific measure for hazard management	❑	Provision for hazard management areas in accordance with BAL 19 Table 2.4.4 AS3959	❑	
	E1.6.1.2 - Public Access	A1	No specific public access measure for fire fighting	❑	Layout of roads and access is consistent with objective	❑	
	E1.6.1.3 - Water Supply	A1 Reticulated water	No specific water supply for fight fighting	❑	Not Applicable		

1–158

[6] The certificate must indicate by placing a ✓ in the corresponding ❑ for each applicable standard and the corresponding compliance test within each standard that is relied upon to demonstrate compliance to Code E1

[7] Identify the Bushfire Risk Assessment report or Bushfire Hazard Management Plan that is relied upon to satisfy the compliance test

		supply					
		A2 Non-reticulated water supply	No specific water supply measure for fight fighting	❑	Water supply is consistent with objective	❑	

❑	**E1.6.2 - *Habitable Building on lot on a plan of subdivision approved in accordance with Code***						
	E1.6.2.1 - Hazard Management Area	A1	No specific measure for hazard management	❑	Provision for hazard management areas in accordance with BAL 19 Table 2.4.4 AS3959 and managed consistent with objective	❑	
	E1.6.2.2 – Private Access	A1	No specific private access for fire fighting	❑	Private access is consistent with objective	❑	
		A2	Not Applicable		Private access to static water supply is consistent with objective	❑	
	E1.6.2.3 - Water Supply	A1	No specific water supply measure for fight fighting	❑	Water supply is consistent with objective	❑	

X	**E1.6.3 - *Habitable Building* (pre-existing lot)**						
	E1.6.3.1 - Hazard Management Area	A1	No specific measure for hazard management	❑	Provision for hazard management is consistent with objective; or	X	
					Provision for hazard management areas in accordance with BAL 29 Table 2.4.4 AS3959 and managed consistent with objective	X X	The site can achieve a BAL 12.5 rating.
	E1.6.3.2 - Private Access	A1	No specific private access measure for fire fighting	❑	Private access is consistent with objective	X	
		A2	Not applicable		Private access to static water supply is consistent with objective	X	
	E1.6.3.3 - Water Supply	A1	No specific water supply measure for fight fighting	❑	Water supply is consistent with objective	X	

1–159

❑	**E1.6.4 - *Extension to Habitable Building***						
	E1.6.4.1 – hazard management	A1	No specific hazard management measure	❑	Provision for hazard management is consistent with objective; or	❑	
					Provision for hazard management areas in accordance with BAL 12.5 Table 2.4.4 AS3959 and managed consistent with objective	❑ ❑	

❑	**E1.6.5 – *Habitable Building for Vulnerable Use***						
	E1.6.5.1 – hazard management	A1	No specific measure for hazard management	❑	Bushfire hazard management consistent with objective; or Provision for hazard management areas in accordance with BAL 12.5 Table 2.4.4 AS3959 and managed consistent with objective	❑	

1–160

5. Bushfire Hazard Practitioner – Accredited Person

Name	Ian Abernethy	Phone No:	0417233732
Address:	Level 4/113 Cimitiere St Launceston	Fax No:	
		Email address:	iabernethy@pittsh.com.au
Fire Service Act 1979 Accreditation No:	BFP- 124	Scope:	

6. Certification

I, Ian Abernethy certify that in accordance with the authority given under the Part 4A of the Fire Service Act 1979 –

The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4(a) because there is an insufficient increase in risk to warrant specific measures for bushfire hazard management and/or bushfire protection in order to be consistent with the objective for all of the applicable standards identified in Section 4 of this Certificate	❑

or

There is an insufficient increase in risk to warrant specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.	❑

and/or

The Bushfire Hazard Management Plan/s identified in Section 4 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate	X

Signed

Date 23 Sept 2015

26 August 2015

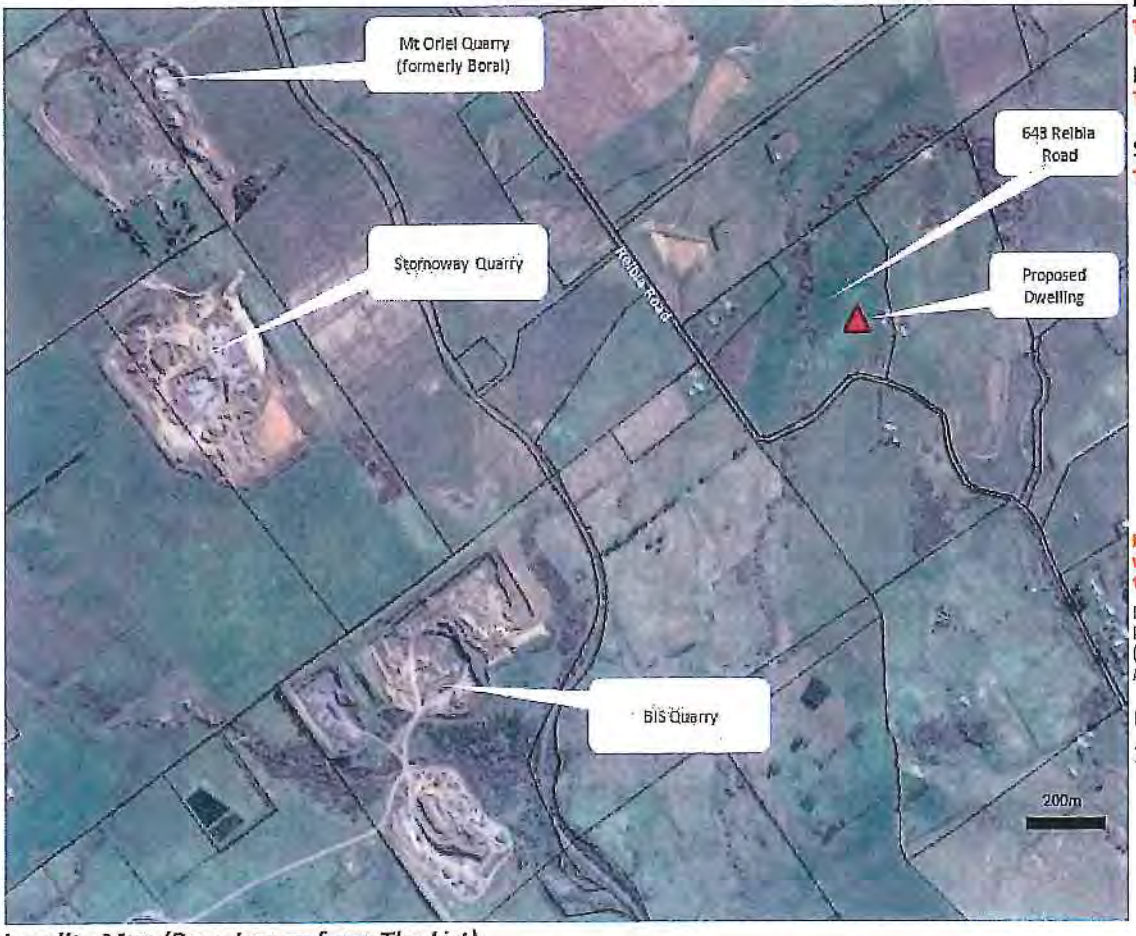
Mr Des Jennings
General Manager
Northern Midlands Council
13 Smith Street
LONGFORD TAS 7301

Dear Sir

LN14379: Noise Assessment - 643 Relbia Road – for Development Application

We have carried out a noise assessment on behalf of Mr Andrew Shepherdson, to support his development application for the construction of a new dwelling at 643 Relbia Road. (This is a revision of our previous assessment to take into account the revised dwelling location.)

The noise assessment has been requested by council as the distance between the boundary of this property is less than 1000 metres from the boundary of two nearby proprieties where quarrying operations are conducted. There is a third, but currently disused quarry located on a property approximately 1.35km from the boundary of 643 Relbia Road. The situation is shown on the map below.



Locality Map (Base Image from The List)

pitt&sherry
sustainablethinking
transport
community
mining & industrial
carbon & energy

Launceston
Level 4 Cimitiere House
113 – 115 Cimitiere Street
PO Box 1409
Launceston TAS 7250
T (03) 6323 1900
F (03) 6334 4651

Offices in:
Brisbane
T (07) 3221 0080

Canberra
T (02) 6295 2100

Devonport
T (03) 6424 1641

Hobart
T (03) 6210 1400

Melbourne
T (03) 9682 5290

Sydney
T (02) 8216 4700

E info@pittsh.com.au
www.pittsh.com.au
1300 pittsh

Incorporated as
Pitt & Sherry
(Operations) Pty Ltd
ABN 67 140 184 309

Incorporating
RARE

CONSULT AUSTRALIA
Member Firm

DS

It can be seen that the proposed building site is set back substantially from the boundaries of the property that are nearest to the quarries. Similarly the working faces of the quarries are set back significantly from their own property boundaries. As a result the attenuation distances between the operational noise sources to the site of the proposed residence are approximately 1.45, 1.58 and 1.60 km for the BIS, Stornoway and Mt Oriel quarries, respectively.

