

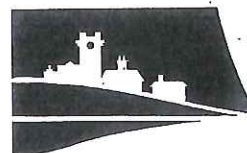
PLAN 1

PLANNING APPLICATION P17-030

WELLINGTON STREET ROAD RESERVATION, LONGFORD

ATTACHMENTS

- A Application & plans
- B Responses from referral agencies
- C Representations



NORTHERN
MIDLANDS
COUNCIL

PLANNING APPLICATION

Proposal

<i>Description of proposal:</i>	Parklet Outside 55 Wellington St
<i>Site address:</i>	Road Reserve outside 55 Wellington St
<i>CT:</i>	Crown Land
<i>Estimated cost of project (include cost of landscaping, car parks etc for commercial / industrial uses)</i>	\$50 000
<i>Are there any existing buildings on this property?</i>	No
<i>If yes – use of main building:</i>	Road
<i>If variation to Planning Scheme provisions requested, justification to be provided:</i>	N/a
<i>Is any signage required? (if yes, provide details)</i>	No

PRIVACY STATEMENT

The Northern Midlands Council abides by the *Personal Information Protection Act 2004* and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the *Personal Information Protection Act, 2004* and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the *Building Act 2016*. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Northern Midlands Council on (03) 6397 7303. Please contact the Council's Privacy Officer on (03) 6397 7303 if you have any other enquires concerning Council's privacy procedures.

EXHIBITED

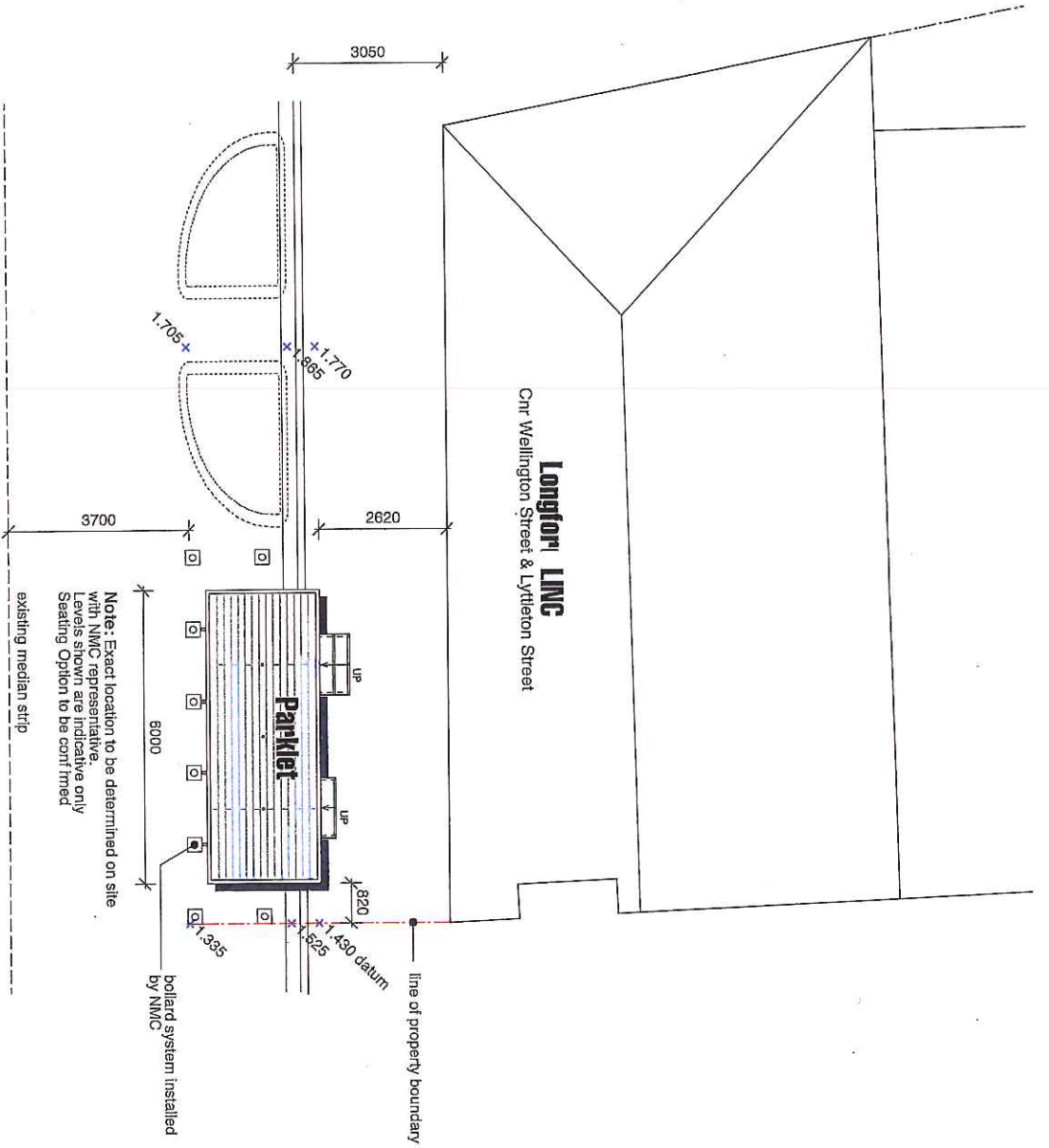
AERIAL PHOTOGRAPH & SERVICES MAP for 55 WELLINGTON STREET, LONGFORD



ZONING MAP - UTILITIES



EXHIBITED



03 SITE PLAN - Chr Wellington Street & Lytletton Street
Scale: 1:100

NOTES:

- All dimensions in millimetres.
- Do not scale drawings dimensions on site prior to commencement of any work or strip drawings.
- All drawings shall be read in conjunction with special conditions and shall be in accordance with the Building Code of Australia, Australian Standards, special conditions and local authority orders and any other relevant documents.
- Any discrepancies shall be referred to the Architect.



