

**PLAN 1**

**PLANNING APPLICATION P17-058**

**12 PATON STREET, LONGFORD**

**ATTACHMENTS**

- A Application & plans
- B Response from referral agency
- C Representation
- D Planning report

The General Manager  
PO Box 156  
LONGFORD TAS 7301

Date 27.3.17

I, Stevan Green wish to make a representation to planning application number:  
P17-058 on the following grounds:

- Natural waterway, back corner
- Blocking views, boxing in my house
- .....

Yours sincerely

[Signature]

NORTHERN MIDLANDS COUN	
Location	
File No.	
Property	
Attachments	
RECD 29 MAR 17	
GM	
P&DM	
CSM	
E&DM	
WM	
PLT	

Email: janeg@anglicare-tas-org.au  
Address: 4a Baton Street  
Contact Number: 0438 685112

## Submission to Planning Authority Notice

Council Planning Permit No.	P17-058	Council notice date	14/03/2017
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2017/00337-NMC	Date of response	14/03/2017
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
<b>Response issued to</b>			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
<b>Development details</b>			
Address	12 PATON ST, LONGFORD	Property ID (PID)	3358817
Description of development	Multiple Dwellings x 2		
<b>Schedule of drawings/documents</b>			
	Prepared by	Drawing/document No.	Revision No.
	Kel Clark	08	
			Date of Issue
			March 2017
<b>Conditions</b>			
<b>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</b>			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
<b>CONNECTIONS, METERING &amp; BACKFLOW</b>			
1. A suitably sized water supply with metered connections / sewerage system and connections to each dwelling unit must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
3. Prior to commencing construction / use of the development, a boundary backflow prevention device and water meter must be installed, to the satisfaction of TasWater.			
<b>DEVELOPMENT ASSESSMENT FEES</b>			
4. The applicant or landowner as the case may be, must pay a development assessment fee to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:			
a. \$201.93 for development assessment.			
The payment is required within 30 days of the issue of an invoice by TasWater.			



#### Advice

For information on TasWater development standards, please visit  
<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

#### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### Authorised by

A handwritten signature in black ink, appearing to read "Jason Taylor".

**Jason Taylor**  
 Development Assessment Manager

#### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



# UNIT DEVELOPMENT HEGER CONSTRUCTIONS P/L UNIT 2, LOT 3 (16) PATON STREET LONGFORD

TITLE VOLUME - 172712 FOLIO - 3  
PID 3358809

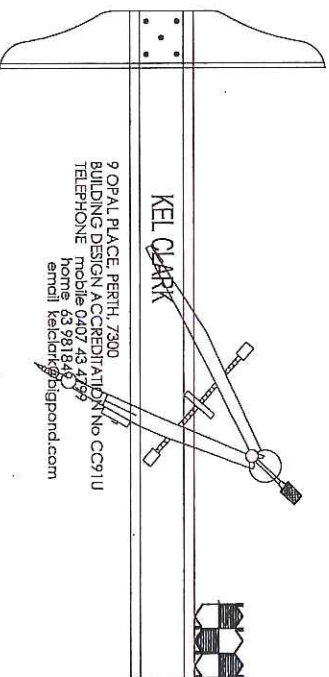
**DRAWING LIST**

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SHEET 4	ELEVATIONS	1:100
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SHEET 21	BAT COMPLIANCE	

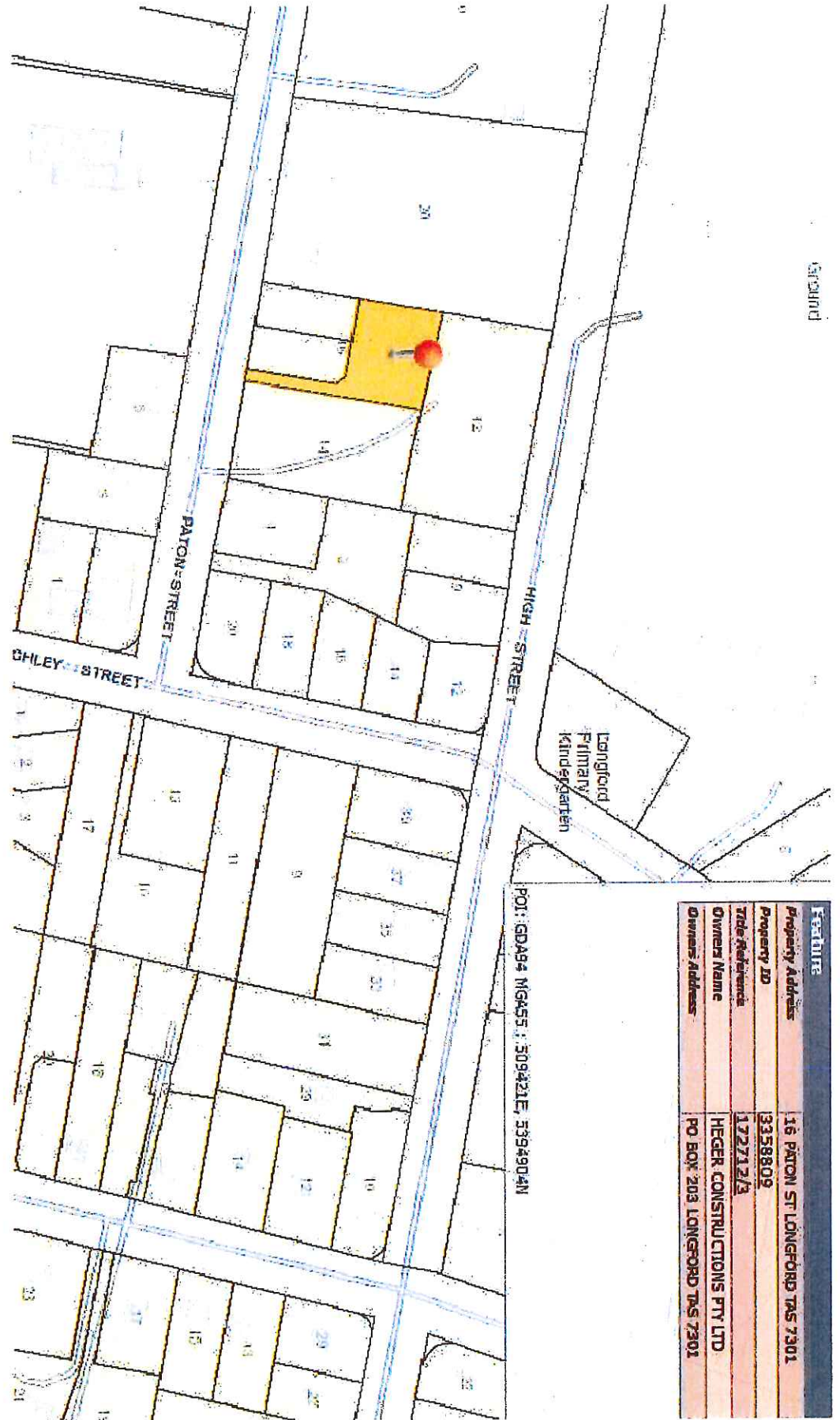
<b>AREA</b>	
DWELLING	117sqm
GARAGE	22.1sqm
DECK	17.1sqm
LOT SIZE	367sqm (approx site area unit 2)

BUSHFIRE RISK ASSESSMENT = BAL LOW  
REFER TO REPORT No RGA-8347 (REBECCA GREEN & ASSOC)  
SITE CLASSIFICATION = H1  
REFER TO REPORT No TG160035 (TASMAN GEOTECHNICS)  
CLIMATE ZONE = 7

DESIGN WIND SPEED = N2  
REFER TO REPORT No TG160035 (TASMAN GEOTECHNICS)  
THERMAL PERFORMANCE = 6.0 STARS  
REFER TO REPORT BY NRG EFFICIENT HOMES



9 OPAL PLACE, PERTH, 7300  
BUILDING DESIGN & CREDIT ADVISORS  
TELEPHONE mobile 08 9418 1847  
email kelclark@bigpond.com



Feature	
Property Address	16 PATON ST LONGFORD TAS 7301
Property ID	3358809
Title Reference	122712/3
Owners Name	HEGER CONSTRUCTIONS PTY LTD
Owners Address	PO BOX 203 LONGFORD TAS 7301

POI: GDAB4 MG455 : 509421E, 5394904N

site location



led dmk  
 Licensed Surveyor  
 Accredited Building Practitioner by CBM  
 10 Spence Street, TAS  
 Hobart, TAS 7000  
 mobile: 087 424399  
 email: led@ledmk.com.au

HEGER CONSTRUCTIONS PTY LTD  
 LOT 3 (1/6) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 date: MARCH 2017  
 sheet: 01

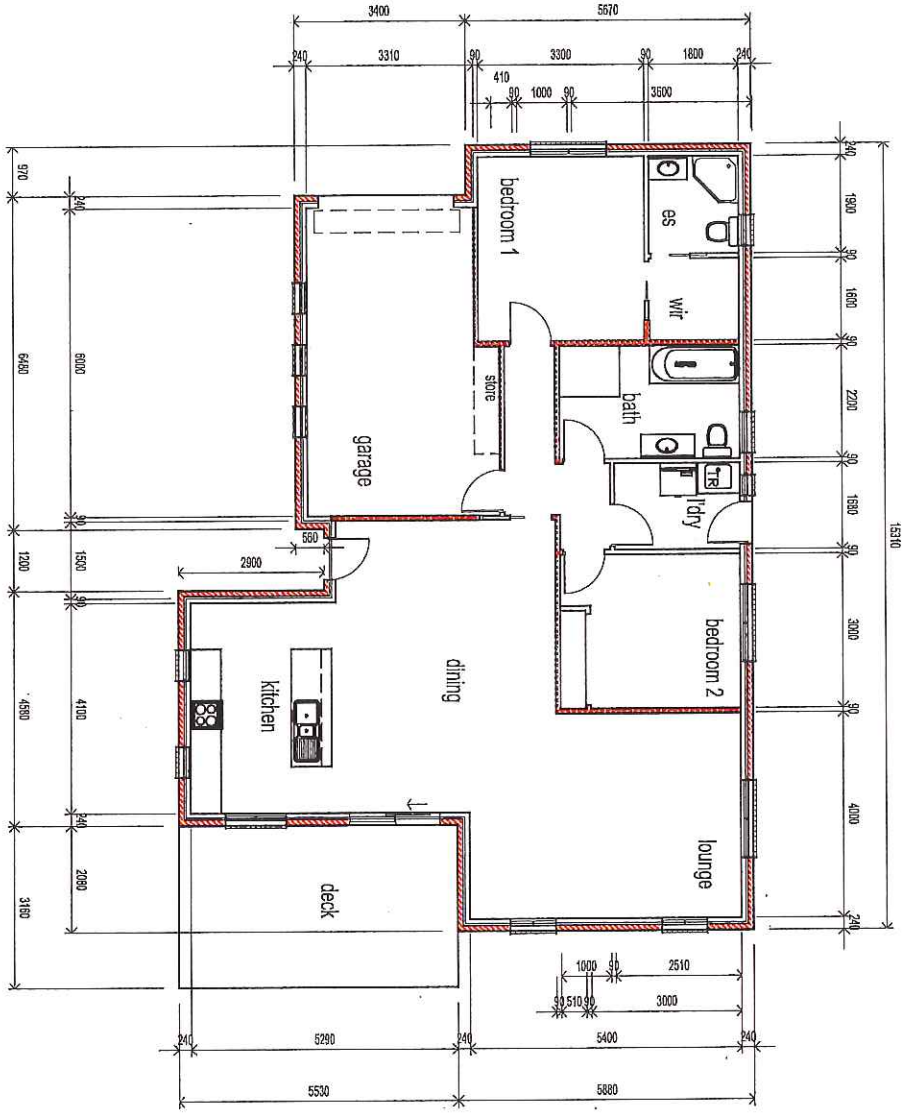



  
 Kel Clark  
 Building Services  
 Accredited Building Practitioner No. CC31  
 9 Duval Parade, Parkville, VIC 3066  
 Telephone: 03 9358 1888  
 Email: info@kelclark.com.au