If we conservatively assume that all three quarries are operating, each with a noise source with a sound power of 110 dB(A) then the estimated combined noise level of these emissions at the site of the proposed residence is 43.6 dB(A). If the disused, Mt Oriel Quarry is not included, the noise level would drop to 42.0 dB(A). A sound power of 110dB(A) is equivalent to a substantial rock crusher and a number of excavators and trucks etc operating simultaneously.

The location of the proposed dwelling is in a generally rural area, with neighbouring properties used for pasture, cropping and vineyards, however it is relatively close to the Midlands Highway (3.5km away), the outskirts of Launceston (2km away) and Launceston Airport (2.5km away), so the ambient noise levels on the site will include a contribution from distant traffic. We estimate that the day time ambient noise level would typically be about 45dB(A). This matches the estimated average background noise level suggested in AS1055.3 Appendix A, for noise area category R2 (areas with low density transportation) between 0700 and 1800 hours on weekdays. Note that the quarries only operate during daylight hours on week days.

Noise emissions from an industrial activity that are greater than 5 dB(A) above the existing ambient noise levels would be considered intrusive. The predicted combined noise level from the quarries is less than the ambient noise level, so this noise would not be considered intrusive. In fact this noise level would mostly be imperceptible. This corresponds with Mr Shepherdson's observations that the crusher at one of the quarries is only occasionally "barely perceptible".

We conclude that a residential dwelling at the proposed site, on 643 Relbia Road would not be adversely affected by noise from any of the nearby quarries.

Yours sincerely

Douglas Ford
Senior Mechanical Engineer / Noise Specialist

1-164

protek consulting

10 Goodman Court [White City]
Invermay, Tasmania 7248

Onsite Waste Water Disposal Assessment

643 Relbia Road, 7258

AJ & LM Shepherdson Pty Ltd

Project Number: 5068-0001

Date: 29/10/2015

Prepared By: Philip Connors

1 Contents

Site Assessment Report for Onsite Wastewater Treatment System

Owner & Postal Address	AJ & LM Shepherdson Pty Ltd
Owner Contact Information	Mobile: 0418 804 060 Email: sheps8email@gmail.com
Site Address	643 Relbia Road, Relbia
Title Information	13034/4
Date of Inspection	19.10.2015
Consultant	Philip Connors – Accredited Practitioner CC103 E
Weather	Fine

2 Introduction

643 Relbia Road is a larger lot totalling 7.04 ha. The site is characterised by the presence of Kelly's Creek traversing the property. The area to the east tends to rise to a level platform upon which it is proposed to build a five (5) bedroom Dwelling. We have however allowed for a total occupancy of 10 persons therefore a 4500L Septic Tank will be required.

Site investigations undertaken by Tasman Geotechnics (TG) identify several areas of low grade landslip on the site (see Attachment B) and it is proposed to locate the AES bed so as to be well out of these zones of potential landslip.

The clay soils are of a heavier type and the system best suited to this site is considered to be the Advanced Enviro-Septic (AES) System.

The following information has been used in the design of this AES system.

4 Input Data

Number of bedrooms used for calculations: (or)	AS1547:2012 provides typical allowance of 120L per person per day for tank water. It is proposed to construct a 5 bedroom dwelling with a design flow rate of 1200L per day.
Independent Calculations	Sewage – N/A Sullage – N/A
Mean Monthly Rainfall Data Source & Location	Deemed to Satisfy Assessment based upon AS/NZS 1547:2012

Note 1 – Standard water reduction fixtures include dual flush 11/5.5 litre water closets, shower flow restrictors, aerated taps and water conserving automatic washing machines.

Note 2 – Full water reduction fixtures include reduced flush 6/3 litre water closet, shower flow restrictors, aerated taps, front loading washing machine and flow/pressure control valves on all water outlets. Additionally, water reduction may be achieved by treatment of grey water and recycling of water closet flushing (reclaimed water cycling).

The allowances above are sourced directly from AS/NZS1547:2012 and incorporates an allowance for peak water usage).

NOTE: No water reduction fixtures used in this system design.

5 Assessment

This report is based on the conditions of the site encountered at the time of the inspection only. In the event that significant delays in the commencement of this project it is recommended that a further investigation be conducted to verify the conditions found in this report.

This assessment has been prepared on the basis of the plans and details provided to the consultant for this development only. This assessment should not be applied to any project other than that originally specified at the time this report was issued.

This report should not be used without further consultation from Protek Consulting if significant changes to the development occur. Changes may include but are not limited to variations in the location of the proposed building(s) and/or disposal area(s), septic tank location, earthworks or other work that may impact upon the building settlement or slope stability.

6 Site Conditions & Site Evaluation

6.1 Area of Site

7.04ha.

6.2 Boundaries Confirmed

Fenced.

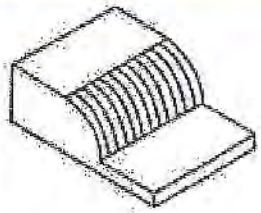
6.3 Aspect

North westerly.

6.4 Site Gradient

Percent Grade (%)	Slope Angle Degrees (°)	Slope Ration (V:H)
15	8.5	1:6.7

4.1. Site Shape

Waxing Planar

Increasing slope angle aids fun-off, but no spreading.

6.5 Site Stability

Several areas of Low category landslip are present on this site but not in the area proposed for the AES bed (See Appendix B).

6.6 Soil Type

Soil Category 6 (Medium to Heavy Clays).

See TG report attached as Appendix B.

4.1.1. Soil Structure

The soil structure is typically a strong clay as shown below. Highlighted sections shown the factors relating to this site.

Degree of structure	Appearance
Strong	Peds quite distinct in undisturbed soil. When disturbed >60% consists of peds smaller than 100mm.

Structure

4.1.2. Soil Dispersion

Soil dispersion testing was carried out by Tasman Geotechnics and soils identified as Emmerson Class 4.

4.1.3. Salinity

Not identified on this site.

6.7 Existing Buildings

Several sheds and container – assessed as part of the planning permit.

6.8 Power Supply

Mains power is available.

6.9 Vegetation

Grassed/pasture.

6.10 Water/Hydrology

6.10.1 Surface Run-Off

Site modification is not to impact upon the site proposed for the AES bed.

6.10.2 Lateral & Vertical Seepage & Drainage

Not considered an issue as to the significant separation between the AES bed and the down slope creek approximately 160m away.

6.10.3 Water Courses

Kelly's Creek approximately 160m downslope from the AES bed.

6.10.4 Water Table Depth

Not present at 1.5m.

6.10.5 Wells/Bores/Groundwater

N/A.

6.11 Available Area

Ample area for AES bed.

6.12 Reserve Area Available

Not required for AES bed.

6.13 Neighbouring Properties

None down slope.

5. Special Requirements

1. Vehicular traffic is to be kept off the disposal area.
2. Construction specifications for clay sites, clay soils have a tenancy to be dispersive. During construction, gypsum may be applied at the rate of 1kg/m2 to the base of the bed to prevent the clay dispersing.
3. The trench is to be closed in as soon as possible to protect the gypsum from rain.

6. Capacity Rating

Capacity Rating	Factor	Rating
	Site Drainage	Good
	Flooding Potential	Low
	Impervious Layer Depth	Not present
	% Gravel	Nil
	% Stone	Nil
	% Boulders	Nil
	% Rock Outcrop	Nil

7. Permeameter Results

A permeameter test was not undertaken in this instance.

Visual inspection of the site has been undertaken in accordance with AS1547:2012.

6.14 Indicative Permeability

Category 6 – 0.06-0.5m/day – Strong.

Based on the site and soil evaluation a permeability of 0.4m/d – (Category 6) has been adopted for this design.

6.15 Indicative DLR

Table L1 of AS/NZS 1547:2012 gives indicative Design Load Rate for Trenches and Beds of between 0.06mm and 4mm/day for secondary treated effluent for a Category 6 soil.

A DLR of 4mm/day has been used for the design of this system.