Level 1 - 57 George Street - Launceston 7250
Phone (03) 6331 8488 - Fax (03) 6334 3339

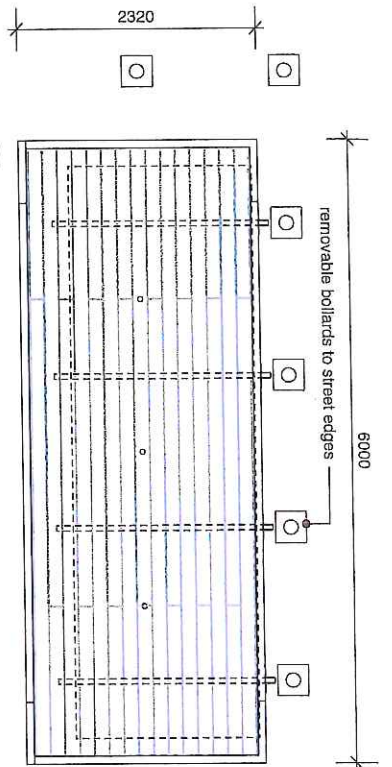
Rev No	Revision	Date

Project:
Longford Urban Design Strategy Parklets
Northern Midlands Council

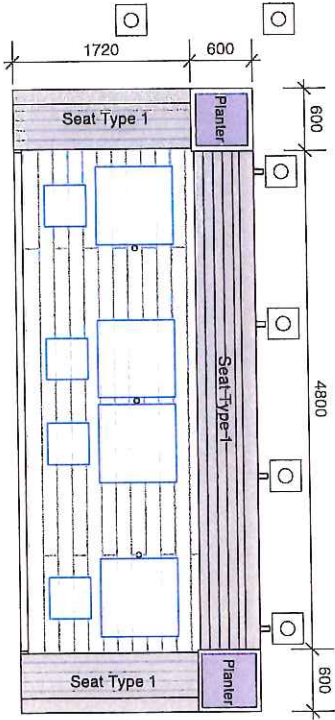
Title		Scale		Date		Project		Issue No.	
Sit Plan #3		As Shown		Jan 2017		1605		WC03	
Drawing No.		Project No.		Issue No.					
1605		WC03							



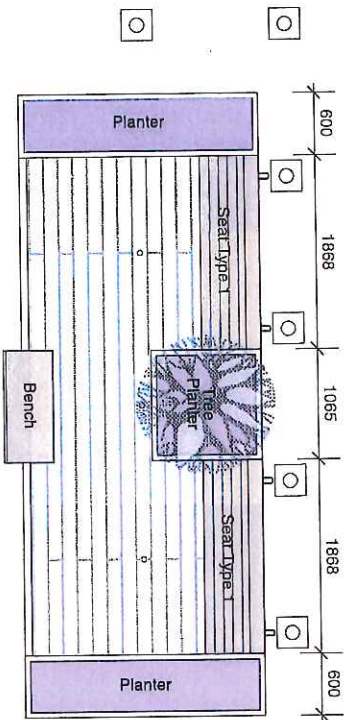
EXHIBITED



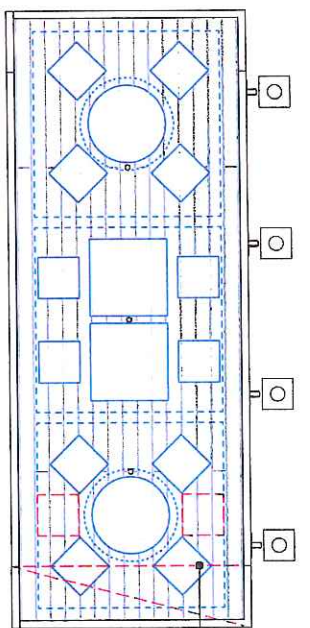
1 Base Layout
Scale: 1:50



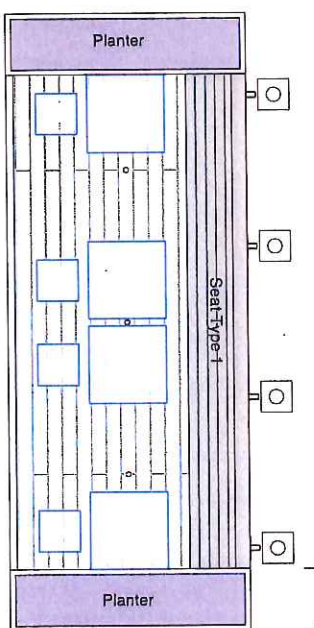
2 Seating Option 2
Scale: 1:50



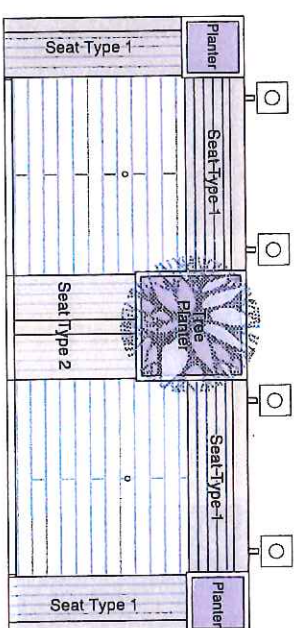
4 Seating Option 4
Scale: 1:50



1A Basic Dining Layout 1
Scale: 1:50



3 Seating Option 3
Scale: 1:50



5 Seating Option 5
Scale: 1:50



ORIENTATION OF ROOM ELEVATIONS
REFER INTERNAL ELEVATIONS

Layer 1 - 47 Georgia Street - 1st Amendment 7250
Phone (03) 6531 9488 - Fax (03) 5534 3339

notes:

- All dimensions in millimeters.
- Contractor to verify all dimensions on site prior to commencement of any work or final drawing.
- All work carried out shall be in accordance with the specifications and consistent details.
- All work shall be in accordance with the specifications and local authority bylaws and regulations.
- Any discrepancies shall be referred to the Architect.