156 HEGER CONSTRUCTIONS PT  
 LOT 3 (1/6) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 Scale: 1:400 Date: MARCH 2017 Drawing No: 02

site plan





LEGEND

- brick veneer walls
- 90th stud walls with 10mm plasterboard lining throughout (wet areas plasterboard to bathrooms and laundry walls)
- new levels
- C** carpet as selected by client with airstep stepmax or equi foam underlay
- Ch** ceramic floor tiles selected by client
- To** timber overlay selected by client
- Conc** concrete floor finish
- Cj** control joint
- DP** downpipe
- MB** meter box

**Kel Clark**  
 Building Designer  
 Accredited Building Practitioner No. C231  
 9 Oak Park, Park, 720  
 telephone 0375 9181  
 mobile 0411 9123  
 email kel@kelclark.com

by **HEGER CONSTRUCTIONS, PL**  
 LOT 3 (10) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 scale: 1:100 date: MARCH 2017 drawing no: 03

floor plan



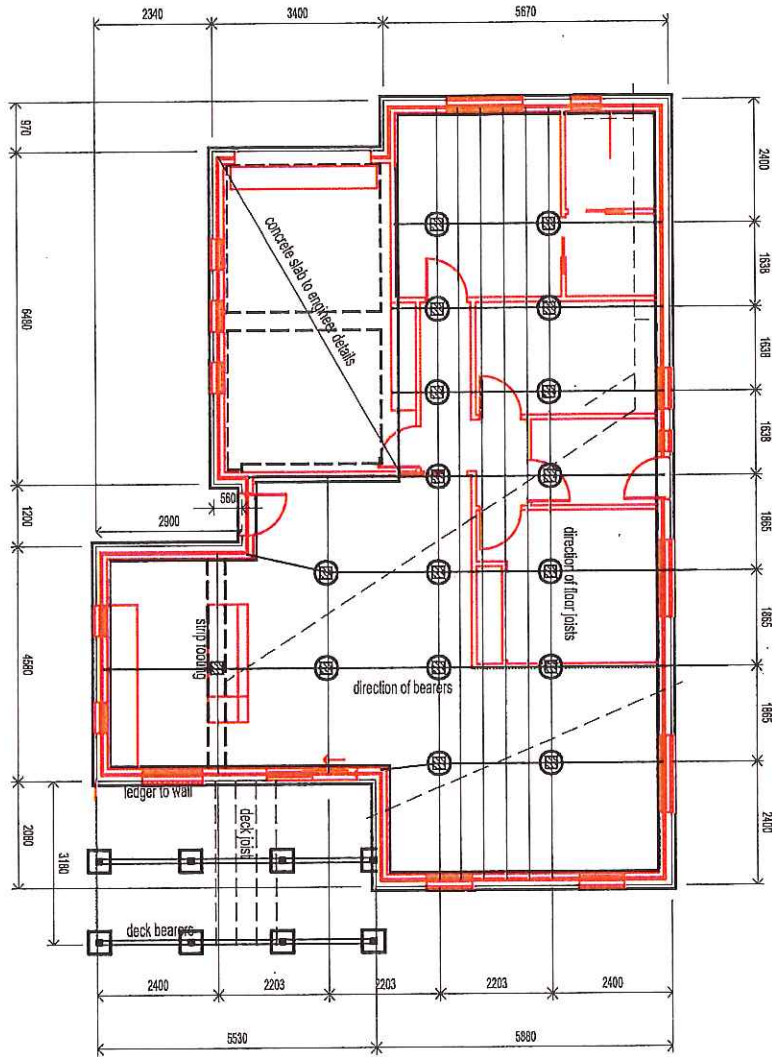


elevations

**Idi Clark**  
 Building Designer  
 Accredited Building Practitioner No. 0291  
 5 Oval Park Park, 789  
 Melbourne, VIC 3182  
 mobile: 0400 241193  
 email: [idei@idiclarke.com.au](mailto:idei@idiclarke.com.au)

**MR. HEGGER CONSTRUCTIONS PT. LTD.**  
 LOT 3 (19) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)

scale: 1:100 date: MARCH 2017 drawing no: 04

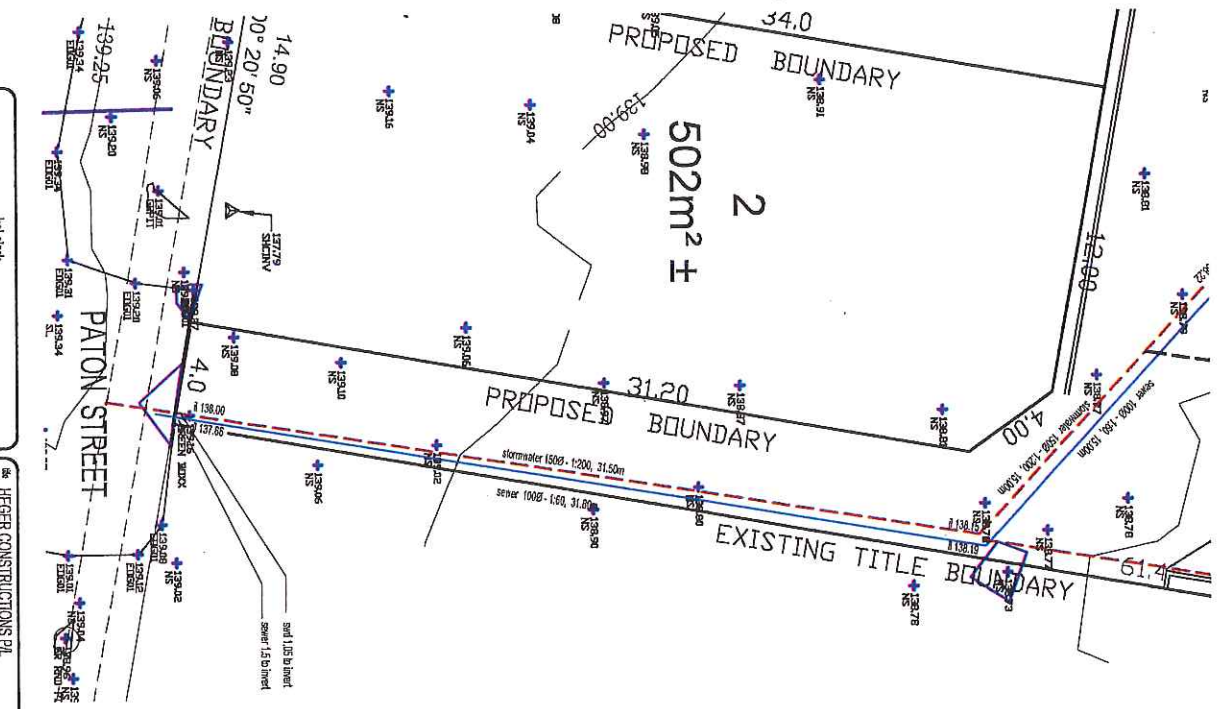
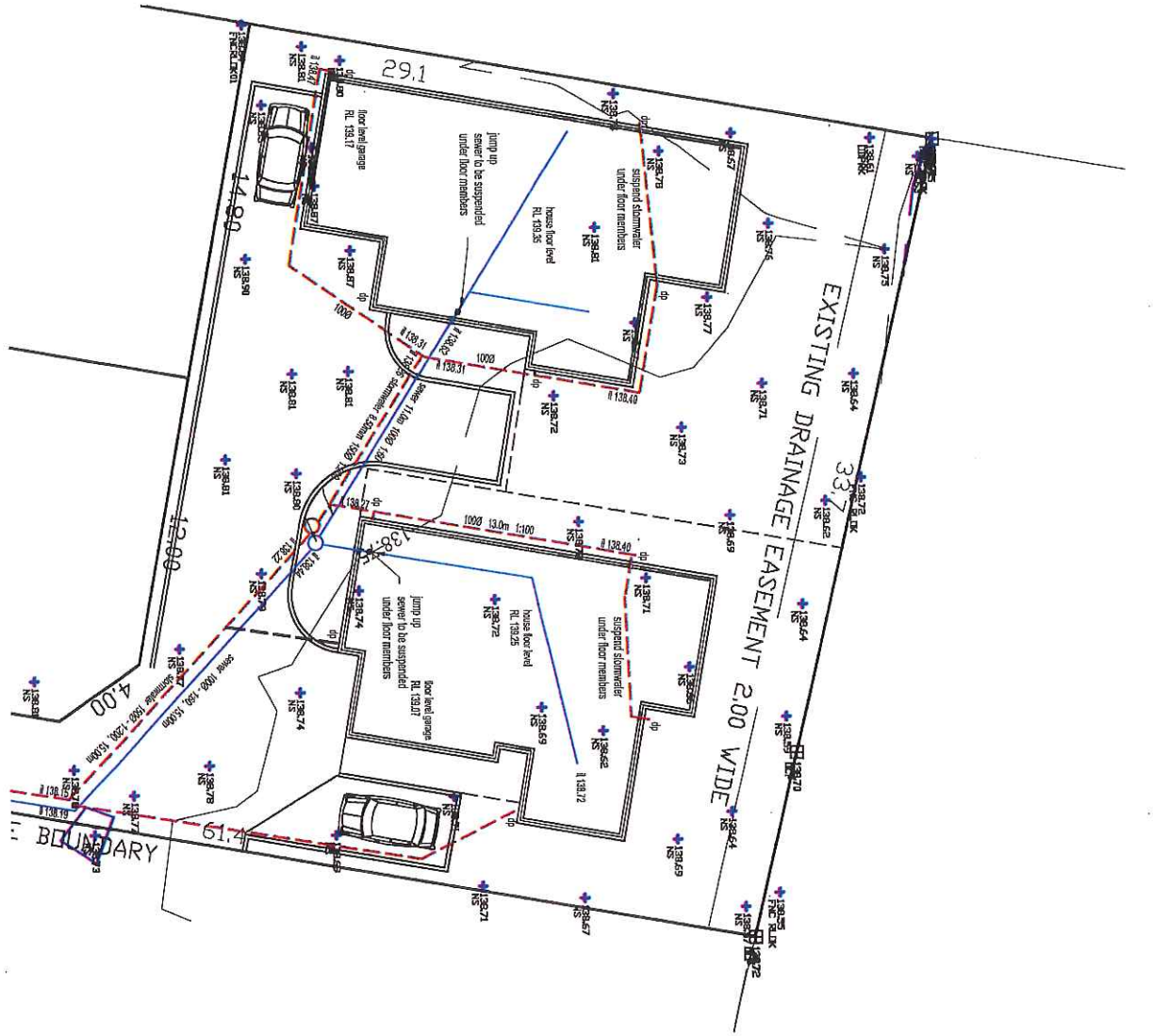