6.16 Comment on Results

The proposed site is deemed suitable for in ground absorption of effluent in accordance with the recommendations contained in AS/NZS 1547:2012 and the AES design manual.

The site and soil assessment and design of the disposal system has taken into account the site constraints, the proposed development, as well as longevity of the system for the proposed application.

8. Recommendations

1. Installation of 25m long x 12m wide x 0.75m deep AES constructed in accordance with the principles of AS1547:2012.
2. That a 4500L (minimum) dual purpose septic tank be provided for the system in accordance with Table J1 of AS/NZS1547:2012. Capacity for septic tanks is referred to in AS/NZS 1547:2012, a five yearly pump out cycle is possible but three yearly is recommended.
3. That a surface water diversion drain be provided immediately above the disposal area to direct surface water away from the bed.
4. That all work be carried out by a registered plumber in accordance with the plumbing regulations. And AES design manual.

9. System Design Criteria

The following design criteria based on detailed site assessment and has been recommended for this application.

Length of AES bed trench	25m
Depth of AES bed trench	0.75m
Width of AES bed trench	12m
Separation distance to boundaries or other features	Not applicable
Other	Gypsum to be added to the basal area at the rate of 1kg/m2

10. Summary

The site is deemed appropriate for in-ground absorption of primary treated effluent using the AES bed system.

The design criteria used in this assessment is based on tank water. A reduction of approximately 15% in the design volume can be achieved if tank water is used together with water saving devices including, dual flush water closets, shower flow restrictors, aerated faucets and front loading washing machines.

Care must be taken to maintain the septic tank and regularly remove build-up of solids. Detergents used in the system should also be carefully chosen to ensure compatibility with a septic tank system.

This system is design for a total occupancy of (10) people at any one time. Any alteration of the design load rate or the system is to be first recalculated to ensure suitable system capacity prior to commencing any works.

Please note that because there are many factors affecting the successful operation of an onsite wastewater system it is likely that at some point in the future additional work may be required to maintain the system operation.

Protek will not be responsible for the interpretations of the report finding by others involved in the design and construction process for this project. Where any confusion exists clarification should be obtained from the Consultant named in this report.

Philip G Connors
Protek Consulting
Date: 29.10.2015

APPENDIX A
Site Photographs

APPENDIX B
Tasman Geotechnics Site and Soil bore logs

TASMAN geotechnics

SOIL DESCRIPTION EXPLANATION SHEET

Soils are described in accordance with the Unified Soil Classification System (USCS), as shown in the following table:

FIELD IDENTIFICATION

COARSE GRAINED SOILS	more than 50% of material less than 63mm is larger than 0.075mm	GRAVELS	GW	Well graded gravels and gravel-sand mixtures, little or no fines
			GP	Poorly graded gravels and gravel-sand mixtures, little or no fines
		GRAVELLY SOILS	GM	Silty gravels, gravel-sand-silt mixtures, non-plastic fines
			GC	Clayey gravels, gravel-sand-clay mixtures, plastic fines
		SANDS	SW	Well graded sands and gravelly sands, little or no fines
			SP	Poorly graded sands and gravelly sands, little or no fines
		SANDY SOILS	SM	Silty sand, sand-silt mixtures, non-plastic fines
			SC	Clayey sands, sand-clay mixtures, plastic fines

					DRY STRENGTH	DILATANCY	TOUGHNESS
FINE GRAINED SOILS	more than 50% of material less than 63mm is less than 0.075mm	SILT & CLAY, liquid limit less than 50%	ML	Inorganic silts, very fine sands or clayey fine sands	None to low	Quick to slow	None
			CL	Inorganic clays or low to medium plasticity, gravelly clays, sandy clays and silty clays	Medium to high	None to very slow	Medium
			OL	Organic silts and organic silty clays of low plasticity	Low to medium	Slow	Low
		SILT & CLAY, liquid limit greater than 50%	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts	Low to medium	Slow to none	Low to medium
			CH	Inorganic clays of high plasticity, fat clays	High	None	High
			OH	Organic clays of medium to high plasticity	Medium to high	None to very slow	Low to medium
PEAT			Pt	Peat muck and other highly organic soils			

Particle size descriptive terms

Name	Subdivision	Size
Boulders		>200mm
Cobbles		63mm to 200mm
Gravel	coarse	20mm to 63mm
	medium	6mm to 20mm
	fine	2.36mm to 6mm
Sand	coarse	600µm to 2.36mm
	medium	200µm to 600µm
	fine	75µm to 200µm

Consistency of cohesive soils

Term		Undrained strength	Field guide
Very soft	VS	<12kPa	A finger can be pushed well into soil with little effort
Soft	S	12 - 25kPa	Easily penetrated several cm by fist
Firm	F	25 - 50kPa	Soil can be indented about 5mm by thumb
Stiff	St	50-100kPa	Surface can be indented but not penetrated by thumb
Very stiff	VSt	100-200kPa	Surface can be marked but not indented by thumb
Hard	H	>200kPa	Indented with difficulty by thumb nail
Friable	Fb		Crumbles or powders when scraped by thumb nail

Moisture Condition

Dry (D)	Looks and feels dry. Cohesive soils are hard, friable or powdery. Granular soils run freely through fingers.
Moist (M)	Soil feels cool, darkened in colour. Cohesive soils are usually weakened by moisture presence, granular soils tend to cohere.
Wet (W)	As for moist soils, but free water forms on hands when sample is handled

Cohesive soils can also be described relative to their plastic limit, ie: <Wp, =Wp, >Wp
The plastic limit is defined as the minimum water content at which the soil can be rolled into a thread 3mm thick.

Density of granular soils

Term	Density Index
Very loose	<35%
Loose	15 to 35%
medium dense	35 to 65%
Dense	65 to 85%
Very dense	>85%

Minor Components

Term	Proportions	Observed properties
Trace of	Coarse grained: <5% Fine grained: <15%	Presence just detectable by feel or eye. Soil properties little or no different to general properties of primary component.
With some	Coarse grained: 5-12% Fine grained: 15-30%	Presence easily detected by feel or eye. Soil properties little different to general properties of primary component.

ENGINEERING BOREHOLE LOG

TASMAN geotechnics

Borehole no. BH1

Sheet no. 1 of 1
Job no. TG15108/1

Client : Andrew Shepardson
Project : AS2870
Location : 643 Relbia Road, Relbia

Date : 23/9/2015
Logged By : EB

Drill model : Rockmaster
Hole diameter : 120mm

Slope : deg
Bearing : deg

RL Surface :
Datum :

Method	Penetration 1	2	3	4	Notes Samples Tests	Water		Graphic Log	Classification	Material Description	Moisture Condition	Consistency density, index	Structure, additional observations
Auger							0.25		ML	CLAYEY SILT, medium plasticity, dark brown	M	F	
							0.50		CH	CLAY, medium plasticity, brown with red and grey mottles	M	VSt	
							0.75						
					U50		1.00			brown/grey/orange mottled			PP=300kPa
										cobbles			
							1.25			Terminated at 1.2m due to refusal on cobbles			
							1.50						
							1.75						
							2.00						

ENGINEERING BOREHOLE LOG

TASMAN geotechnics

Borehole no. BH2

Sheet no. 1 of 1
Job no. TG15108/1

Client : Andrew Shepardson
Project : AS2870
Location : 643 Relbia Road, Relbia

Date : 23/9/2015
Logged By : EB

Drill model : Rockmaster
Hole diameter : 120mm

Slope : deg
Bearing : deg

RL Surface :
Datum :

Method	Penetration 1	2	3	4	Notes Samples Tests	Water		Graphic Log	Classification	Material Description	Moisture Condition	Consistency density, index	Structure, additional observations
Auger							0.25		ML	CLAYEY SILT, medium plasticity, dark brown	M	F	
							0.50						
							0.75		CH	CLAY, medium plasticity, grey/brown mottled	M	St	
					U50		1.00						PP=300kPa
							1.25			Terminated at 1.15m due to refusal on cobbles			
							1.50						
							1.75						
							2.00						

ENGINEERING BOREHOLE LOG

TASMAN geotechnics

Borehole no. BH2

Sheet no. 1 of 1
Job no. TG15108/1

Client : Andrew Shepardson
Project : AS2870
Location : 643 Relbia Road, Relbia

Date : 23/9/2015
Logged By : EB

Drill model : Rockmaster
Hole diameter : 120mm

Slope : deg
Bearing : deg

RL Surface :
Datum :