Rev No.	Revision	Date

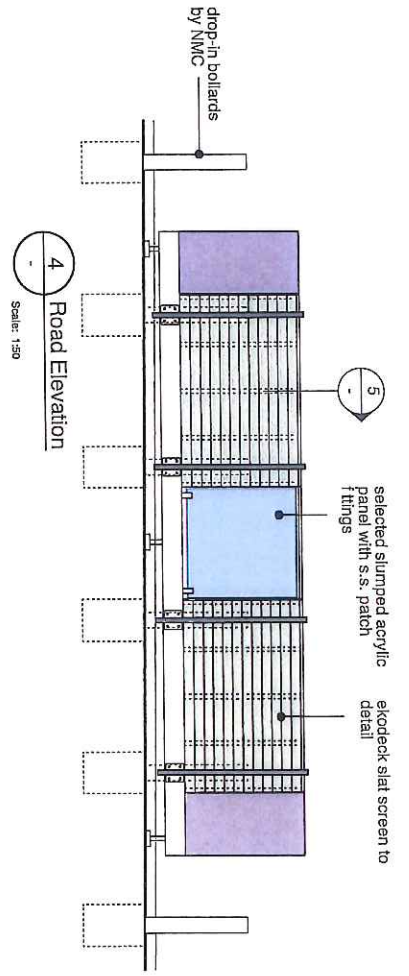
Project
Longford Urban Design Strategy Parklets
Northern Midlands Council

Parkle Layouts

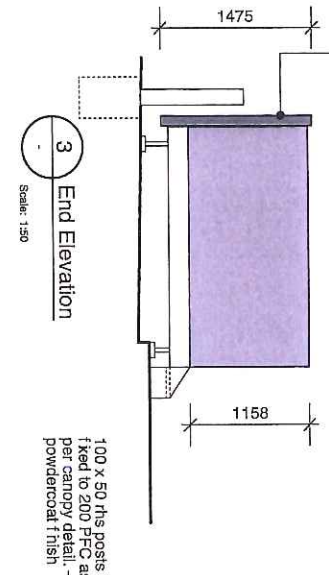
Sheet	Date	Designed	Acc. No.
AS Shown	Jan 2017	Tony	CC818 E
Product No.	Drawing No.	Issue No.	
1605	W004		



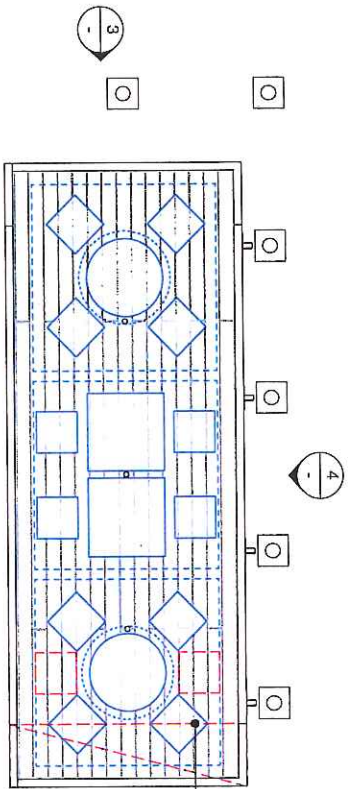
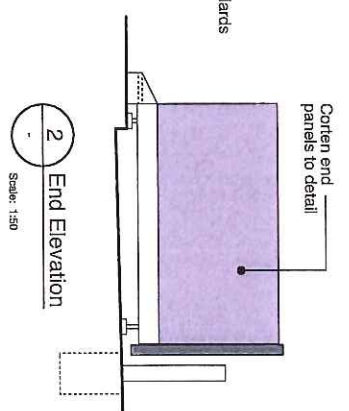
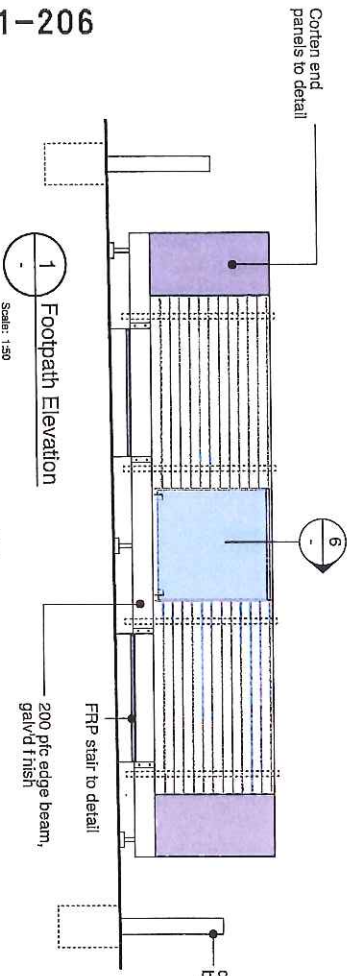
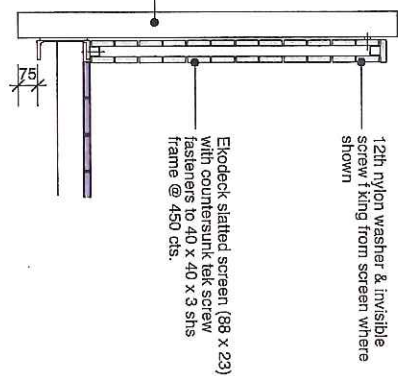
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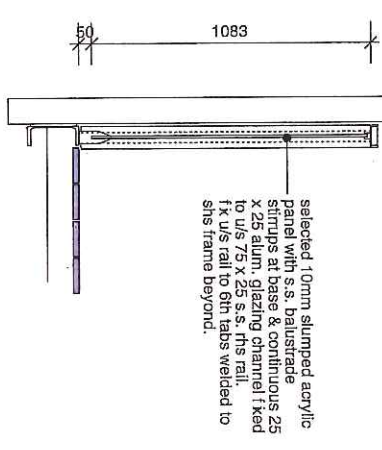
powdercoated posts & brackets to match optimal awning detail



12th nylon washer & invisible screw fitting from screen where shown



optional planter box & alternative seating shown hatched



Level 1 - 57 George Street - Laurieston 7280
Phone (03) 6331 9488 - Fax (03) 6334 3333

NOTES:

- All dimensions in millimetres.
- Do not scale drawings. Dimensions or callouts are to be taken from the drawing.
- All drawings shall be read in conjunction with the specification and any work of shop drawings.
- Special conditions shall be noted in accordance with the Building Code of Australia, Australian Standards.
- Any discrepancies shall be referred to the Architect.