**I&J Deck**  
 Builders  
 Accredited Building Practitioner No. 0281  
 9 Oval Street, Traralgon  
 Victoria 3848  
 mobile: 0427 421189  
 email: iandj@ipr.com.au

by **HEGER CONSTRUCTIONS PT LTD**  
 LOT 3 (19) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)

scale: 1:100 date: MARCH 2017 drawing no: 07

setout plan

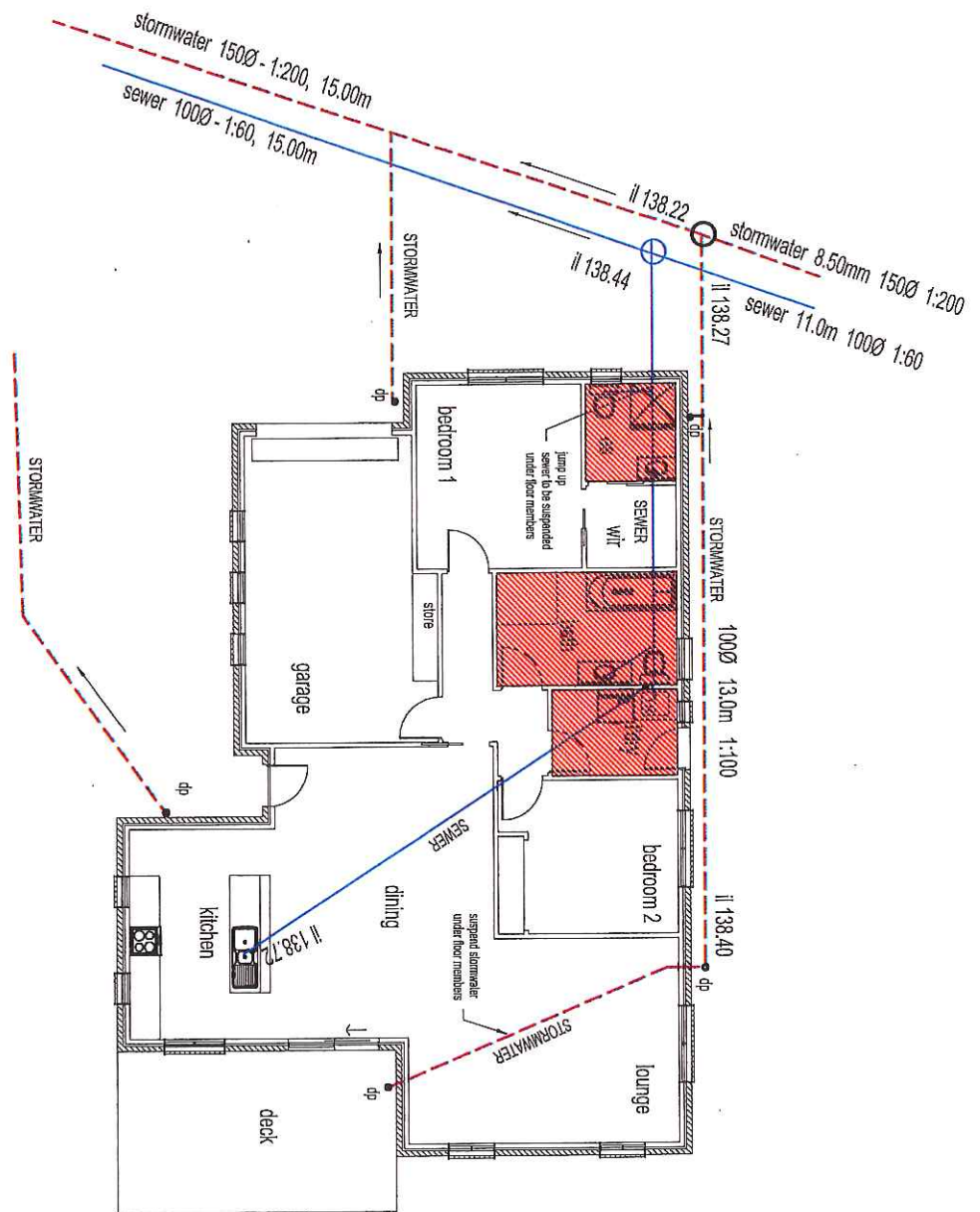


Kai Clark  
 Building Designer  
 Accredited Building Practitioner No CC31  
 9 Opal Place, Pukekohe  
 Mobile: 021 638 186  
 email: kai@kaiplanning.com

HEGER CONSTRUCTIONS PT LTD  
 LOT 3 (10) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 scale: 1:100 date: MARCH 2017 drawing: 08

site plumbing





sewer
   
 stormwater
   
 shaded area denotes wet area sealing refer to following drawings for details and notes

**plumbing notes:**
  
 all drainage work shown is provisional only and is subject to amendment to comply with the requirements of the local authorities.
   
 all work is to comply with the requirements of as/nzs 3500 & the faststream plumbing code, and must be carried out by a licensed tradesman only.

**legend of diameters**
  
 trough = 50mm
   
 sink = 50mm
   
 bath = 40mm
   
 basin = 40mm
   
 shower = 50mm
   
 wc = 100mm
   
 sewer = 100mm dia. upvc
   
 0/9 overflow relief gully
   
 0/9 vent
   
 dp downpipe stormwater
   
 stormwater = 100mm dia upvc

The installation of water pipe lines, installed with the product, HS 311 reheat, will require the main cold water line to be dn. 25mm with dn. 16mm branches & hot water main lines to be dn. 20mm with dn. 16mm branches to fixtures, all other products used are to comply with the requirements of as/nzs 3500.5:2000 & as/nzs 3500.1:2003

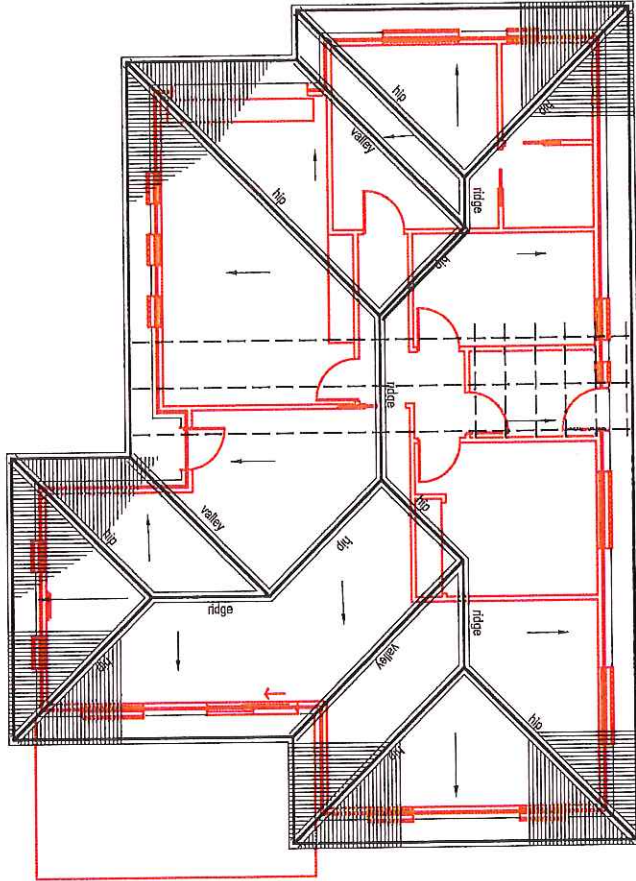
hot water installation shall deliver hot water to all sanitary fixtures used for personal hygiene at 50deg c, kitchen sink & laundry shall be 60deg c to comply with requirements of as/nzs 3500.5:2000 section 3.4

Igal deak
   
 Sales & Marketing
   
 Accredited Building Practitioner No CCPI
   
 3 Spectral Park, 700
   
 Adelaide, SA 5000
   
 mobile: 0817 41719
   
 email: igal@heger.com.au

the
   
**HEGER CONSTRUCTIONS P/L**
  
 LOT 3 (4/8) PATTON STREET
   
 LONGFORD
   
 UNIT DEVELOPMENT (UNIT 2)

scale 1:100
   
 date MARCH 2017
   
 drawing no 08





**roof framing:**  
 custom cut or similar approved steel roofing color/brand colour to selection, over 7.5:12 NCP12  
 rafter battens at 600 c/c and approved roof trusses installed strictly in accordance with  
 manufacturers recommendations, fix busses to top plates with top-grip connectors, provide  
 diagonal bracing fixed to top chords at a max angle of 30° to ridge, anchor strap bracing with 8  
 no. 30x1.5 nails into double top plates, wind bracing to comply with NCC 2018

**downpipes:**  
 downpipes to be colour pvc painted to match gutters, fix with wall brackets @  
 1200cc beginning at downpipe elbow, maximum centers for gutters to be  
 1200cc and located so as to comply with Part 3.5.2.5 of the BCA

**fascia**  
 color/brand preformed metal fascia and gullies finished  
 in accordance with manufacturers instructions  
 colour to match the roof.

**windows**  
 color/brand aluminium window frames, window sashes double glazing use work  
 reveals and frame sticks on edge external side of frame and finishing to  
 manufacturers recommendations refer as 7288 & hca-2018

**cappings & flashings:** flashings necessary to ensure the integrity of the roof  
 structure against water penetration, install flashings to roof vents, flues etc.  
 alternately use 'velcro' or similar fittings to roof penetrations

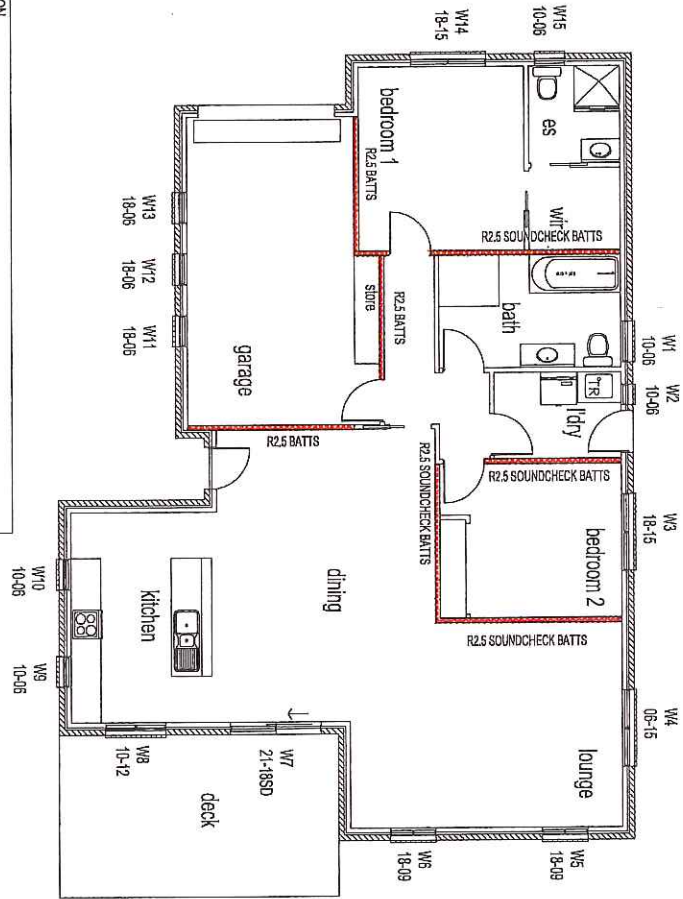
**gutters:**  
 install selected color/brand gutters or as nominated by the owner, lap gutters  
 75mm in the direction of flow, level & seal with an approved silicone sealant,  
 valley gutters to be 450 while eaves/ends fixed to match roof, take 50mm under  
 roof cladding and turn up on both sides, lap 150mm in direction of flow

# roof plan

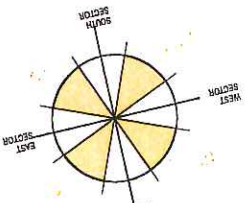
**Kel Clark**  
 Building Designer  
 Accredited Building Practitioner No. C251  
 8 Oval Park, Park, 2100  
 telephone: 6333 186  
 mobile: 0401 610128  
 email: kel@kelclark.com.au

by **HEGER CONSTRUCTIONS PT. LTD.**  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 scale: 1:100 date: MARCH 2017 drawing no: 16

ROOM	AREA	WINDOW No	LIGHT REQUIRED	LIGHT ACHIEVED	VENTILATION REQUIRED	VENTILATION ACHIEVED
LIVING	205m	W4, W5, & W6	2.05m	3.05m	1.05m	2.25m
DINING	22.45m	W7	2.245m	3.78m	1.125m	1.805m
KITCHEN	12.45m	W8, W9, W10	1.245m	2.705m	0.625m	1.955m
GARAGE	21.45m	W1, W2, W3	2.145m	3.245m	1.075m	1.805m
BEDROOM 1	11.855m	W4	1.1855m	2.705m	0.585m	0.725m
ENSUITE	3.45m	W5	0.345m	0.805m	0.175m	0.805m
BATHROOM	7.905m	W1	0.805m	0.805m	0.405m	0.805m
LAUNDRY	2.45m	W2	0.245m	0.405m	0.125m	0.405m
BEDROOM 2	10.85m	W3	1.085m	2.705m	0.545m	0.755m