Method	Penetration 1	2	3	4	Notes Samples Tests	Water		Graphic Log	Classification	Material Description	Moisture Condition	Consistency density, index	Structure, additional observations
Auger							0.25		ML	CLAYEY SILT, medium plasticity, dark brown	M	F	
							0.50						
							0.75		CH	CLAY, medium plasticity, grey/brown mottled	M	St	
					U50		1.00						PP=300kPa
										Terminated at 1.15m due to refusal on cobbles			
							1.25						
							1.50						
							1.75						
							2.00						

ENGINEERING BOREHOLE LOG

TASMAN geotechnics

Borehole no. BH4

Sheet no. 1 of 1
Job no. TG15108/1

Client : Andrew Shepardson
Project : AS2870
Location : 643 Relbia Road, Relbia

Date : 23/9/2015
Logged By : EB

Drill model : Rockmaster
Hole diameter : 120mm

Slope : deg
Bearing : deg

RL Surface :
Datum :

Method	Penetration 1	2	3	4	Notes Samples Tests	Water		Graphic Log	Classification	Material Description	Moisture Condition	Consistency density, index	Structure, additional observations
Auger							0.25		ML	CLAYEY SILT, medium plasticity, dark brown	M	F	
									CH	CLAY, medium plasticity, orange/brown mottled	M	VSt	
							0.50			Terminated at 0.4m, still going			
							0.75						
							1.00						
							1.25						
							1.50						
							1.75						
							2.00						

www.thelist.tas.gov.au

Generated at: 9:53 on 30-September-2015 User: info@protekbs.com.au Page: 1 of 1

www.thelist.tas.gov.au

Tasmanian Government

APPENDIX C
AES Calculator and system design plan

ADVANCED ENVIRO-SEPTIC "Always The First Option"

Advanced Enviro-septic Design Calculator V8.4

"Always the BEST Option" until site and soil conditions rule it out.

Site Address	643 Relbia Road, Relbia			
Client Name	Andrew Stephenson			
Designed By	Philip Connors	Designers Ph Number	TBA	Designer Lic Number (eg QBCC)
Lic Plumber Name		Plumber Ph Number	TBA	Plumb / Dealer Lic Number
Council Area	Northern Midlands	AES Serial Number	TBA	Date 27/10/2015

This Calculator is a guide only, assessing soil classification, surface water, water tables and all other site constraints addressed by the design

System Designers site and soil calculation data entry		IMPORTANT NOTES
Is this a new home installation Y or N	y	>> Minimum single vent size is 80mm or 2 x 50mm house vents
Number of person	10	a septic tank outlet filter is NOT RECOMMENDED
Daily Design Flow Allowance Litre/Person/Day	120	
Number of rows required to suit site constraints	2	>> The minimum lth of a single AES pipe run is 30 meters
Infiltration surface Soil Category as established by site and soil evaluation. CATEGORY	6	>> Category may require design considerations. Ref AS1547
Design Loading Rate based on site & soil evaluation DLR (mm/day)	4	>> Soil conditioning may be necessary. Ref AS1547 & Comments.
Bore log depth below system Based area	10	>> Min depth below base area is 600 mm to establish water table or restrictive layer
AES FOOTPRINT MUST BE LEVEL WITH TRENCH EXTENSION	7	>> Consideration required for Sloping sites. Ref AS1547. refer comment.
Is this design a gravity system with no outlet filter? Y or N	y	>> A Hooke Vent & LOW VENT required on this system

PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES

COMMENTS - " The outcome must be important to everyone "

- Ripping of receiving surface is required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate and rip parallel to the site slope/AES pipe.
- Specialist soils advice and special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Refer AS1547

- All Sloping sites require special consideration and management through design of slope percentage, surface water and construction methods as per AS1547.
- Plumbers are reminded that good construction techniques as per AS1547 are especially important in these soil types. Refer AS1547 & AES installation instructions

AES System Calculator Outcomes		
Total System load - litres / day (Q).	1200	l/d
Min Length of AES pipe rows to treat loading	20.0	lm
Number of FULL AES Pipe lengths per row	7	lths
Total Capacity of AES System pipe in Litres	2968	ltrs

AES dimensions	AES System	Extension Area
Lth m : (L)		
Width m:(W)		
Sand Depth :	0.75	0.15
Area m2	29.2	270.8

DO YOU WISH TO USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y) **y** >>Slope percentage must be 0% & infiltration footprint must be level for this design

IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y" **y** Enter Custom Width in metre **12**

AES INFILTRATION FOOT PRINT AREA - L = Q / (DLR x W)	Length		Width	Minimum AES foot print required .
The length & width of excavation required for this design is >>	25.0	x	12 =	300.0 m2 total

A trench design has a max of 2 rows of AES pipe located 300mm from up slope side and centered lenght wise in the trench is better.

Code	AES System Bill of Materials.		
AES PIPE	AES 3 mat l ths required	14	lths
AESC	AESC Couplings required	12	ea
AESO	AESO Outlet adaptors	4	ea
AESODV	AES Oxygen demand vent	1	ea
AES-IPB	AES 150mm inspection point base	2	ea
AES Equ	AES Speed Flow Equaliser		ea
	TOTAL SYSTEM SAND REQUIRED (Guide Only)	75	m3

PLEASE email your AES CALC and Drawings to DESIGNREVIEW@ENVIRO-SEPTIC.COM.AU

Chankar Environmental Use Only

Digitally signed by Kane Dickson
DN: cn=Kane Dickson, o=Chankar Environmental, ou=Design Review, email=designreview@enviro-septic.com.au, c=AU
Date: 2015.10.27 13:15:16 +10'00'

Designreview@enviro-septic.com.au

- The AES Calculator is a design aid to allow checking of the AES components and configuration and is a guide only. Site and soil conditions determining the AS 1547 standard are calculated and designed by a qualified designer.
- Check a Environmental is not responsible for the soil evaluation, loading calculations or field entered by the designer for this calculator.
- AES pipes can be cut to length on site. These are supplied in 3 meter lths only

APPENDIX D
Risk Assessment

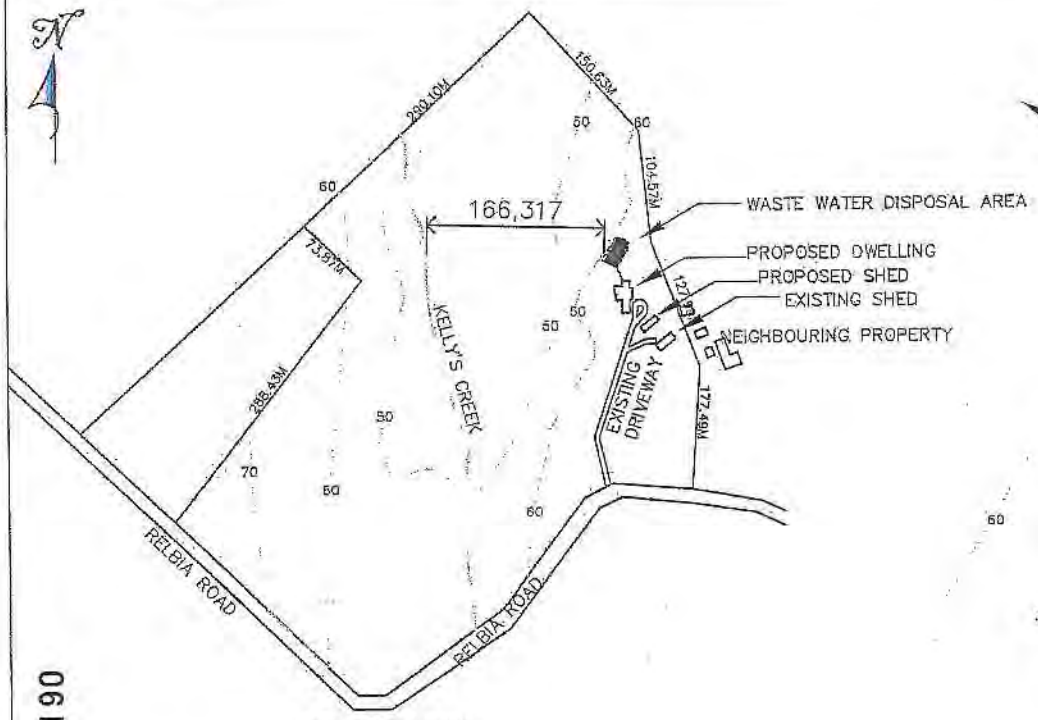
Problem/Risk	Likelihood	Consequence	Risk	Factors that increase likelihood	Design risk reduction measures
Septic tank capacity considerations					
Hydraulic failure	Rare ☐ Unlikely ☒ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☒ Moderate ☐ Major ☐ Severe ☐	Low ☒ Medium ☐ High ☐ Extreme ☐	• Excess solids discharged • Inadequate hydraulic design of treatment plant or land application system • Overuse of facilities (Bathroom, WC, Laundry)	Install septic tanks in accord with AS/NZS 1547:2012 Table J1 as follows; 1-5 persons – 3000 litres ☐ 6 – 7 persons – 3500 litres ☐ 8 persons - 4000 litres ☐ 9 – 10 persons – 4500 litres ☒ A pump out cycle of between 3-5 years is recommended for normal residential use. It is recommended where possible to install water saving devices including dual flush toilets, water saving shower heads etc. It is recommended that a garbage disposal unit not be installed as this can add considerably more solids to a septic system than are usually present (a larger septic tank may be required is this was the case). This system has been designed for a maximum occupancy of 10 Persons.
Wastewater biological failure from washout of bacteria	Rare ☐ Unlikely ☐ Possible ☒ Likely ☐ Very likely ☐	Minimal ☐ Minor ☒ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☒ High ☐ Extreme ☐	• Inadequate septic tank capacity • Overuse/abuse of the system	The system has been designed for occupancy 10 persons in the proposed 5 bedroom dwelling. Should the occupancy increase it is recommended that the designer be consulted to ensure that the septic tank and system as designed is adequate for additional daily flow.
Soil characteristics considerations					