Rev No.	Revision	Date

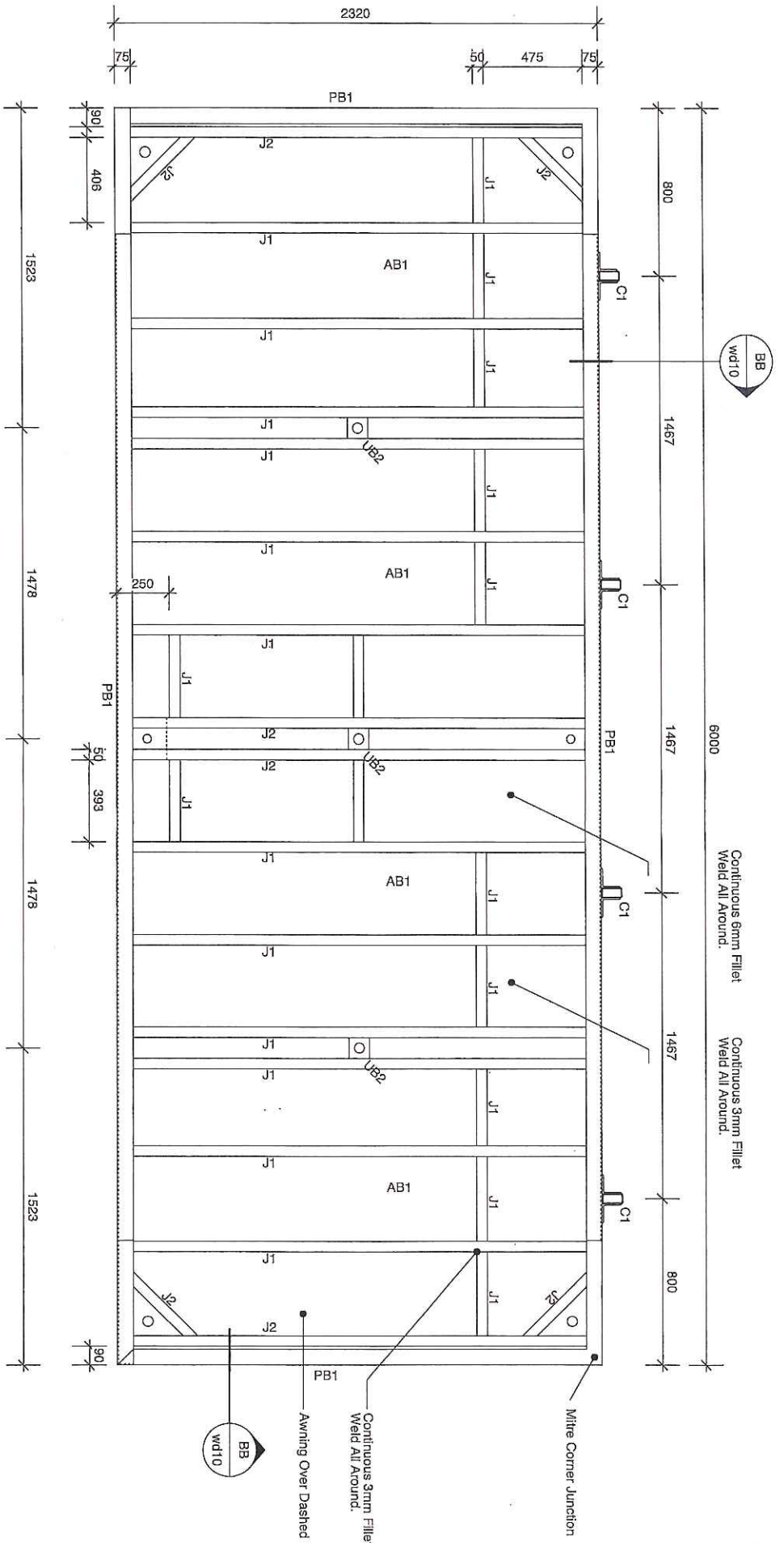
Project: Longfor Ural Design
Strategic Parklets
Northern Midlands Council

Parklet Elevations

Scale	Date	Designed	Arch. No.
As Shown	Jan 2017	TMV	02013 B
Project No.	Drawing No.	Issue No.	
1605	WD05		



EXHIBITED



1 PARKLET BASE FRAMING PLAN
Scale: 1:20

- STRUCTURAL LEGEND**
- C1 100X50X5 RHS
 - PB1 200 PFC
 - J1 Joist 100X50X3 RHS
 - J2 Joist 100X50X5 RHS
 - AB1 Avanging beam 100X50X5 RHS
 - UB2 6PL Bridging plate for proprietary lock-in Umbrella Socket and Sleeve



ORIENTATION OF ROOM ELEVATIONS
REFER INTERNAL ELEVATIONS

Level 1 - 57 George Street - Launceston, TAS
Phone (03) 5331 5489 - Fax (03) 5334 3399

NOTES:

- All dimensions in millimetres.
- Contractor to verify all dimensions on site prior to commencement of any work or shop drawings.
- All work carried out shall be in accordance with the specifications and standards of the relevant authorities.
- Any discrepancies shall be referred to the Architect.