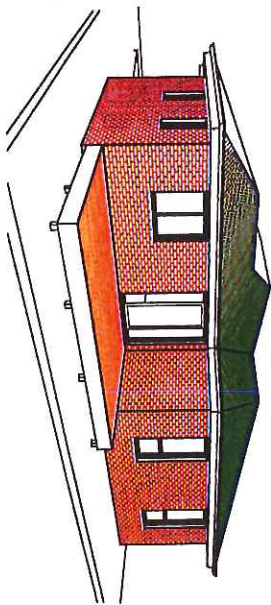
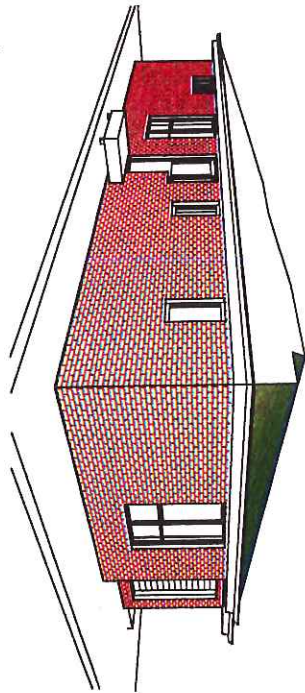
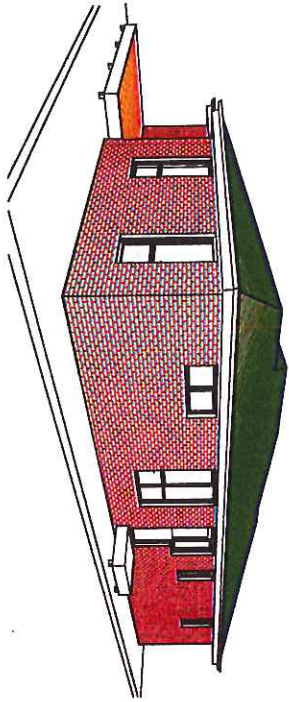
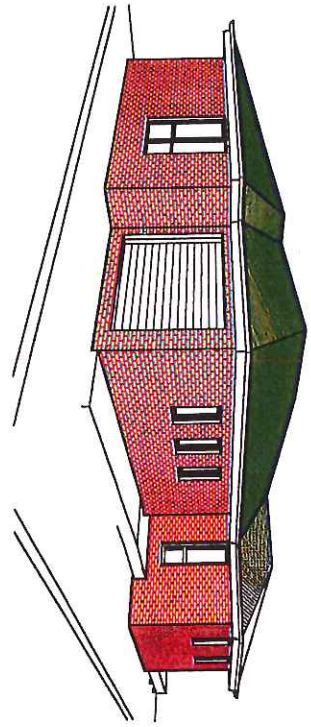
**WINDOW DETAILS**  
 AWNING SYSTEM  
 DOUBLE GLAZED, 4700k, U VALUE 4.3  
 AREA = 138.95SM



- ENERGY EFFICIENCY:**  
 THE ENERGY EFFICIENT MEASURES FOR THIS BUILDING COMPLY WITH THE DERIVED TO COMPLY PROVISIONS IN PART 3.1.2 TO SATISFY PERFORMANCE REQUIREMENT 2.6.1  
 ENERGY EFFICIENT REQUIREMENTS ARE CALCULATED FOR CLIMATE ZONE 7.  
 ALL GLAZING TO REFER TO FIRST FLOOR ENERGY REPORT FOR MINIMUM U & SHGC VALUES  
 \*R VALUES NOTED REPRESENT ADDED INSULATION AND NOT TOTAL R VALUES
- SEALING OF BUILDING:**  
 DENOTES INTERNAL SEALED WALL WITH R2.5 WALL INSULATION WEATHER STRIP ALL ROOF LIGHTS, WINDOWS & DOORS INTO HABITABLE ROOMS & CONDITIONED SPACES.  
 SEAL ALL CONSTRUCTION JOINTS BETWEEN HABITABLE AREAS & THE EXTERNAL FABRIC.  
 EXHAUST FANS, CHIMNEYS & SOME FLUES TO BE SELF CLOSING WITH DAMPERS.
- INSULATION OF SERVICES:**  
 INSULATE ALL HOT WATER PIPING WITHIN BUILDING  
 HOT WATER CYLINDER TO HAVE HEAT TRAP WITH 250mm VERTICAL DROP WITHIN 1m FROM OUTLET & BEFORE FIRST BRANCH.
- BUILDING FABRIC:**  
 EXTERNAL WALLS:  
 - BRICK VENEER CLADDING = R 0.54  
 (USING 90mm STUDS & 10mm PLASTERBOARD)  
 - ENVIRONMENTAL BUILDING MEMBRANE = R 1.02  
 - BRADFORD WALL BATT INSULATION = R 2.50  
 TOTAL R VALUE FOR EXTERNAL WALLS = 4.56  
 REQUIRED AS PER BCA = 2.80
- ROOF:**  
 - METAL SHEET CLADDING = R 0.40  
 (USING BATTERS, BATTENS & 10mm PLASTERBOARD)  
 - VAPOUR PERMEABLE REFLECTIVE SK RINKING (MEDIUM DUTY ANTRON 55) OVER BATTERS = R 1.3  
 - ROOF BATT INSULATION = R 4.5  
 TOTAL R VALUE FOR ROOF = 6.20  
 REQUIRED AS PER BCA = 5.10
- FLOOR (enclosed):**  
 - SHEET FLOORING = R 0.20  
 (USING CARPET OR TILES)  
 - ADDITIONAL BATT INSULATION BRADFORD OPTIMO 70TRK = R2.1  
 TOTAL R VALUE FOR FLOOR = 2.80  
 REQUIRED AS PER BCA = 1.50

**Kel-Dark**  
 Building Glazing  
 Accredited Building Practitioner No. C091  
 504d Price, Park, 200  
 Lakeside C208 949  
 mobile: 507 43792  
 email: kel@kelglazing.com.au

**HEGER CONSTRUCTIONS PT**  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 scale: 1:100 date: MARCH 2017 drawing no: 17



note  
views are conceptual only  
and not to be used for  
construction purposes



**Kel Clark**  
 Building designer  
 Accredited Building Practitioner No. C281  
 9 Quail Place, Park, 200  
 Telephone: 639 1969  
 mobile: 0411 041919  
 email: kel@kelclark.com

for: **HEGER CONSTRUCTIONS PT LTD**  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 2)  
 date: MAR 04 2017  
 drawing No: 20

3D view



# UNIT DEVELOPMENT HEGER CONSTRUCTIONS P/L UNIT 1, LOT 3 (16) PATON STREET LONGFORD

TITLE VOLUME - 172712 FOLIO - 3  
PID - 3358809

**DRAWING LIST**

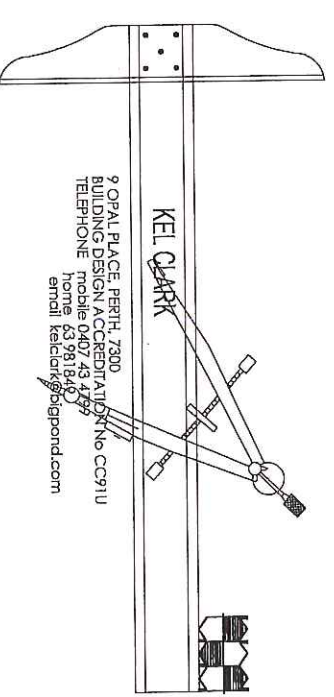
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SHEET 19	WINDOWS SCHEDULE	1:100
SHEET 20	PERSPECTIVE VIEWS	
SHEET 21	BCA COMPLIANCE	

<b>AREA</b>	
DWELLING	132sm
GARAGE	22sm
DECK	14.20sm
LOT SIZE	411sm (approx unit 1 site)

BUSHFIRE RISK ASSESSMENT = BAL LOW  
REFER TO REPORT No RGA-R347 (REBECCA GREEN & ASSOC)  
SITE CLASSIFICATION = H1  
REFER TO REPORT No TG160035 (TASMAN GEOTECHNICS)

CLIMATE ZONE = 7  
DESIGN WIND SPEED = W2  
REFER TO REPORT No TG160035 (TASMAN GEOTECHNICS)

THERMAL PERFORMANCE = 6.0 STARS  
REFER TO REPORT BY NRG EFFICIENT HOMES



9 OPAL PLACE, PERTH, 7300  
BUILDING DESIGN ACCREDITATION No CC911U  
TELEPHONE home 63 981840  
mobile 0407 43 4799  
email kelclark@bigpond.com

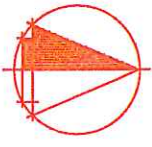


Ground



POI: GDA94 MG45F : 509421E, 5394904M

Feature	
Property Address	16 PATON ST LONGFORD TAS 7301
Property ID	3358809
Title Reference	172712/3
Owner's Name	HEGER CONSTRUCTIONS PTY LTD
Owner's Address	PO BOX 203 LONGFORD TAS 7301



**led clerk**  
 16 Paton Street  
 Longford TAS 7301  
 mobile: 042 042 099  
 email: ledclerk@outlook.com

HEGER CONSTRUCTIONS PTY LTD  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 INTL DEVELOPMENT (UNIT 1)

date: see march 2017  
 sheets: 01

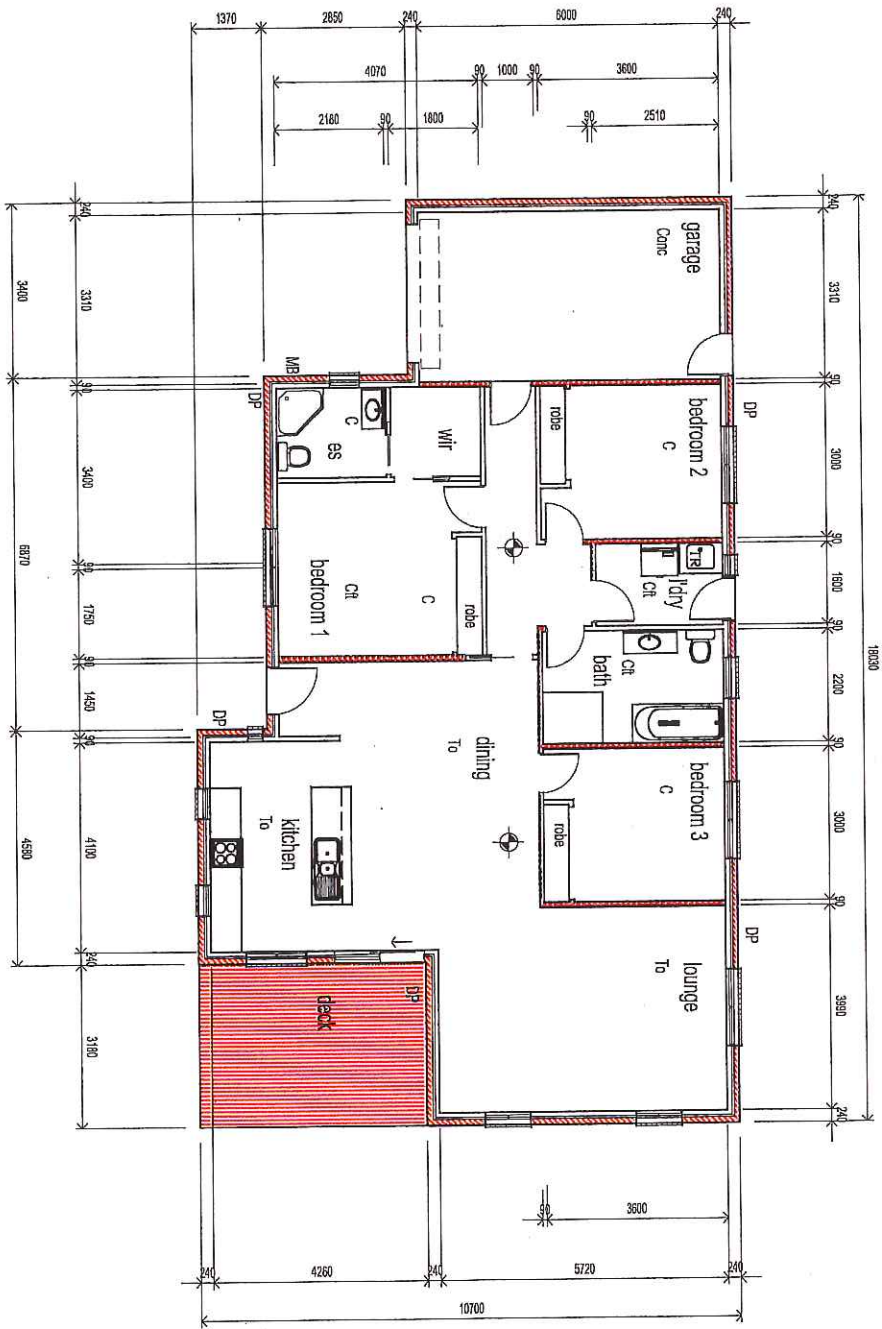
site plan - location



**Kel Clark**  
 Building Designer  
 Accredited Building Practitioner No. C231  
 9 Dal Rye, Park, 700  
 Brisbane 4330 199  
 mobile: 0818 041819  
 email: kel@kelclark.com.au