Problem/Risk	Likelihood	Consequence	Risk	Factors that increase likelihood	Design risk reduction measures
Soil system failure in dispersive soils	Rare ☐ Unlikely ☐ Possible ☒ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☒ Major ☐ Severe ☐	Low ☐ Medium ☒ High ☐ Extreme ☐	• Presence of Class 5-6 clay soils	The soil type in this instance is a category 6 and as such a design load rate of 4 mm day has been applied with secondary treated effluent via the AES system. Gypsum is applied to the soil at a rate of applied at the rate of 1kg/m2 to the base of the bed to prevent the clay dispersing
Inadequate topsoil	Rare ☐ Unlikely ☐ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	• Only applies to AWTS	Import topsoil as required Not required as trenches.
Inadequate vegetation	Rare ☐ Unlikely ☐ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	• Only applies to AWTS. • Lack of maintenance of irrigation areas	Where planting is a component of the system design, plants are to be maintained in strict accordance with designer's recommendations and manufacturers guidelines.
Non-conservative design loading rate for the soil type	Rare ☐ Unlikely ☐ Possible ☒ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☒ Major ☐ Severe ☐	Low ☐ Medium ☒ High ☐ Extreme ☐	• Incorrect determination of soil classification and dispersion.	Undertake detailed site assessment using either/or expert knowledge, inspection of cuts and trenches available in the disposal area; or test pit/bore log. If necessary or in doubt, have lab testing done to confirm soil characteristics.
Aspect and climate considerations					

Problem/Risk	Likelihood	Consequence	Risk	Factors that increase likelihood	Design risk reduction measures
South facing, poor exposure to sunlight	Rare ☐ Unlikely ☐ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	•	Where appropriate, allow for retained rainfall (using alternative solution such as full water balance assessment). Use design in accord with AS/NZS 1547:2012 to cater for worst case scenario
High rainfall periods lasting several weeks	Rare ☐ Unlikely ☐ Possible ☒ Likely ☐ Very likely ☐	Minimal ☐ Minor ☒ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☒ High ☐ Extreme ☐	• Inundation of surface water	Deemed to satisfy assessment using AS/NZS 1547:2012 and plenty of capacity to cater for worst case scenario.
Consistent low temperatures during high rainfall periods	Rare ☐ Unlikely ☐ Possible ☒ Likely ☐ Very likely ☐	Minimal ☐ Minor ☒ Moderate ☐ Major ☐ Severe ☐	Low ☒ Medium ☐ High ☐ Extreme ☐	• Nil	Deemed to satisfy assessment using AS/NZS 1547:2012 and plenty of capacity to cater for worst case scenario. Design system with redundancy for worst case scenario
Stormwater	Rare ☐ Unlikely ☐ Possible ☒ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☒ Severe ☐	Low ☐ Medium ☐ High ☒ Extreme ☐	• Down pipes and water tanks not adequately piped to direct water away from the disposal area	Ensure all stormwater overflows and drains are directed away from disposal area. Discharge storm water below disposal area. Ensure that future site modifications do not cause surface/storm water to be directed to disposal area.
• High content of stones, cobbles or boulders	Rare ☐ Unlikely ☐ Possible ☐ Likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	•	Where stones and cobbles exceed 20% of the soil, increase the soil classification by one (1) classification.

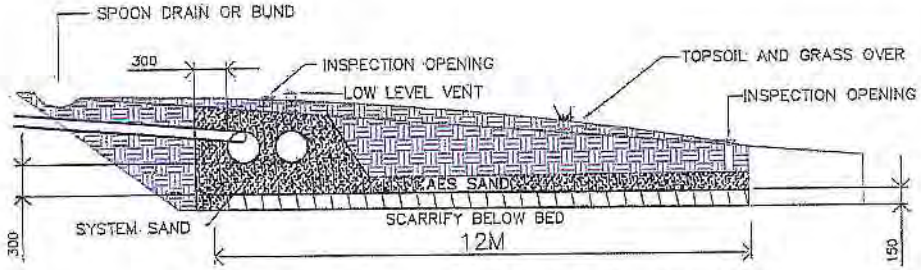
Problem/Risk	Likelihood	Consequence	Risk	Factors that increase likelihood	Design risk reduction measures
	Very likely ☐	Severe ☐			Consider use of modified disposal systems such as raised beds or mounds and import suitable soils
Salinisation	Rare ☐ Unlikely ☒ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☒ Major ☐ Severe ☐	Low ☐ Medium ☒ High ☐ Extreme ☐	• High ground water table	Where salinsation is suspected to exist, obtain laboratory testing to confirm prior to proceeding with design and approvals.
Highly permeable soils or soils with preferential pathways	Rare ☐ Unlikely ☐ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	• High ground water table	Undertake pit excavations with backhoe or similar to ensure that water tables and bores etc. are not affected by onsite waste water system installation. Consider use of modified disposal systems such as raised beds or mounds and import suitable soils
Permeable gravel soils	Rare ☐ Unlikely ☐ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	•	Use only effluent control trench design or other modified system to limit lateral run-off.
Set back limitations					
Site constraints and limited area	Not present ☒ Unlikely ☐ Possible ☐ Likely ☐ Very likely ☐	Minimal ☐ Minor ☐ Moderate ☐ Major ☐ Severe ☐	Low ☐ Medium ☐ High ☐ Extreme ☐	• Small lot size • Steep slopes	Consider use of alternative disposal systems such as AWTS of AES system that will deliver secondary treated effluent to reduce possible risl Import additional soil if required. Scarify the ground immediately below the disposal area and extend topsoil cover to

Problem/Risk	Likelihood	Consequence	Risk	Factors that increase likelihood	Design risk reduction measures
					Incorporate the scarified area within the foot of the disposal bed/trench. Apply conservative a set back distances as specified in AS/NZS 1547:2012 Appendix R