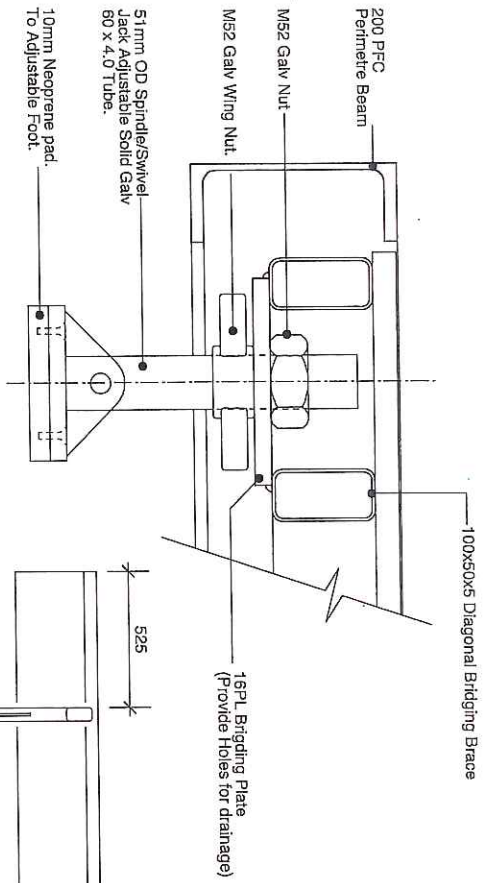
Per No.	Revision
Date	

Project: **Longford Urban Design Strategy - Parklets**
Northern Midlands Council

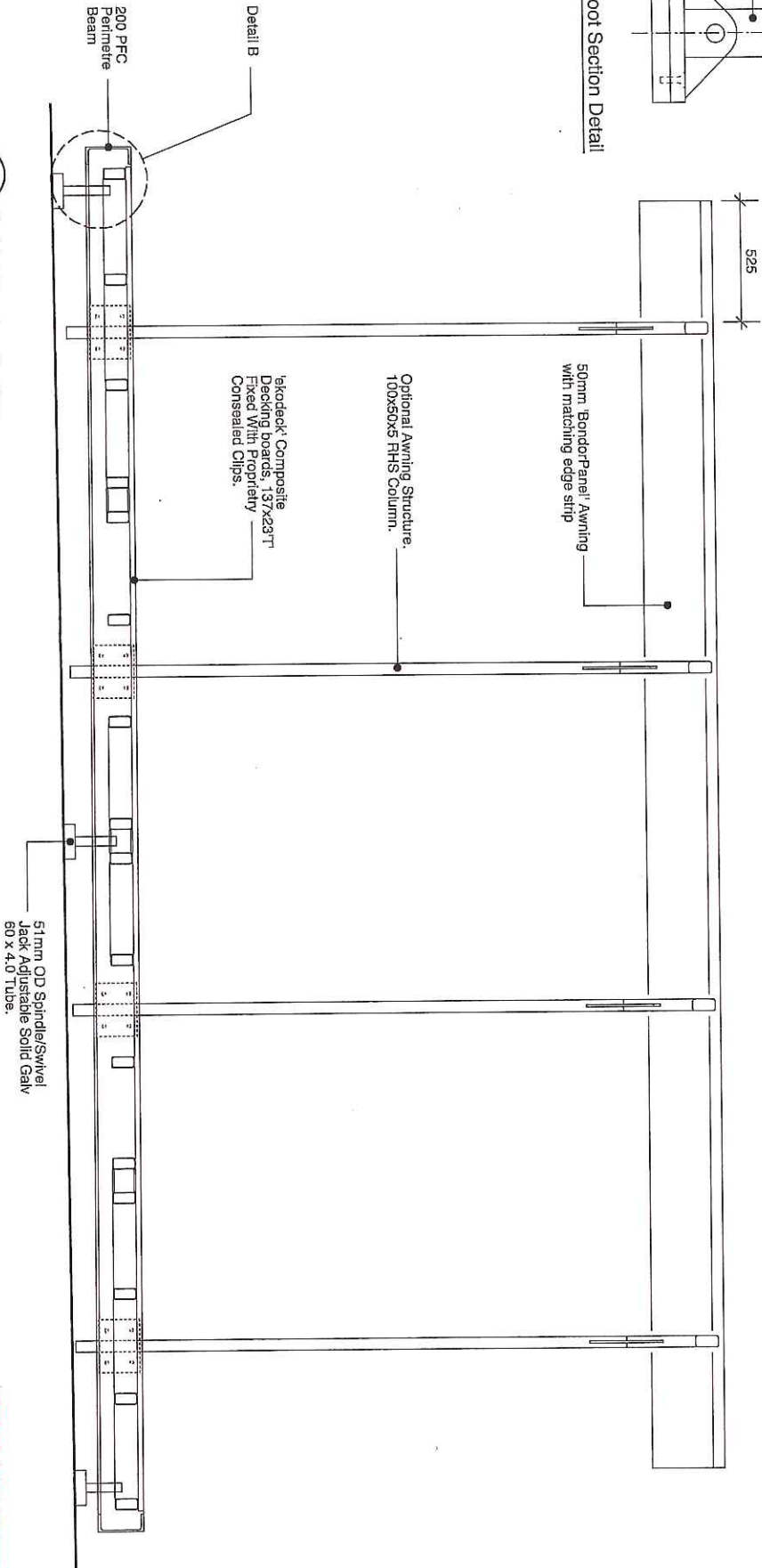
Title: Base Framing Plan	
Scale: As Shown	Date: Jun 2017
Project No: 1605	Designed: Tonly
Drawing No: W106	Drawn: E



EXHIBITED



B Adjustable Foot Section Detail
Scale: 1:5



AA Parklet Framing Section
Scale: 1:50
wid05



Level 1 - 57 George Street - 1, Langston 7250
Phone (09) 8531 8488 Fax (09) 8534 3339

NOTES:

- All dimensions in millimeters.
- Detail section to verify all dimensions on site prior to commencement of any work or shop drawings.
- All drawings shall be prepared in accordance with the Building Code of Australia, Australian Standards, regulations and any other authority of laws and regulations.
- Any discrepancies shall be referred to the Architect.

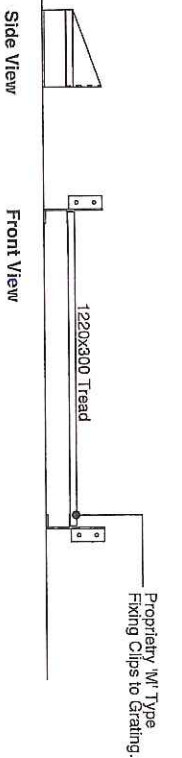
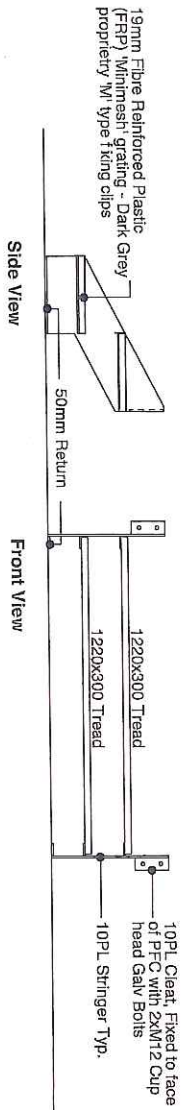
Rev No.	Revision	Date

Project:
Longford Urban Design Strategy - Parklets
Northern Midlands Council

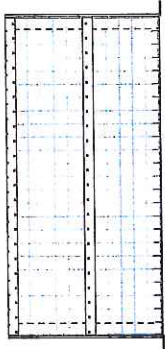
Section AA	
Scale As Shown	Date Jan 2017
Project No. 1605	Designed Tony
wid07	Issue No.
	Acc. No. CS93 E