PREPARED BY: **HEGER CONSTRUCTIONS PT LTD**  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 1)  
 DATE: March 2017  
 SCALE: 1:400  
 DRAWING NO: 02

site plan - overall



- LEGEND**
- brick veneer walls
  - 90th stud walls with 10mm plasterboard lining throughout (wet areas plasterboard to bathrooms and laundry walls)
  - smoke alarms
  - carpet as selected by client with airstep selenax or equivalent underlay
  - ceramic floor tiles selected by client
  - timber overlay selected by client
  - concrete floor finish
  - control joint
  - downpipe
  - meter box



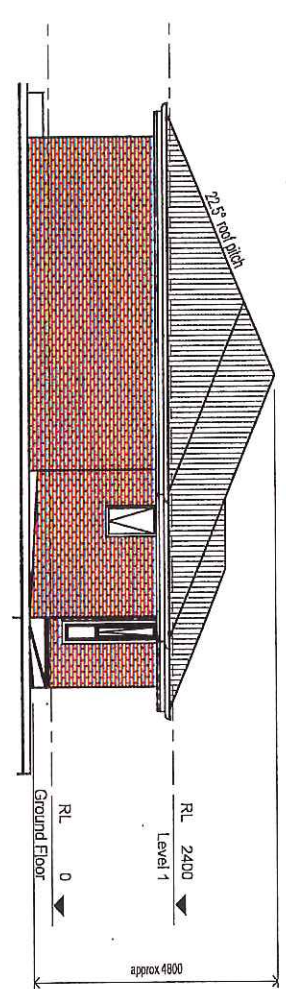
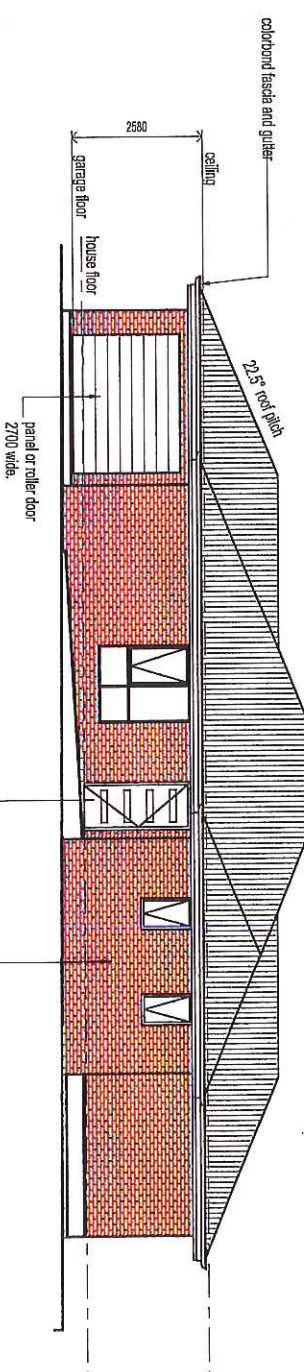
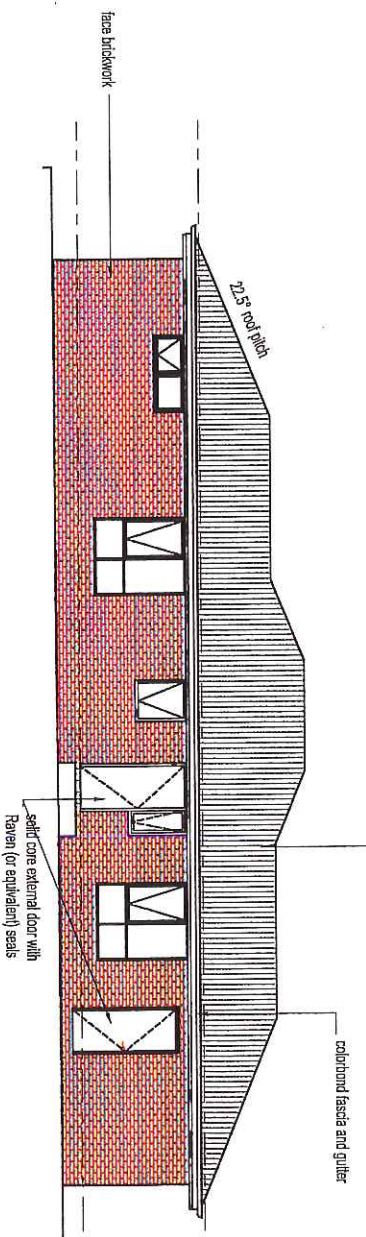
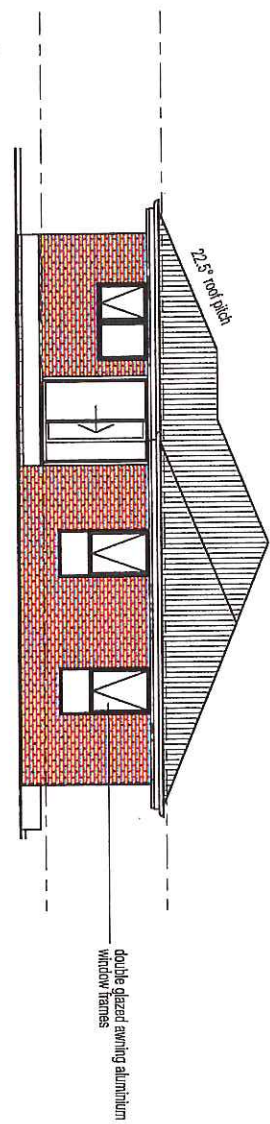
**ksl clark**  
 Building Designer  
 Accredited Building Practitioner No. C291  
 9 Oriel Place, Suite 2100  
 Brisbane QLD 4000  
 mobile: 081 64795  
 email: kslc@kslclark.com

for: **HEGER CONSTRUCTIONS PT LTD**  
 LOT 3 (16) PATON STREET  
 LONGSFORD  
 UNIT DEVELOPMENT (UNIT 1)

scale: 1:100      date: march 2017      drawing no: 03

# floor plan





elevations

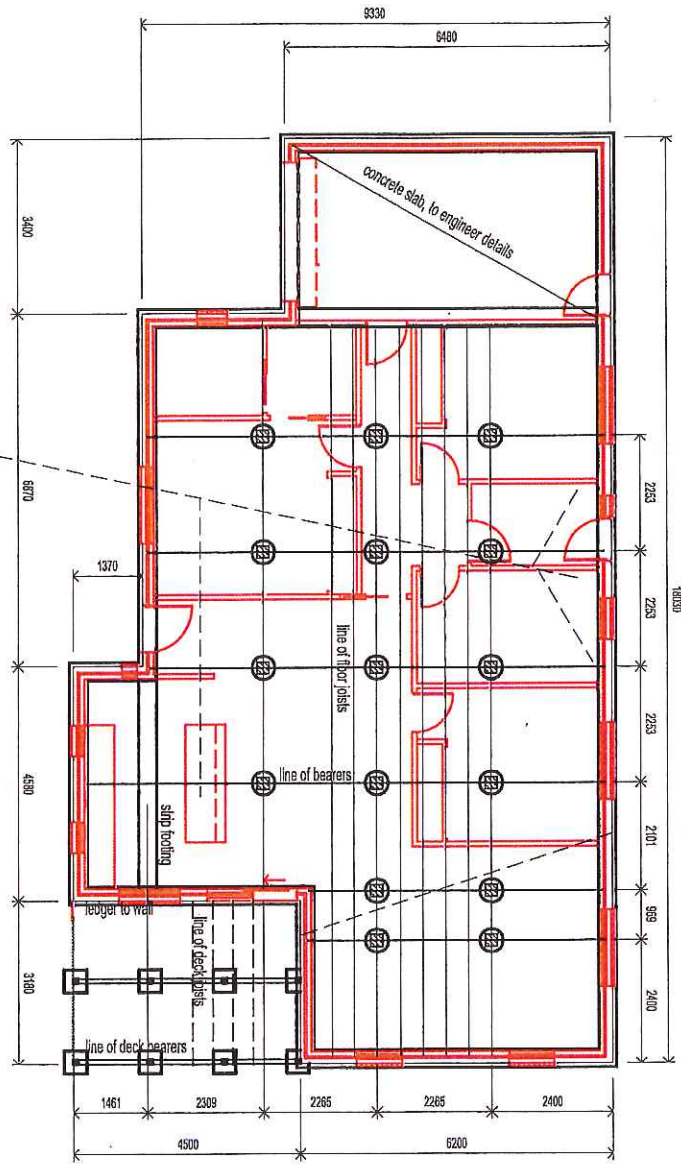


**K&L Clark**  
Building Designer  
Accredited Building Practitioner No C031  
9 Opal Place, Park, 7300  
Hepburn 6388 1936  
mobile 3007 43793  
email kclark@opcon.com

HEGER CONSTRUCTIONS PT.  
LOT 3 (16) PATON STREET  
LONGFORD  
UNIT DEVELOPMENT (UNIT 1)