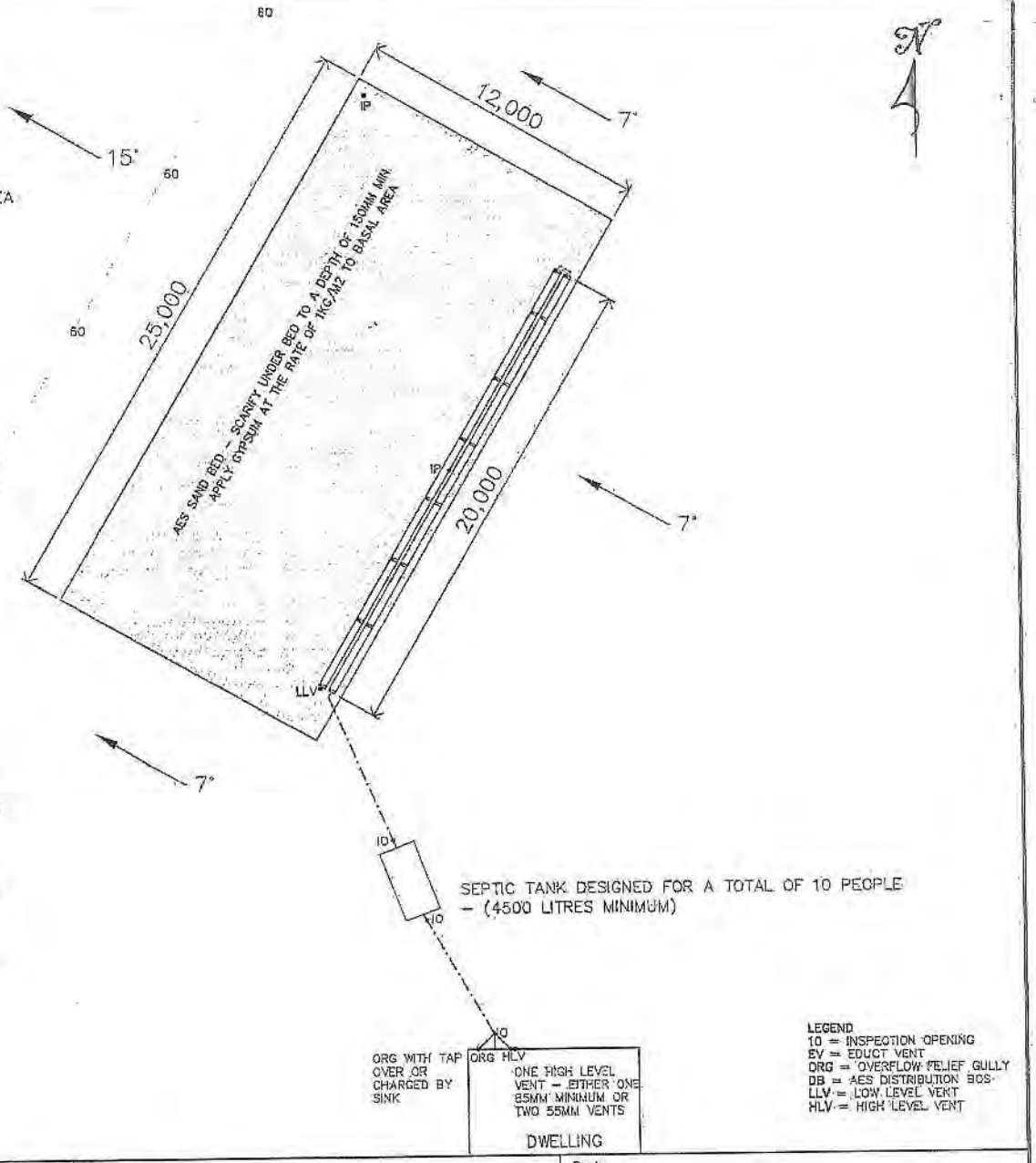


SITE PLAN 1:5000

1-190



AES INSTALLATION ON SLOPING SITE (typical 1:50)



This drawing is to be read in conjunction with consultants report No. 5068-0001 dated 29/10/2015

Any alterations to the approved system will require amendment of the plans and certification documents. Please consult prior to making amendments.

protek consulting
10 Goodman Court, Invermay
ph:(03) 6332 3700
fax:(03) 63347894
email: pconnors@protekco.com.au

Project
Onsite Waste Water System Design
for
Mr Andrew Shepherdson
at
643 Relbia Road, Relbia

Drawing
SITE PLAN & SYSTEM DESIGN

Designed PC

Approved PC

Scale 1:200

Date 27.10.2015

Drawn PC

Project/Drawing 5068-0001

Rev 00

protek consulting

10 Goodman Court, [White City]
Invermay, Tasmania 7248

Loading Certificate — **AS/NZS 1547:2012 Section 7.4.2**

To: Northern Midlands Council — *Permit Authority*
PO Box 156 — *Address*
Longford 7301 — *Suburb/postcode*

Accredited Designer Details

From: Philip Connors — Category: Environmental Health Officer
Business name: Protek Building Surveying Services
Address: PO Box 3076 — Phone No: 03 6332 3700
Launceston 7250 — Fax No: 03 6332 3720
Accreditation No: CC103 E — Email address: pconnors@protekco.com.au

Details of proposed work

Owner: AJ & LM Shepherdson Pty Ltd — Designer Project Ref No: 5068-0001
Address: 643 Relbia Road — Folio: 4
Relbia 7258 — Volume: 13034
Type of work: Proposed new dwelling — *(new building / alteration / addition / repair /demolition / removal / re-erection / other)*
Description: OSDS for proposed new dwelling.

Details of proposed work

1. System Capacity

1.1 Number of Persons

The maximum of number of persons at any one time is 10. In accordance with J1 of AS/NZS 1547:2012.

1.2 Daily Flow

1200L/day for five (5) bedroom dwelling.

2. Summary of design criteria

The proposed Onsite Waste Disposal System is based on site inspection undertaken on 19/10/2015 and takes into account the principles supplied in AS/NZS 1547:2012. Please refer to the attached report for full design criteria.

3. Location & use of reserve area

The AES system does not require a reserve area as this system provides secondary treated effluent with the scum build occurring on the AES pipes instead of on the surface of the receiving soils. Therefore, in the event of any future failure of the AES system, remedial works consist of replacement of the AES sand and reinstallation of the beds into the original location thus negating the need for provision of an alternative disposal area.

protek consulting

10 Goodman Court, [White City]
Invermay, Tasmania 7248

4. Use of water efficient fittings, fixture and appliances

The design is based on tank water (120L per person per day as detailed in H1 of AS/NZS 1547:2012.
A reduction of approximately 15% in the design volume can be achieved if tank water is used together with water saving devices including, dual flush water closets, shower flow restrictors etc. These have not been included in the report.

5. Allowable variation from design flows (peak loading events)

Should the number of persons consistently exceed the number stated it is recommended that an additional system design be conducted to ensure satisfactory capacity of the AES system.

6. Consequences of changes in loading (due to varying wastewater characteristics)

6.1 Consequences of overloading the system

The consequences of consistently overloading the system include eventual system failure.

6.2 Consequences of under loading the system

Nil.

7. Consequences of lack of operations, maintenance and monitoring attention

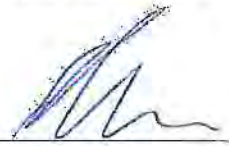
Like any waste water system the septic tank will need to be regularly maintained and pumped out to prevent carryover of solids.
There are many factors affecting the successful operation of a disposal system and additional work may be required to maintain the system operation.

8. Any other relevant considerations related to use of the system

This system has been recommended due to the proposed occupancy of the building as well as the soil category and site restraints.

Attribution as designer:

I was responsible for the design of this building or building work.



29/10/2015

Designer Signed | Date:

ATTACHMENT B

Our ref: 202900.13; P15-298; AJ & LM Shepherdson Pty Ltd
Enquiries: Erin Boer

NORTHERN MIDLANDS COUNCIL

23rd October 2015

AJ & LM Shepherdson Pty Ltd
637 Relbia Road
RELBIA 7258
Via email: sheps8email@gmail.com

Dear Mr & Mrs Shepherdson

Planning Application P15-298 - Information Required
Dwelling & 6 bay two storey shed (8 x 24m, apex 8.55m) at 637 Relbia Road, Relbia

Receipt is acknowledged of the abovementioned application, which has been reviewed by Council's Planning Officers. The following information is required to compose a valid application under the *Northern Midlands Interim Planning Scheme 2013*:

- **Corrected plans**
  The site plan and floor plans for the shed do not match. Please provide corrected plans, including a dimensioned floor plan of the shed.

- **Cost of construction**
  The cost of construction for this proposal is considered to be grossly underestimated. Please provide a revised cost of construction. An estimate has been worked out by Council's Planners, based on the Department of Justice - Building Cost Guide, which indicates the cost of construction will be in excess of 1.3 million. Planning application fees are applicable at a rate of 0.3% of the cost of construction over $300,000.

- **Description of use**
  Due to the large floor area of shed space (approximately 490m^2), a detailed description/layout of the use of the proposed sheds is required.

- **Existing Shipping Container**
  It is noted in the planning report provided that the shipping containers approved under P14-048 and placed on site have since been removed without approval. The removal of these containers can be included with the current application and accordingly, will need to be shown on the plans.

- **WWTS Design Report**
  A Waste Waster Design Report is required for a new septic tank or to provide confirmation that the existing septic tank is able to accommodate the load proposed.

- **Adjoining property owners names**
  The names of adjoining property owners must be removed from the plans prior to the application being placed on public exhibition.

- **Additional information**
  Additional information may be required, depending on the outcome of the abovementioned requests, and will be advised in due course.

This information is required under Section 51(1AC) of the *Land Use Planning and Approvals Act* 1993. If you have any queries, please contact Council's Planning Section on 6397 7301, or e-mail Planning@nmc.tas.gov.au.