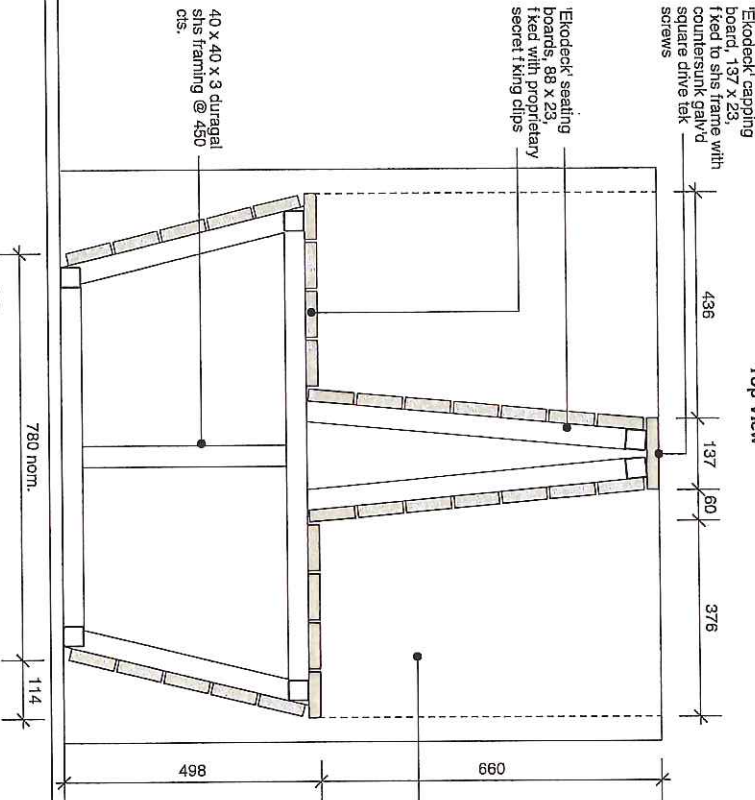
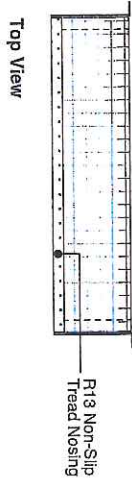
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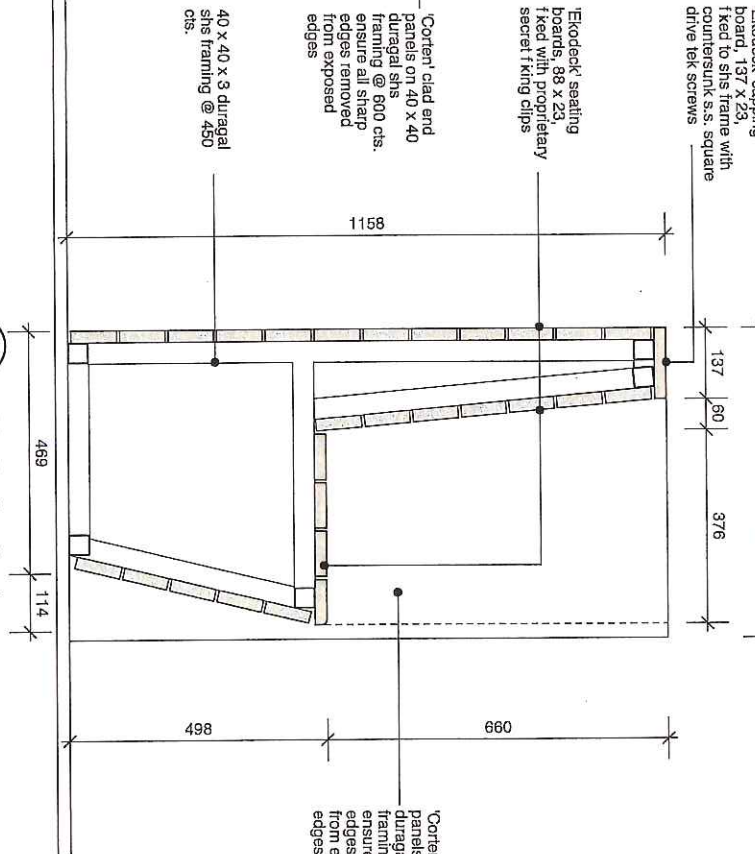
05 PARKLET STEP DETAIL
Scale: 1:20



06 PARKLET STEP DETAIL
Scale: 1:20



07 Parklet Seating. Typ 2
Scale: 1:20



08 Parklet Seating. Typ 1
Scale: 1:20



NOTES:

- All dimensions in millimetres.
- Contractor to verify all dimensions on site prior to commencement of any work or shop drawings.
- Contractor to confirm all materials and finishes with specialist suppliers and consultant's details.
- All work carried out shall be in accordance with the Building Code of Australia and all applicable building regulations.
- Any discrepancies shall be referred to the Architect.

Level 1 - 57 George Street, Launceston 7250
Phone (09) 8331 8488 - Fax (09) 8334 3399