scale 1:100 date March 2017 drawing 04

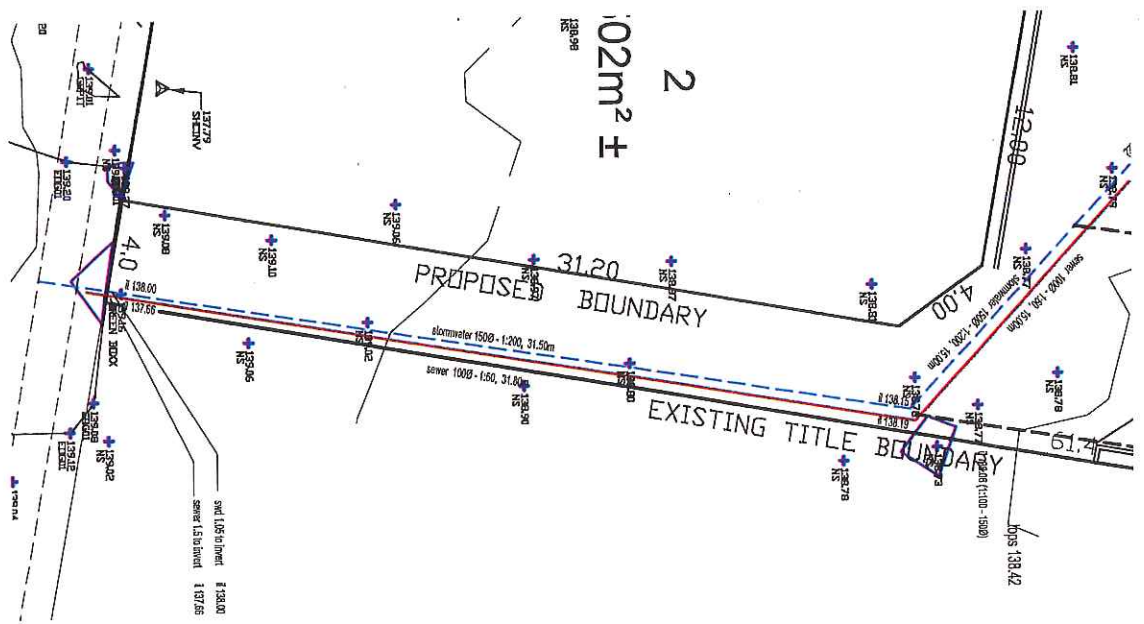
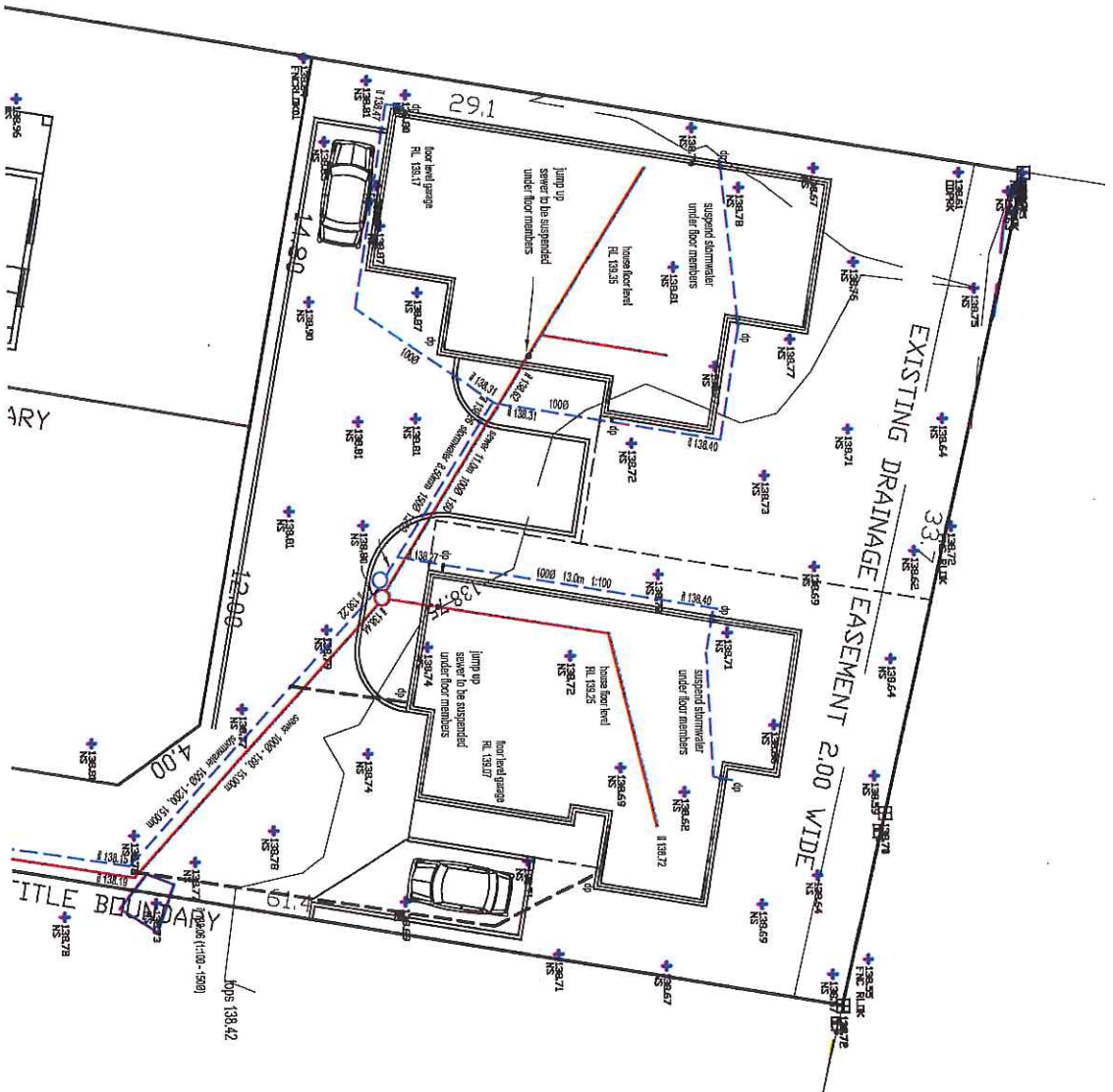




**K&L Clark**  
 Building Designer  
 Accredited Building Practitioner No. 02361  
 8 Doolittle Place, Park, 2300  
 Adelaide, SA 5042  
 mobile: 0871 841439  
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for HEGGER CONSTRUCTIONS P/L  
 LOT 3 (19) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 1)  
 scale 1:100 date march 2017 drawing No 07

set out



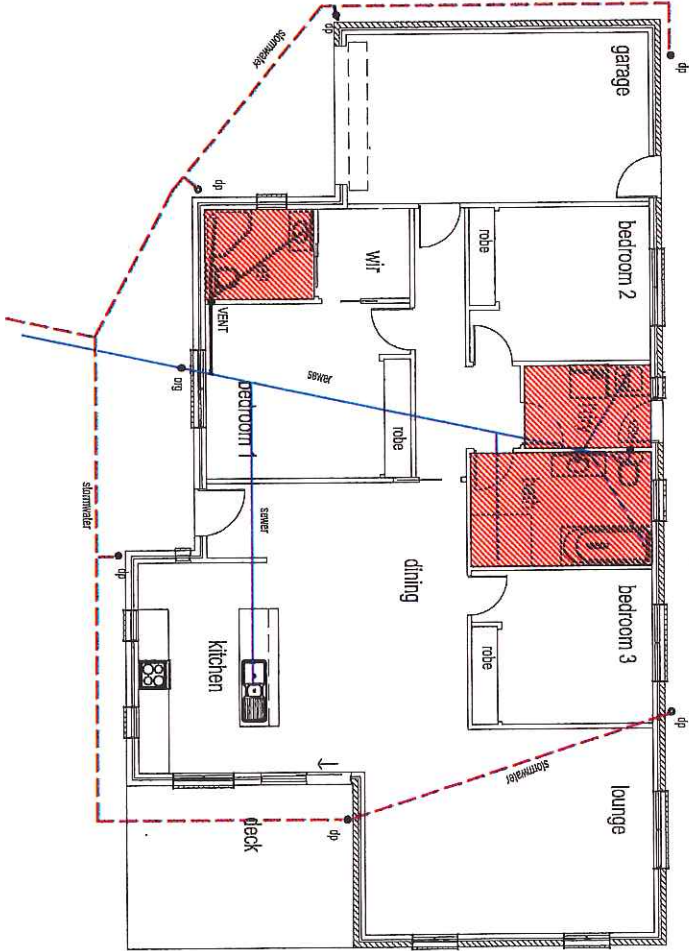
site plumbing



**K&L Clark**  
 Builders  
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 9 Goodridge Park, 3100  
 Adelaide, SA 5048  
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for: **HEBER CONSTRUCTIONS PT LTD**  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 1)

scale: 1:200 date: march 2017 drawing no: 08



hatched area denotes  
wet area sealing  
refer to following drawings for  
details and notes

plumbing notes:  
all drainage work shown is provisional only and is subject to amendment to comply with the requirements of the local authorities.  
all work is to comply with the requirements of s4724 & the tasmanian plumbing code, and must be carried out by a licenced tradesman only.

legend of diameters  
rough = 50mm  
sink = 50mm  
bath = 40mm  
basin = 40mm  
shower = 50mm  
wc = 100mm  
sewer = 100mm dia. upvc  
org overflow relief gully  
ev vent  
dp downpipe 50mm dia  
stormwater = 100mm dia upvc

the installation of water pipe lines, installed with the product HIR 311 relief. will require the main cold water line to be dn 25mm with dn 18mm branches & hot water main lines to be dn 20mm with dn 18mm branches to fixtures. all other products used are to comply with the requirements of s4724, s4725, s4726 & s4727 of s4724.

hot water installation shall deliver hot water to all sanitary fixtures used for personal hygiene at 50deg c. kitchen sink & laundry shall be s4726 c to comply with requirements of s4725, s4726 & s4727 of section 3.4

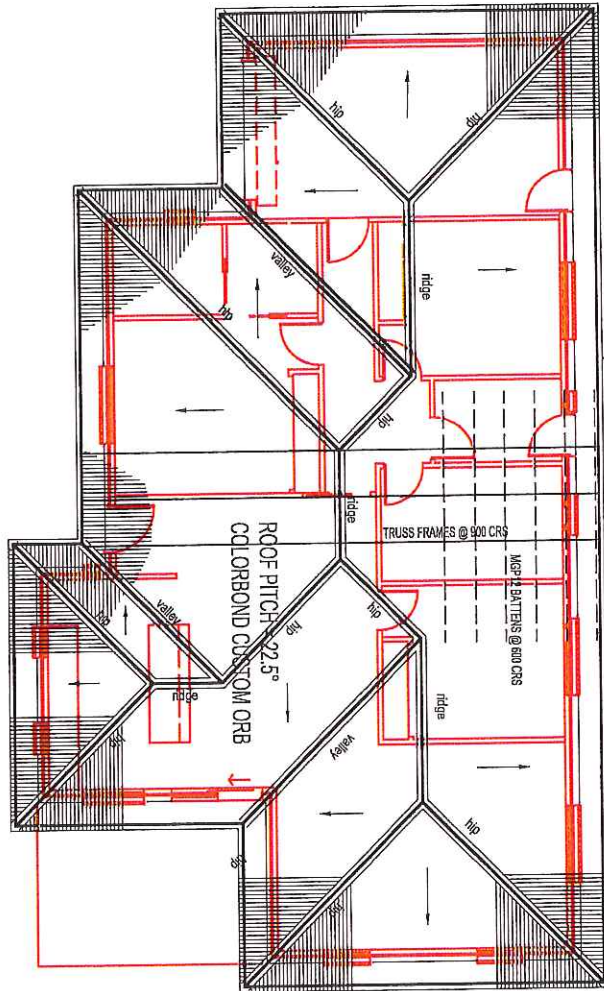


**k&l clark**  
Building Industry  
Accredited Building Practitioner No. C031  
59 Duff Street, Park, TAS  
Mobile 007 4379  
enquiries@kandl.com.au

HEGER CONSTRUCTIONS PTY LTD  
LOT 3 (16) PATON STREET  
LONGFORD  
UNIT DEVELOPMENT (UNIT 1)  
scale 1:100 date March 2017 drawings 09

plumbing





**roof framing:**  
 custom cut or similar approved steel roofing colorbond colour to selection, over T1.35 MGP12  
 ceiling battens at 800 CRS and approved roof trusses installed strictly in accordance with  
 manufacturers recommendations. fix battens to top plates with top-grip connectors provide  
 diagonal bracing fixed to top chords at a max angle of 30° to ridge, and/or strap bracing with 6  
 no 30x1.5 nails into double top plate, with bracing to comply with NCC-2016

**downpipes:**  
 downpipes to be 400mm pre-painted to match gutters. fix with wall brackets @  
 1200mm beginning at eave/edge above, minimum centres for gutters to be  
 1200mm and located so as to comply with Part 3.5.2.5 of the BCA

**fascia:**  
 colorbond preformed metal fascia and gutter installed  
 in accordance with manufacturers instructions  
 colour to match the roof.