Yours sincerely

Erin Boer
PLANNING OFFICER

Please note: The application will not be reviewed further until all of the further information is provided. If the further information is not fully provided within a calendar month (or a timeline for submission provided), the application and fees will be returned with an administration fee deducted.

Erin Boer

From: Shepherdsons <sheps8email@gmail.com>
Sent: Friday, 30 October 2015 6:59 AM
To: Erin Boer
Subject: (DWS Doc No 851373) RE: Planning Application P15-298 - Information Required - Dwelling & 6 bay two storey shed (8 x 24m, apex 8.55m) at 637 Relbia Road, Relbia
Attachments: LN14379L001 REP 33P Rev01.pdf; 637 Relbia Road, Relbia TAS 7258.pdf; Form 35B - 643 Relbia Road.pdf; Loading Certificate - 643 Relbia Road.pdf; OSDS Dwg - 643 Relbia Road.pdf; OSDS Report - 643 Relbia Road.pdf; Form 3a - 643 Relbia Road.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Registered

Good Morning Erin

I have got together all the additional information that you requested for our planning application and have listed below or attached that information.

- CORRECTED PLANS Please also find attached the amended site plan stating correct size of shed and dimensions of shed.

- COST OF CONSTRUCTION As stated to you it was our intention to finalise the amount once receiving our quotes. Though you have a much larger figure for cost of construction, myself and my son will be very involved in this build. We already have a bank pre-approval and we expect the build to not exceed $550,000. Just let us know if you want us to pay that excess on the $250,000.

- DESCRIPTION OF USE It is the shed I already have/own. It has some Tasmanian history to it as it used to be the Catholic school structure in Rosebery which is why I am wanting to put it to use here. I still have five children living with me, three of which have drivers licences and vehicles which is why there is a need for such a large garage. The shed does have a mezzanine but at this stage I don't have a use for that. To keep the costs down it is much cheaper to use this shed as I already own it. It was our original intention to use the shed frame in our house build but our builder advised us it would make the build more expensive.

- EXISTING SHIPPING CONTAINERS Attached is Ian Abernethy's amended report stating that the containers are in place and remaining.

- WWTS DESIGN REPORT Please find attached all documentation to support onsite sewerage.

- ADJOINING PROPERTY NAMES Names are now removed.

Regards
Andrew Shepherdson

From: Erin Boer [mailto:erin.boer@nmc.tas.gov.au]
Sent: Friday, 23 October 2015 5:31 PM
To: sheps8email@gmail.com
Subject: Planning Application P15-298 - Information Required - Dwelling & 6 bay two storey shed (8 x 24m, apex 8.55m) at 637 Relbia Road, Relbia

Please see attached letter.

Kind Regards

Erin Boer

From: Shepherdsons <sheps8email@gmail.com>
Sent: Friday, 30 October 2015 7:04 AM
To: Erin Boer
Subject: (DWS Doc No 851372) RE: 2 Stage House Build - 637 Relbia Road

Follow Up Flag: Follow up
Flag Status: Completed

Dear Erin

I am just asking your advice if when we submit the house for building approval there is a possibility that we may have to submit the house as "two-stages". The main reason this would be is for the dollars we can borrow against the land compared to valuation. So a way around that is if the first part is built the value of the land has improved therefore we can continue on with stage two. One, is that possible and does it need to be noted now. Ian Abernethy's thinking is that it does not need to be as it is just an approval for the house. Could you just give me your thoughts on that.

Regards
Andrew Shepherdson

Our ref: 202900.13; P15-298; AJ & LM Shepherdson Pty Ltd
Enquiries: Erin Boer

NORTHERN MIDLANDS COUNCIL

11th November 2015

AJ & LM Shepherdson Pty Ltd
637 Relbia Road
RELBIA 7258
via email: sheps8email@gmail.com

Dear Mr & Mrs Shepherdson

Planning Application P15-298 - Information Required
Dwelling & 6 bay two storey shed (6 x 24m, apex 8.05m) - vary setbacks in rural resource zone at 637 Relbia Road, Relbia

Receipt is acknowledged of the abovementioned application and further information, which has been reviewed by Council's Planning Officers. The following information is required to allow consideration of your application under the *Northern Midlands Interim Planning Scheme 2013*:

- **Cost of construction**

  Planning application fees are charged at 0.3% for the cost of construction over $300,000. As you have stated the cost of construction will be approximately $550,000 - planning application fees totalling **$750** (250,000 x 0.3%) are due. Please note that if the cost of construction differs at building application stage, a planning adjustment fee may apply.

- **Staging plan and timelines**

  As you have indicated that the proposal will be undertaken in stages, please provide a plan indicating which works will form part of each stage and a timeline of when these works will occur.

- **Site Plan to show all existing buildings**

  It is noted that the shipping containers, approved under P14-048 are located on site. Please ensure that these shipping containers, in addition to any other existing buildings on site, are shown on the site plan.

Therefore, in accordance with Section 54 of the *Land Use Planning and Approvals Act* 1993, the statutory period for processing the application will not recommence until the requested information has been supplied to the satisfaction of the Planning Authority. It is a requirement of the Planning Authority that all correspondence, if emailed, is sent to Planning@nmc.tas.gov.au and referenced with the planning application number P15-298. If you have any queries, please contact Council's Planning Section on 6397 7301, or e-mail Planning@nmc.tas.gov.au.

Yours sincerely

Erin Boer
PLANNING OFFICER

Copy: Ian Abernethy (as per owner's request)
via email: ian.abernethy@hotmail.com

Erin Boer

From: Ian Abernethy <ian.abernethy@hotmail.com>
Sent: Thursday, 12 November 2015 8:26 PM
To: Erin Boer
Subject: Sheppardson Relbia Road
Attachments: 637 Relbia Road, Relbia TAS 7258.pdf; LN14379L001 REP 33P Rev01.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Registered

Hi Erin,

Here is the amended plan and the planning report showing the staging of the development with timelines explained in the report. Other than fees I think this covers the RFI – don't know about the fees.

IAN

ATTACHMENT C

Jan Cunningham

From: Judy and John <jbowman8@bigpond.com>
Sent: Tuesday, 8 December 2015 4:41 PM
To: NMC Planning
Subject: Development Application P15-298 637 Relbia Road, Relbia

8 December 2015

General Manager
Northern Midlands Council
13 Smith Street
Longford, Tas 7301

Dear Sir

Subject: Development Application P15-298 637/643 Relbia Road, Relbia, Tasmania

We own and live on the property at 645 Relbia Road. We are neighbours of the applicant's, sharing a common boundary.

The application proposes three developments – a dwelling, a new shed and a 'previously approved shed'. We wish to comment on the three.

Our first comment relates to the new shed. A 24m, two-storey shed, in that location, only 19.5m from our boundary, would be obtrusive and oppressive. We feel it would have an adverse, visual impact on us, as neighbours, as it would present as a very high, solid brick wall (D.S. p1 b). In no way would it "complement the character of the surrounding landscape" (D.S. p1 a).

Our second comment is relevant to the repositioning of the 'previously approved shed'. The Planning Report indicates that this shed, called the machinery shed, will be relocated to the north of the site of the former illegal small sheds, however, the Site Plan shows the existing shed remaining in its current position. It is unclear what is proposed here. If the shed **is** to be relocated, what will be the future use of the concrete slab on which the shed currently stands?

Our third comment concerns the proposed dwelling. Although the height of this house is above Council's Developmental Standards, and only 33m from the boundary, we acknowledge that, because of the topography of the land, its position is reasonable. It couldn't be moved any further away. We expect that the construction of this dwelling will result in the removal of the caravan and annex from the boundary, as it will no longer be used as their dwelling. Neighbours living on the boundary has had its difficulties!

Yours sincerely,

John and Judy Bowman
645 Relbia Road
Relbia, Tasmania 7258

03.63918572

Jan Cunningham

From: David Headlam <davidheadlam@robertsltd.com.au>
Sent: Thursday, 10 December 2015 2:29 PM
To: NMC Planning
Subject: Submission to planning application p15-298 637 Relbia Road

Categories: registered

Submission to the above Planning Application
In discussion with the Planning Department (Erin) today I am aware that the period for Public submission has closed but request that my submission is considered as additional to the other submissions that have been received when consideration is given to this planning application.