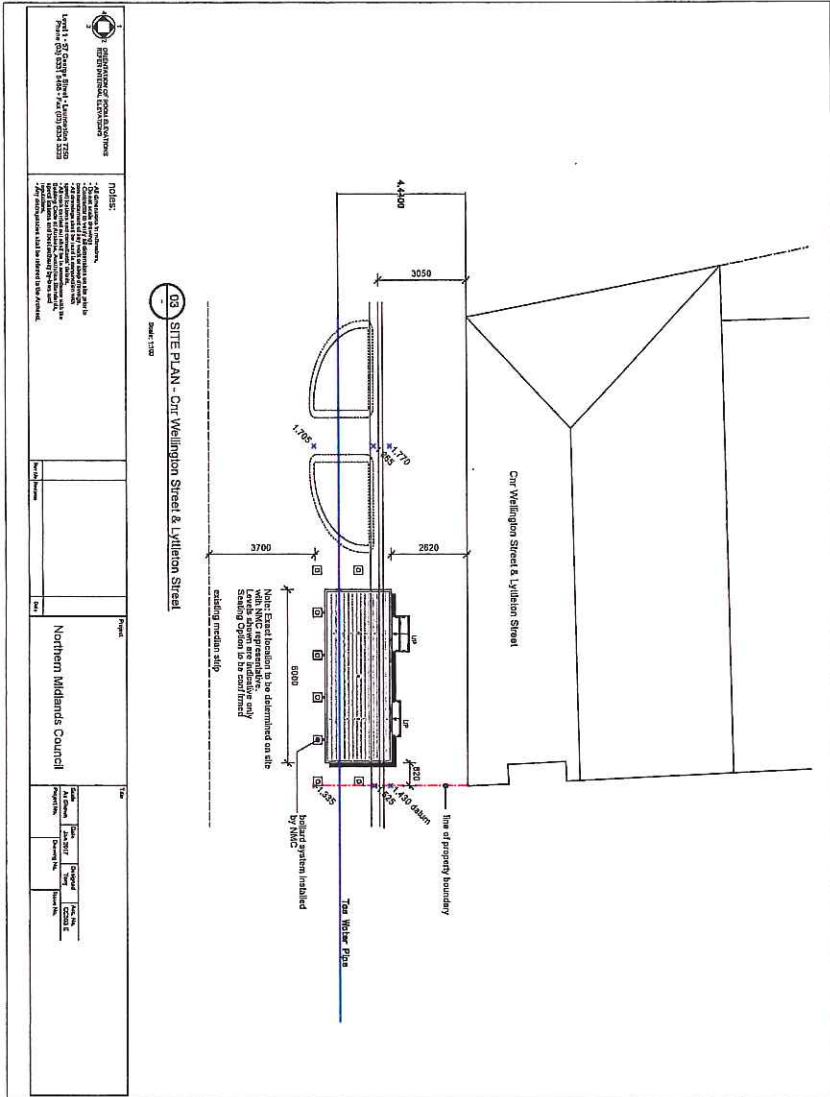
Rev No.	Revision	Date

Project: **Longford Urban Design Strategy Parklets**
Northern Midlands Council

Title	
Seating	Step Details
Scale: As Shown	Date: Jan 2017
Project No: 1605	Designed: Tony
Drawing No: WID09	App. No: CC603 E
	Issue No:



EXHIBITED



03 SITE PLAN - Cnr Wellington Street & Lyellton Street
Sheet 1/30

03 SITE PLAN - Cnr Wellington Street & Lyellton Street
Sheet 1/30

03 SITE PLAN - Cnr Wellington Street & Lyellton Street
Sheet 1/30

03 SITE PLAN - Cnr Wellington Street & Lyellton Street
Sheet 1/30

Item	Proposed	Final
Area		
Volume		
Weight		
Value		

EXHIBITED

Submission to Planning Authority Notice

Council Planning Permit No.	P17-030	Council notice date	08/02/2017	
TasWater details				
TasWater Reference No.	TWDA 2017/00170-NMC	Date of response	05/06/2017	
TasWater Contact	Amanda Craig	Phone No.	03) 6345 6318	
Response issued to				
Council name	NORTHERN MIDLANDS COUNCIL			
Contact details	Planning@nmc.tas.gov.au			
Development details				
Address	55 WELLINGTON ST, LONGFORD	Property ID (PID)	6737740	
Description of development	Parklet outside property			
Schedule of drawings/documents				
	Prepared by	Drawing/document No.	Revision No.	Date of Issue
	Loop Architecture	02 Site Plan	B	13/01/2017
	Stewart Johnson	Risk Assessment on Parklet at Cressy Bakery		16/05/2017
Conditions				
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>56W CONSENT</p> <ol style="list-style-type: none"> 1. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the <i>Water and Sewerage Industry Act 2008</i> for its consent in respect of that part of the development which is built over or within two metres of TasWater infrastructure. 2. The parklet must be designed to ensure that a TasWater work crew with standard equipment for a repair can remove or move the parklet without risk to safety or property. 3. The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) must show footings of the proposed structure including the bollard system located over or within 2.0m from TasWater pipes. These plans must include a cross sectional view through the footings which clearly shows; <ol style="list-style-type: none"> a. Existing pipe depth and location relative to the structure/footings and proposed finished surface levels over the pipe; b. Footings must be located to ensure an all-around clearance of 1.0m is provided to the outside pipe wall of the TasWater water main and; c. A note on the plan indicating how the pipe location and depth were ascertained. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> 4. The applicant or landowner as the case may be, must pay a development assessment fee to TasWater for this proposal of \$201.93 for development assessment as approved by the Economic Regulator and the fees will be indexed as approved by the Economic Regulator from the date of the 				

Submission to Planning Authority Notice for the development assessment fee, until the date they are paid to TasWater. Payment is required within 30 days from the date of the invoice.

Advice

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

The developer is responsible for arranging to locate existing TasWater infrastructure and clearly showing it on any drawings. Existing TasWater infrastructure may be located by TasWater (call 136 992) on site at the developer's cost, alternatively a surveyor and/or a private contractor may be engaged at the developers cost to locate the infrastructure.

TasWater have a small number of townships that are on Boil Water and Do Not Consume Alerts. Please visit <http://www.taswater.com.au/News/Outages---Alerts> for a current list of these areas.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by




Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Submission to Planning Authority Notice Objection

Council Planning Permit No.	P17-030	Council Notice date	08/02/2017
TasWater details			
TasWater Reference No.	TWDA 2017/00170-NMC	Date of response	09/02/2017
TasWater Contact	Amanda Craig	Phone No.	03) 6345 6318
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	55 WELLINGTON ST, LONGFORD	Property ID (PID)	6737740
Description of development	Parklet outside property		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
n/k	Site Plan	--	Jan 2017
Loop Architecture	Drawings wd03 to wd09	--	Jan 2017
Objection			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(2)(c) TasWater objects to the granting of the permit for this application on the following ground(s):</p> <ol style="list-style-type: none"> 1. Build over of a water pipeline, or within 2m, or within an easement containing a water pipeline is not permitted. 			
Advice			
<p><i>Locating the parklet immediately over TasWater's DN225mm pressurised water main exposes users of the parklet to risk of injury or death in the event that the main fails. It may be possible for the risk to be eliminated by relocation, at the applicant's cost, of the pressurised main.</i></p>			
Declaration			
<p>The drawings/documents and specified grounds of objection stated above constitute TasWater's Submission to Planning Authority Notice.</p>			
Authorised By			
			
<p>Jason Taylor Development Assessment Manager</p>			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

From: Hills, Garry (State Growth) <Garry.Hills@stategrowth.tas.gov.au>
Sent: Friday, 10 February 2017 12:52 PM
To: NMC Planning
Subject: FW: P17-029 & P17-030 - Referral to State Growth - Main Road, Cressy & Wellington Street, Longford

Our Ref: D17/55837

Melissa,

In reference to the above mentioned Development Application I advise that State Growth have no objections to the proposal. The below advice per the previous proposals is still relevant.