**windows:**  
 colorbond aluminium window frames saving winter sunshades double glazing gas tank  
 reveals and films brick on edge external side all fittings and flashing to  
 manufacturers recommendations refer to 1288 & NCC - 2016

**sheet roofing:**  
 allow for selected colorbond custom orb sheathing over TSS8 114 4W profiles at 900  
 CRS & section lap at side 1.5 corrugations and turn up at high point. fix with matching  
 self drilling screws with neoprene washers

**capings & flashings:**  
 allow for preformed capings & flashings necessary to ensure the integrity of the roof  
 structure against water penetration, install flashings to roof vents, flues etc.  
 alternatively use "velde" or similar flings to roof penetrations

**gutters:**  
 install selected colorbond steel gutters or as furnished by the owner. fix gutters  
 from in the direction of flow, nail & seal with an approved silicone sealant.  
 valley gutters to be 450 wide colorbond steel to match roof. take 150mm under  
 roof decking and turn up on both sides, lap 150mm in direction of flow

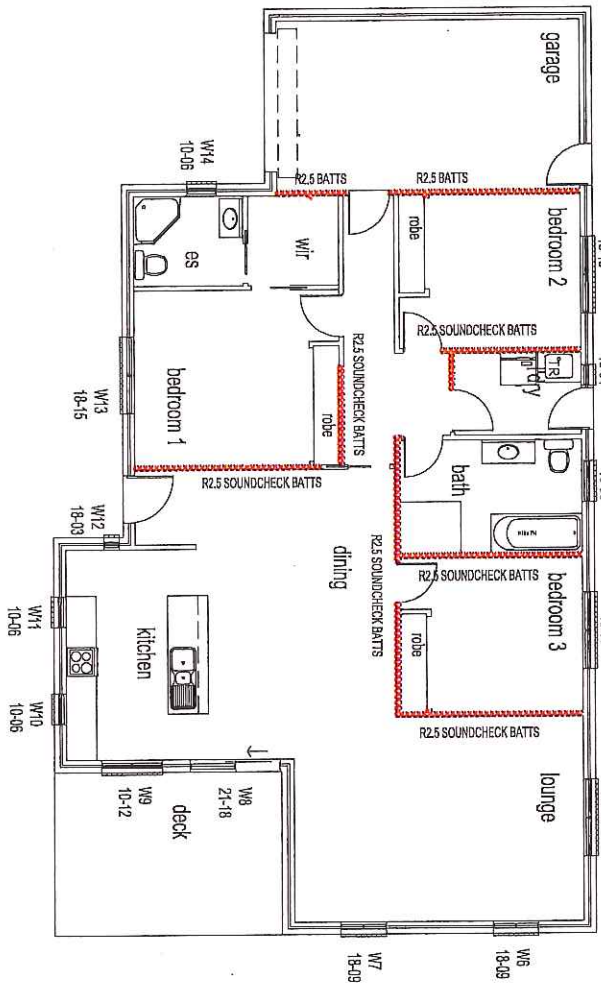
# roof plan

**Red Clark**  
 Building Designer  
 Accredited Building Practitioner No. C231  
 9 Oatfield Ave, Park, NSW  
 telephone: 6351 1948  
 mobile: 0401 531128  
 email: redclark@opn.com.au

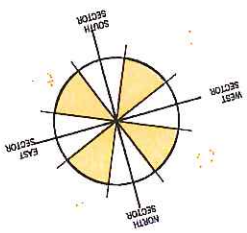
for HEGGER CONSTRUCTIONS PTL  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 1)  
 scale: 1:100 date: march 2017 drawing No: 16



NATURAL LIGHT AND VENTILATION				
ROOM	AREA	WINDOW No	LIGHT REQUIRED	LIGHT ACHIEVED
LIVING	22sm	W5, W6 & W7	2.20sm	4.41sm
DINING	18.5sm	W8	1.85sm	3.70sm
KITCHEN	14.0sm	W9, W10, W11, W12	1.40sm	3.42sm
LAUNDRY /WC	4.0sm	W2	0.40sm	0.40sm
BATHROOM	7.90sm	W3	0.79sm	0.80sm
BEDROOM 1	12.30sm	W13	1.23sm	2.70sm
BEDROOM 2	10.8sm	W1	1.08sm	2.70sm
BEDROOM 3	11.0sm	W4	1.10sm	2.70sm
ENSUITE	3.95sm	W14	0.40sm	0.60sm



WINDOW DETAILS  
AWNING SYSTEM  
DOUBLE GLAZED, 4/10/4, U VALUE 4.3



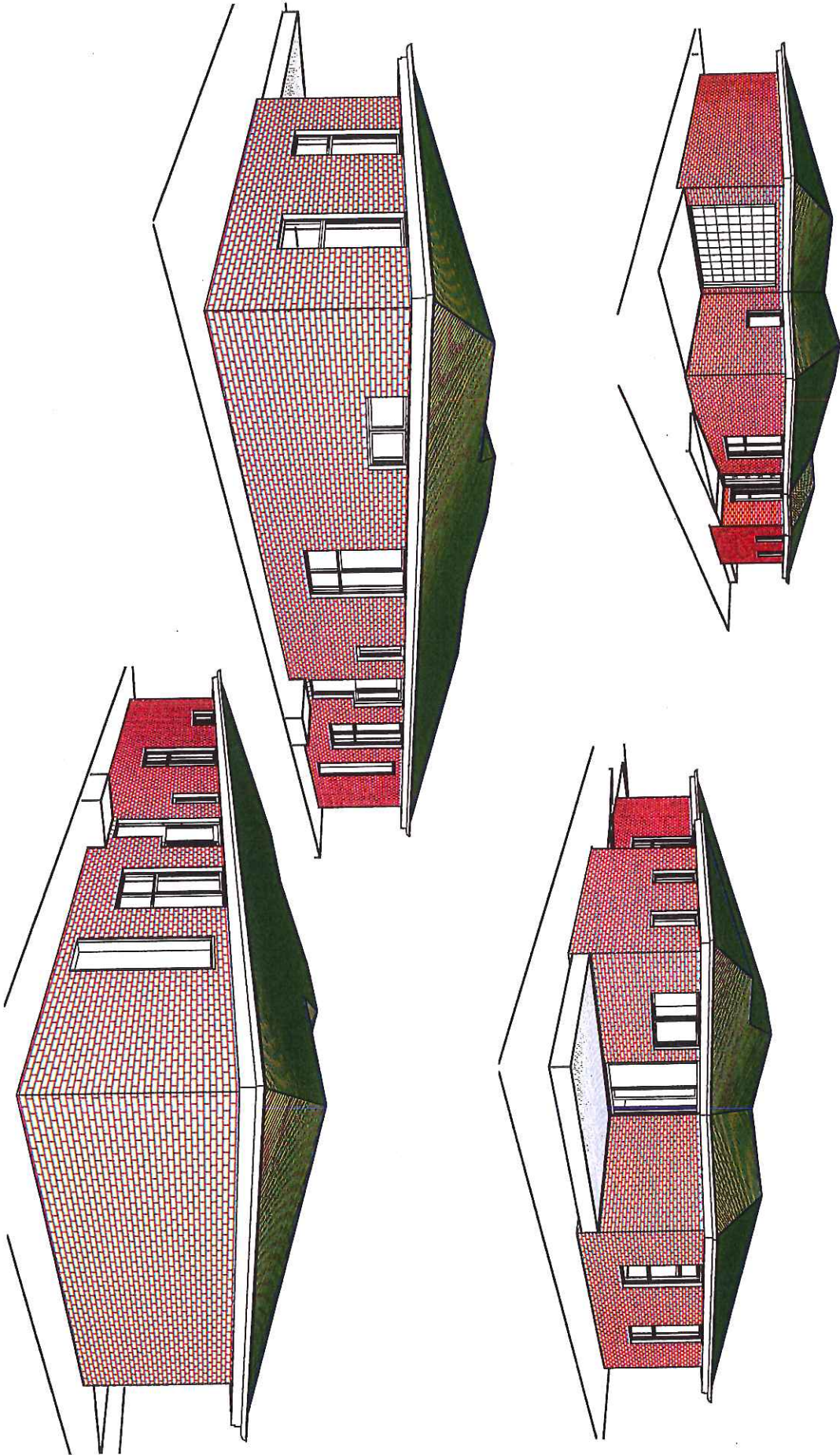
ROOF:  
- METAL SHEET CLADDING = R 0.40  
(USING RAFTERS, BATTENS & 10mm PLASTERBOARD)  
- VAPOUR PERMEABLE REFLECTIVE SARKING  
(MEDIUM DUTY ANICON 55) OVER RAFTERS = R 1.3  
- ROOF BATT INSULATION = R 4.5  
TOTAL R VALUE FOR ROOF = 6.20  
REQUIRED AS PER BCA = 5.10  
FLOOR (enclosed):  
- SHEET FLOORING = R 0.20  
(USING CARPET OR TILES)  
- ADDITIONAL BATT INSULATION  
BRADFORD OPTIMO 201HK = R2.1  
TOTAL R VALUE FOR FLOOR = 2.80  
REQUIRED AS PER BCA = 1.50

ENERGY EFFICIENCY:  
THE ENERGY EFFICIENT MEASURES FOR THIS BUILDING COMPLY WITH THE "DEEMED TO COMPLY PROVISIONS" IN PART 3.1.2 TO SATISFY PERFORMANCE REQUIREMENT 2.6.1  
ENERGY EFFICIENT REQUIREMENTS ARE CALCULATED FOR CLIMATE ZONE 7.  
ALL GLAZING TO REFER TO FIRST RATE ENERGY REPORT FOR MINIMUM \* & SHGC VALUES  
R\* VALUES NOTED REPRESENT ADDED INSULATION AND NOT TOTAL R VALUES  
SEALING OF BUILDING:  
- DENOTES SEALED WALL WITH R2.0 WALL INSULATION WEATHER STRIP ALL ROOF LIGHTS, WINDOWS & DOORS INTO HABITABLE ROOMS & CONDITONED SPACES.  
SEAL ALL CONSTRUCTION JOINTS BETWEEN HABITABLE AREAS & THE EXTERNAL FABRIC.  
EXHAUST FANS, CHIMNEYS & SOME FLUES TO BE SELF CLOSING WITH DAMPERS.  
INSULATION OF SERVICES:  
INSULATE ALL HOT WATER PIPING WITHIN BUILDING  
HOT WATER CYLINDER TO HAVE HEAT TRAP WITH 250mm VERTICAL DROP WITHIN 1m FROM OUTLET & BEFORE FIRST BRANCH.  
BUILDING FABRIC:  
EXTERNAL WALLS:  
- BRICK VENEER CLADDING = R 0.54  
(USING 50mm STUDS & 10mm PLASTERBOARD)  
- THERMOSEAL BUILDING MEMBRANE = R 1.02  
- BRADFORD WALL BATT INSULATION = R 2.50  
TOTAL R VALUE FOR EXTERNAL WALLS = 4.54  
REQUIRED AS PER BCA = 2.80

energy/windows

**kol stark**  
Building Services  
Accredited Building Practitioner to CSPI  
90 Bellfield Park, 200  
Belconnen, ACT 2916  
mobile: 047 43719  
email: kolstark@optusnet.com.au

HEGER CONSTRUCTIONS PT  
LOT 3 1480 PATON STREET  
LONGFORD  
UNIT DEVELOPMENT (UNIT 1)  
scale 1:100 date mchd 2017 drawing no 17



note  
 views are conceptual only  
 and not to be used for  
 construction purposes



**Kai Clark**  
 Building designer  
 Accredited Building Practitioner No. C291  
 9 Otago Place, P.O. Box 1200  
 Dunedin 9013 100  
 mobile: 020 747619  
 email: kai@kai.clark.nz

des: HEGER CONSTRUCTIONS P/L  
 LOT 3 (16) PATON STREET  
 LONGFORD  
 UNIT DEVELOPMENT (UNIT 1)  
 scale: \_\_\_\_\_  
 des: march 2017  
 drawing No: 20

perspective views



1-177

## Site Specific Study for P17 - 0.53

Lot 3 /16 Paton Street, Longford

2 new dwelling units

Response to planning scheme provisions of Code E11- Environmental Impacts and Attenuation Code, Clause E11.6.1 (P1):

P1 Sensitive use or subdivision for sensitive use within an attenuation area to an existing activity listed in Tables E11.1 and E11.2 must demonstrate by means of a site specific study that there will not be an environmental nuisance or environmental harm, having regard to the:

a) degree of encroachment; and

The proposed development is 1018 meters from the abattoir. The space between is predominately made up of residential housing.

b) nature of the emitting operation being protected by the attenuation area; and

The operation is an abattoir which emits noise and odours, neither of which are prevalent at the site.

c) degree of hazard or pollution that may emanate from the emitting operation; and

The emission produced don't have any negative effects on the site

d) the measures within the proposal to mitigate impacts of the emitting activity to the sensitive use.