The application is a discrectionary application on 3 grounds
Construction of a residence on Rural zoning within the attenuation area of the BIS quarry .....not opposed by this submission.
Variation of side setbacks for the construction of a shed .....opposed
Variation of height of construction of both residence and shed .....opposed

The site on which these proposed new constructions will take place is the MOST prominent location in the Relbia valley (being on a high visability high point with line of sight as far as St Leonards) and will be seen from Caledonia Drive , Relbia road and across the valley from Blessington road and above from White Hills road .... and on that basis every effort should be made by the applicant to limit the height of their construction .A recently constructed dwelling on the corner of Relbia Road and Glenwood Road (some 3 kilometres from this site but clearly viewed from this site) is an example of inappropriate height of a dwelling dominating the skyline and being entirely inappropriate for the general Rural amenity of the area. This section of Relbia is now a very popular Tourist route with a lot of visitations from Evandale to Joseph Chromy and with expansion potential with additional wine plantings expected and a nearby Brewery anticipating a cellar door.
The general Rural amenity needs protecting from over height constructions and the application should be restricted to the height stipulated within the Northern Midlands scheme.

The application is for a 24 metre 2 storey shed to constructed closer than the permitted distance to the southern side boundary. This will adversely impact on the ajoining property and has potential to devalue the property due to the reduced privacy . As a Real Estate professional it would be my view that the motivation for people to live on small holdings in Rural areas is to enjoy privacy and separation from the activities of their neighbours. It is primarily for this reason that setback distances are in the planning scheme and it is not appropriate to vary them in this instance , particularly given the size and height of the proposed "shed".
The footprint of the shed is questionable as the applicant has argued that the property has limited Agricultural value but has applied to build a very substantial 2 story shed on the site . Given that the property has an approved Colourbond single story shed (estimated to be 6x 18 m) and approval for 4 shipping containers then it is hard to justify such a large shed as it would seem that for a property of marginal Agricultural value it already has significant infrastructure.These are also closer than the permitted sidesetbacks.
A large shed so close to a side boundary could be potentially be used for noisy activities (given that the application is for a 2 story shed) that will severely impact on the ajoining property owner , now and in the future , for quiet enjoyment of their own property. If variation of the side setbacks is approved then it will open the way for potential conflict between property owners well into the future and this will be a drain on Council resources.

The Council planning scheme is a blueprint that needs to be largely adhered to and this application is requesting significant discretionary variations which will impact on the ajoining land holders and the amenity of the Relbia valley and the applicant should be required to give consideration to the impact of their application on the greater area and ensure that in building their own home they do not detract from the values of other properties or the general Rural nature of the greater area.Consideration must be given to the height , location in regard to side setback and the excessive footprint of the application. The Council should also place restrictions on the colour and reflectivity of any future developments on this site because of the highly visible nature of the site and the applicant should also be required to have a landscape plan in place before construction commences.

Please give this submission due consideration and included in any discussion either within the Planning Department and /or when presented to Council.

Yours
David Headlam

644 Relbia Road
Relbia

Kind regards

David G. Headlam BSc, DipProp
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RESPONSE TO REPRESENTATION FOR

DEVELOPMENT APPLICATION P15-298—637 RELBIA ROAD

We do respect our neighbour's right to make comment on our proposal. We also have some right to respond to the issues raised which we have set out over the page. The main issues seem to be the shed and the height of the new dwelling and shed. Regarding these issues our response is written underneath each of their comments in red.

Could we just start by saying that we too could say our neighbour's sheds have an adverse and visual impact on us as their neighbours. One of their sheds is approximately 6m from the boundary fence and the other is right on the boundary, however this should not be the issue. The issue is that we both live on rural land, on a narrow flat on the top of a rise. The proposed position for our shed is not near their dwelling but we have deliberately positioned it opposite their sheds. Though we sympathise with the neighbour that over a number of years there has been no dwellings or sheds in these positions that we are seeking permission to build on, we would certainly argue that if these buildings are granted permission, they will definitely have no visual impact on themselves or the surroundings. Can we also note that we have had to start afresh. We have planted trees down the boundary and once they achieve their height all these problems will be negated. Through the use of old, original materials and using the styles of a past period, the proposed buildings on the sides that you will see will replicate many buildings already existing in Tasmania. We are not seeking a precedence on this dwelling regarding height but seeking council's approval to grant the marginal amount over the 8m which is part of the scheme. We have engaged professionals to guide us through this whole process and it was under their guidance in designing a Georgian Style building that ceiling height was a very important part of the design. We are seeking only a marginal amount over the 8m to be able to achieve the design that we have chosen.

Though we find it disappointing that we have had a representation against us, can we also say that it is the only one. There were many people including our other neighbours who had the opportunity to exercise their right to lodge a representation, but did not. It is the opinion from many of our neighbours, that finally something good will be done on 637 Relbia Road and that our design will blend in with many of the existing Relbia dwellings and historical Tasmania.

You will note, as you are probably well aware, we received an approval from the council in the last 12 months for a dwelling on this property. After discussion with this neighbour, considering the proximity of the first dwelling approval to the boundary, we told them if we could raise the capital and build another dwelling we would look at moving to another site further away with a larger dwelling which may help appease the relationship between ourselves and them. We were successful in doing so, hence this application. As you would also be aware this has been a very expensive exercise, and we feel that the design and the repositioning to another site would have helped with the neighbourly relations and been acceptable with council's scheme. With the explanation to the objections on page 2 we would ask that council grant permission as per application.

Andrew & Lyndal Shepherdson

Our first comment relates to the new shed. A 24m, two-storey shed, in that location, only 19.5m from our boundary, would be obtrusive and oppressive. We feel it would have an adverse, visual impact on us, as neighbours, as it would present as a very high, solid brick wall (D.S. p1 b). In no way would it "complement the character of the surrounding landscape" (D.S. p1 a).

In response to comment one (regarding the shed) can we say that there are many large brick sheds from the Georgian period that are very attractive to the eye and fit into the landscape of Tasmania very well. There are also many sheds in Tasmania, in rural settings, that are this size and even larger. Our town planner that we engaged had informed us that under the Rural Resource zone we could go to a height of 12m if necessary. There may be some discrepancy to that but it is true that you can have sheds in rural areas up to 12m and we would claim compliance in regard to height. We do live in a rural area and it is our intention to make the majority of this shed for rural purposes. In regards to (an adverse visual impact) we find that very hard to understand. These comments which come from our direct neighbour who has no direct vision from their house to the said shed. It is true, as they walk down to their back shed along our boundary, that they will be able to see through a section and see the shed but that does not make it unacceptable in its location. May I also say that a condition of an existing approval that we have on this property, was to plant a buffer area along the boundary of this neighbour and those trees have been planted and once established there will be absolutely no line of sight of this shed from their dwelling/shed area. Can we note that it is only 5cm above the 8m allowance. The scheme does not say that you cannot have above this height but as it was an already built historical shed, recovered from the Posebury Catholic School, and that was its original height, we are therefore seeking Council's permission to gain that extra height, which will be unrecognisable to the eye. As with the dwelling which is also asking for approval for above 8m, as stated in the report, with a distance of 180m from the road, this extra height will not be noticed considering also that the land is lower then the road, therefore not seeming to be obtrusive. It is to be also noted that there are very few positions from Relbia Road that you can sight this area, the reason being that the positioning of other neighbours trees and the Hawthorn Hedge makes seeing through very difficult. Can we finish in answering this point in saying that it would be unfair to say that Georgian type buildings have an adverse visual impact and do not compliment the character of the surrounding landscape. We would argue that in Tasmania especially, they enhance the surrounding landscape.

Our second comment is relevant to the repositioning of the 'previously approved shed'. The Planning Report indicates that this shed, called the machinery shed, will be relocated to the north of the site of the former illegal small sheds, however, the Site Plan shows the existing shed remaining in its current position. It is unclear what is proposed here. If the shed is to be relocated, what will be the future use of the concrete slab on which the shed currently stands?

With some clarification here, we note that the existing shed did not show as previous approved new dwelling. It is our intention to maintain that existing approval for relocation of shed and proposed new dwelling which was council approved in 2015.

Our third comment concerns the proposed dwelling. Although the height of this house is above Council's Developmental Standards, and only 33m from the boundary, we acknowledge that, because of the topography of the land, its position is reasonable. It couldn't be moved any further away. We expect that the construction of this dwelling will result in the removal of the caravan and annex from the boundary, as it will no longer be used as their dwelling.

Though there does not seem to be opposition to the proposed dwelling as such, can we make a small comment that it is our endeavour to do justice to this building. We have purchased red bricks from a demolished colonial house built in 1910 for both the house and shed. We just want to assure you of the authenticity of this building and how it will look against the landscape. We note that the representation is not against this dwelling but we wanted to make clear that this house will look in many ways like an original Georgian homestead.

As per our previous approval that once the dwelling was completed the caravan and annex would be demolished.