Appreciated if you can arrange to include conditions relating to State Road requirements on Council's permit in line with the following;

- 1. All structures and pedestrianised areas immediately adjacent to a traffic lane are to be protected by a suitable barrier or bollard system that is rated to withstand a crash impact of at least 60km/h. Appropriate clearance to structures and pedestrianised areas to allow for any deflection of the barrier / bollard system shall be applied.*
- 2. Clearance from the road centre line to the face of the barrier / bollard system shall be a minimum of 3.7 metres. If bollards are used, their maximum spacing shall be 1.2 metres.*
- 3. Ongoing maintenance, repair or replacement of the barrier / bollard system is the responsibility of the applicant.*
- 4. Prior to undertaking any works in the road reservation the applicant must provide detailed engineering drawings of all proposed works to the Department of State Growth in support of an application for a Permit to Work in a State Road Reserve. (Application forms are available at: <http://www.transport.tas.gov.au/road/permits>) Applications must be received by the Department of State Growth a minimum of twenty eight (28) days prior to the expected commencement date for works in order to allow sufficient time for the application to be assessed. No works are to be undertaken until a written permit has been issued. The permit is issued in accordance with the provisions of the Roads and Jetties Act 1935.*

Let me know if there are any queries.

Thanks, Garry

Garry Hills | Senior Traffic Engineering Officer
State Roads Division | Department of State Growth
287 Wellington Street, Launceston TAS 7250 | GPO Box 536, Hobart TAS 7001
Phone: (03) 6777 1940
www.stategrowth.tas.gov.au

NOTICE OF OBJECTION TO

REF NO: P17-030
SITE: WELLINGTON STREET ROAD RESERVATION LONGFORD
PROPOSAL: PARKLET OUTSIDE LINC (heritage precinct)
CLOSING DATE: 25 FEBRUARY, 2017

We wish to make an objection to the above development on the following grounds:

1. **Use.** This is proposed outside the library in Wellington Street which has no reason for anyone to wish to sit outside. The Library does not serve tea or coffee, nor does it have a licence for anything else.
2. **Effect on foot traffic.** Many people park in the angle parking by the memorial hall, and walk up to the Library and the rest of the town from there. The Library is a resource frequently used by the community's elderly, many of whom use walkers or scooters and this would be a safety concern if access is obstructed.
3. It would also be an environmental hazard for those sitting in this area as exhaust fumes channel through this area, not to mention wind most of the year round, would make this area very uncomfortable in which to sit.
4. **Traffic.** Cars exiting Lyttleton Street to the right would find the site line very difficult, even in a high car, as the main street is higher than the side street, and the traffic is quite busy there at most times of the day when someone might sit there. Also truck and van noise is quite high when it is busy.
5. **Heritage.** I believe the heritage values of this streetscape would be compromised with anything on the pavement/road reserve between Lyttleton Street and the start of Wellington Street. The clean lines of the street and the heritage values of this most significant area in Longford need to be preserved.
6. **Positioning.** It is not clear where on the road reserve this might be placed as if it is actually on the street in the car parking spot - it will narrow the street even further causing a traffic hazard particularly for the bigger trucks coming through. If it takes part of the pavement - then it is a pedestrian hazard.

We believe this proposal is totally unsuitable for this area and will not add anything to the enjoyment of the town.

Dee Alty
19 Pakenham Street
Longford

Michael Salhani, LDC

Longford Business And Tourism Association

1 William Street, Longford, 7301

The General Manager
Northern Midlands Council

17th February, 2017

Re: Development Application P17-030

The Longford Business and Tourism Association believe that the proposed location for the parklet outside the LINC building is completely inappropriate for the following reasons:

1. The proposed site is a culturally sensitive area within the heritage precinct and the parklet design is not sensitive to the heritage values of the site.
2. The site is currently an important parking site for people accessing the LINC building, especially important for elderly and disabled patrons.
3. As LINC do not operate a café and there are presently no retail outlets in this section of Wellington St, we question the reason behind locating the parklet in this position, especially as the Church Grounds and the Village Green are in such close proximity and provide good open public areas for sitting and relaxing.
4. The DA gives no reasons or justifications for spending \$50,000 on a parklet and locating it in this position. We believe that the community should be provided with some background information regarding the reasons why this application has been submitted, and why this particular site has been chosen.
5. We are disappointed to see this DA advertised because the General Manager stated publically at a meeting of Longford Business and Tourism Association that before any parklets would be purchased and positioned there would be public consultation. This has not occurred.

Yours Sincerely

Robert Henley
Chair Person

23rd February 2017

The General Manager
Northern Midlands Council
Smith Street
Longford 7301

Dear Sir

Re: P17-030 – Parklet outside Lync in Wellington Street, Longford


In response to your proposed Parklet outside the Lync Library in Wellington Street Longford I would like to express my concerns below:

- Loss of carparking spots for the elderly and young families that regularly visit the Library and may not be able to walk too far
- Safety of people within the parklet especially if young children run in and out of the parklet and play "hide & seek" around the outside of it
- Noise of traffic constantly going past
- Vehicles turning left into Wellington Street from Lyttleton Street not being able to see parked cars along Wellington Street that are pulling out into the traffic or pedestrians attempting to cross the street
- Distractions to drivers as they "sticky beak" to see who is in the parklet
- Distractions to drivers as children or adults stand on the benches and wave to traffic
- Not much room between parklet and middle of road for larger vehicles to negotiate
- No coffee shops or other services available in that stretch of the street for anybody to want to use the parklet
- We already have a beautiful Village Green and the Christ Church grounds that people can access to sit safely and eat or drink

Maybe the money can be better allocated to:

- Village Green and the finishing off the play area. My three granddaughters that are all under 4 keep asking where is the slide
- A shelter with either half walls or full walls and a roof on (like the Transport & Road Safety Centre - "bike centre" in Launceston) that could house some tables and have benches along the sides to accommodate children's birthday parties or other events
- More tables and seating in the park
- Safety fence around play equipment
- Another BBQ

Thank you for your time and I hope you will take into consideration the points I have brought to your attention.


Karen Preece