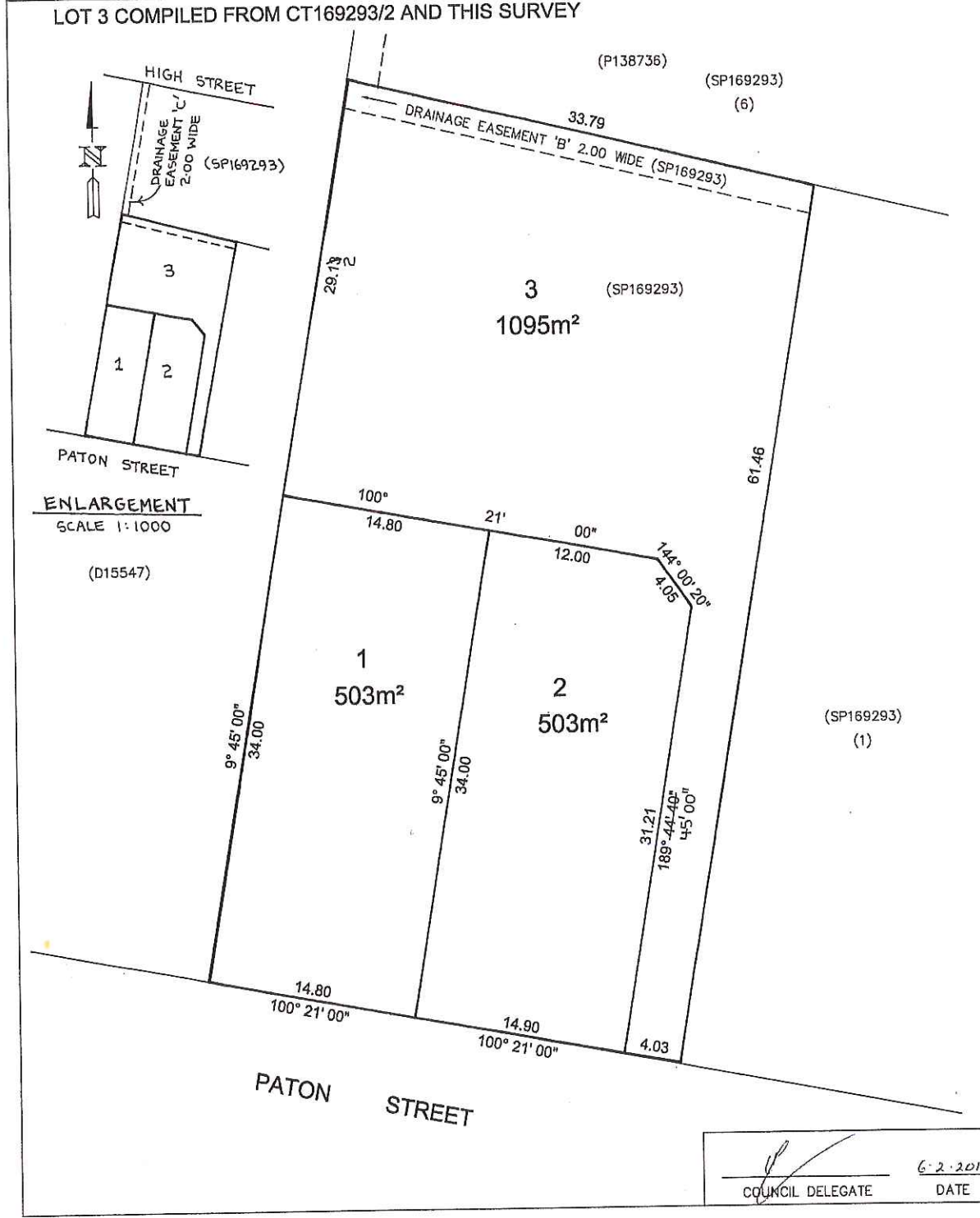
The distance of the proposed development from the emitting site as earlier stated is 1018 meters which is right on the edge of the attenuation area which is listed in the scheme as 1000 meters. Due to the fact the majority of this area is residential housing we don't believe any measures are required to mitigate against emissions.

Jamie Heger  
Heger Constructions pty ltd



OWNER HEGER CONSTRUCTIONS PTY. LTD.	PLAN OF SURVEY	Registered Number <b>SP172712</b>
FOLIO REFERENCE C.T.169293/4-2	BY SURVEYOR R. M. PECK	APPROVED EFFECTIVE FROM 10 FEB 2017 <i>Alice Kawa</i> Recorder of Titles
GRANTEE PART OF LOT 2, 1 <sup>A</sup> 2 <sup>R</sup> 27 <sup>F</sup> GRANTED TO JOHN REID	LOCATION TOWN OF LONGFORD (SEC. C1)	
SCALE 1:250 LENGTHS IN METRES		

MAPSHEET MUNICIPAL CODE No 123 (5039-33)	LAST UPI No	LAST PLAN No. SP169293	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
---	----------------	---------------------------	--



*[Signature]*  
COUNCIL DELEGATE  
6-2-2017  
DATE

SEARCH OF TORRENS TITLE

VOLUME 172712	FOLIO 3
EDITION 1	DATE OF ISSUE 10-Feb-2017

SEARCH DATE : 01-Mar-2017  
SEARCH TIME : 09.18 AM

DESCRIPTION OF LAND

Town of LONGFORD  
Lot 3 on Sealed Plan 172712  
Derivation : Part of Lot 2, 1A-2R-27P Gtd. to John Reid  
Prior CT 169293/2

SCHEDULE 1

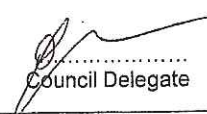
M544409 TRANSFER to HEGER CONSTRUCTIONS PTY LTD Registered  
26-Nov-2015 at 12.01 PM

SCHEDULE 2


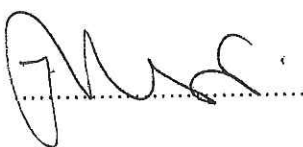

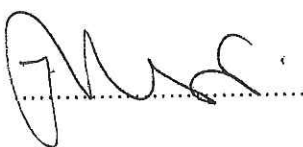

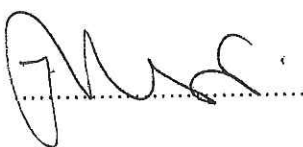
Reservations and conditions in the Crown Grant if any  
SP172712 EASEMENTS in Schedule of Easements  
SP172712 FENCING COVENANT in Schedule of Easements  
SP169293 FENCING COVENANT in Schedule of Easements  
D49277 AGREEMENT pursuant to Section 71 of the Land Use  
Planning and Approvals Act 1993 Registered  
03-Apr-2012 at noon  
M545108 MORTGAGE to Bendigo and Adelaide Bank Limited  
Registered 26-Nov-2015 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p><b>SCHEDULE OF EASEMENTS</b></p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED.</p> <p>SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p><b>SP 172712</b></p>
<p style="text-align: right;">PAGE 1 OF 2 PAGES</p>	
<p><b><u>EASEMENTS AND PROFITS:-</u></b></p> <p>Each lot on the plan is together with:-</p> <ol style="list-style-type: none"> <li>(1) Such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and</li> <li>(2) Any easements or profits a prendre described hereunder.</li> </ol> <p>Each lot on the plan is subject to:-</p> <ol style="list-style-type: none"> <li>(1) Such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and</li> <li>(2) Any easements or profits a prendre described hereunder.</li> </ol> <p>The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.</p> <p>No profits a prendre are created to benefit or burden the lots shown on the plan.</p> <p>Lot 3 on the Plan is subject to a Right of Drainage (appurtenant to Lots 1 &amp; 6 on Sealed Plan 169293) over the area marked "Drainage Easement B" 2.00 wide (SP 169293) as shown passing through Lot 3 on the Plan.</p> <p>Lot 3 on the Plan is together with a Right of Drainage over the area marked "Drainage Easement C" 2.00 wide as shown passing through Lot 6 on Sealed Plan 169293 on the Plan.</p> <p><b><u>FENCING COVENANT:-</u></b></p> <p>The owner of each Lot on the Plan covenants with the Vendor (Heger Constructions Pty Ltd) that the Vendor shall not be required to fence.</p>	
<p>SUBDIVIDER: Heger Constructions Pty Ltd CERTIFICATE OF TITLE VOLUME 169293 FOLIO 2</p> <p>SOLICITOR &amp; REFERENCE: P L Corby &amp; Co (C J Foon)</p>	<p>PLAN SEALED BY: Northern Midlands Council DATE: 6.2.2017 P16 - 041 - 01 27/003/747..... REF NO.</p> <p style="text-align: right;"> Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	



<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 2 PAGES</p>	<p>Registered Number</p> <p style="font-size: 2em; font-weight: bold;">SP 172712</p>		
<p>SUBDIVIDER: Heger Constructions Pty Ltd          FOLIO REFERENCE: Volume 169293 Folio 2</p>			
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p><b>EXECUTED</b> by <b>HEGER CONSTRUCTIONS</b> )  <b>PTY LTD (ACN 118 384 160)</b> by being signed )                      by its Directors <b>KERRY CHARLES HEGER</b> )                      and <b>JAMIE CHARLES HEGER</b> pursuant to )                      Section 127 of the Corporations Law )</p> </td> <td style="width: 50%; vertical-align: top; text-align: center;">    </td> </tr> </table>		<p><b>EXECUTED</b> by <b>HEGER CONSTRUCTIONS</b> )  <b>PTY LTD (ACN 118 384 160)</b> by being signed )                      by its Directors <b>KERRY CHARLES HEGER</b> )                      and <b>JAMIE CHARLES HEGER</b> pursuant to )                      Section 127 of the Corporations Law )</p>	 
<p><b>EXECUTED</b> by <b>HEGER CONSTRUCTIONS</b> )  <b>PTY LTD (ACN 118 384 160)</b> by being signed )                      by its Directors <b>KERRY CHARLES HEGER</b> )                      and <b>JAMIE CHARLES HEGER</b> pursuant to )                      Section 127 of the Corporations Law )</p>	 		
<p>NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>			

# PLANNING APPLICATION

## Proposal

Description of proposal: 2 dwelling units.

.....  
.....  
.....  
.....

*(attach additional sheets if necessary)*

Site address: Lot 3 16 Paton Street  
Longford.

CT no: .....

Estimated cost of project \$360000 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes  No   
If yes – main building is used as .....

If variation to Planning Scheme provisions requested, justification to be provided:  
unit 1 setback to southern boundary. to  
provide more open space to north.

*(attach additional sheets if necessary)*

Is any signage required? no.  
(if yes, provide details)

# PLANNING APPLICATION

## Applicant / owner details

Applicant: Heger Constructions Pty Ltd.

Signature of Applicant: 

Applicant's Details: PO Box

Postal address: 203 Longford Tas

Phone: ..... Mobile: 049 345 978

E-mail: hegerconstructions @ bigpond.com.

Name of Owner/s of subject site: Heger Constructions Pty Ltd.  
(as per certificate of title)

(If the subject site is Crown land, owned by the Council or administered by the Council or the Crown, the application must be signed by **either** the responsible Minister of the Crown (or the Minister's delegate) **or** by the General Manager of the Council, **and** must be accompanied by written permission of that Minister or general manger to the making of the application.)

Owner's postal address: as above.

Owner's email address: as above.

As the owner of the land, I consent to the application being submitted,  
Signed: 

OR  
As the applicant, I declare that I have notified the owner of the application

Signed: .....

Right of Way:  
If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Name of Owner/s of ROW: .....

ROW Owner's Postal Address: .....

As the applicant, I have notified the owner of the ROW of the application

Signed: .....  
(attach extra page if required)

Office use only:  
Paid \$ 1066 Date: 27/2/17 Receipt No: 381576 (Code 01)

Ref: P1 / ..... Discretionary / Permitted / No Permit Required