

PLAN 3

PLANNING APPLICATION P17-100

13 & 15 HIGH STREET, ROSS

ATTACHMENTS

- A Application & plans, correspondence with applicant
- B Responses from referral agencies
- C THC Notice of Decision

A.

1-276
PLANNING APPLICATION
Proposal

Description of proposal: Proposed new shed - propriety shed modified to meet
heritage code requirements.
.....
.....
.....

(attach additional sheets if necessary)

Site address: 13 High Street, Ross & 15 High Street, Ross
.....

CT no: 163422/3 & 163422/2
.....

Estimated cost of project \$ 35,000 *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? ~~Yes~~ / No
If yes – main building is used as

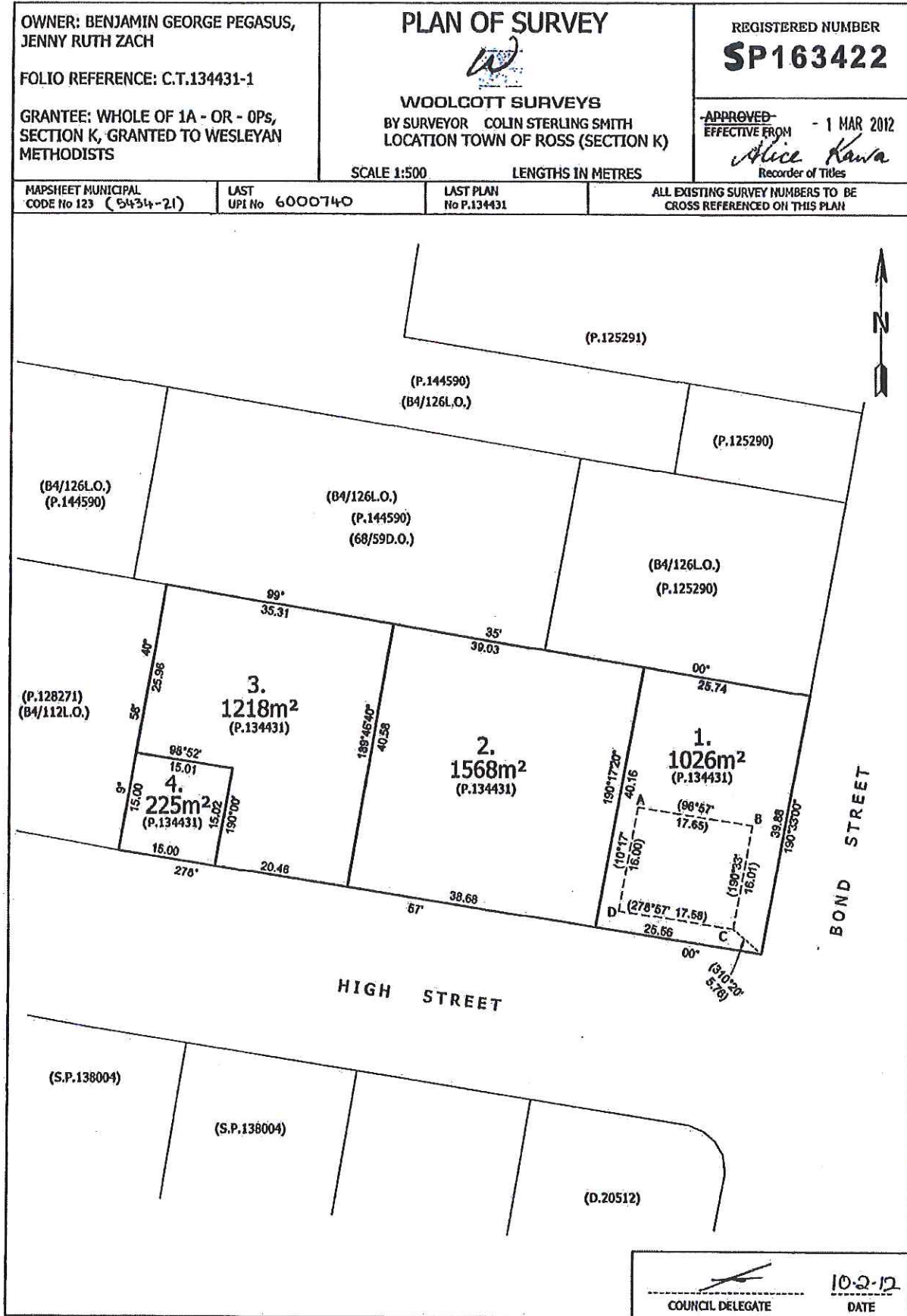
If variation to Planning Scheme provisions requested, justification to be provided:

Please see attached design response
.....
.....

Shed will be used ancillary to existing residential use at 15 High Street, once construction of future residence at 13 High Street is completed the shed will be used ancillary to that residence.

(attach additional sheets if necessary)

Is any signage required? No
(if yes, provide details)





**Prime
Design**

your build, your way

6 March 2017

Northern Midlands Council
13 High Street
Longford,
TAS 7301

To Whom it may Concern,

Re: Proposed new shed at 13 High Street, Ross

Design Statement

The proposed works involve a new proprietary shed modified so as to meet Heritage Code requirements (please see below) and consistency within the existing street scape.

The proposed shed is set back 26m from the front façade of the adjoining lot which has an existing building that provides visual separation from the street, this is similar to the location on a larger shed at 14 High Street (property opposite the subject site) which is located partially behind an existing building at 12 High Street. The proposed shed is located next to an existing shed on the Western adjoining property (11 High Street), with the 15 High Street & 16 High Street not having any similar structures.

The proposed sheds orientation is consistent with the street scape, aligned as squarely as possible to the boundaries with all buildings on the properties on both sides, the property opposite and the properties both sides of that.

The proposed shed is of a similar scale to the existing outbuildings at 11 & 14 High Street with the 15, 12 & 16 High Street not having any similar structures.

The proposed shed will be modified in such a way as the perceivable roof form from the front façade will appear to be gable, consistent with the heritage requirements and surrounding out buildings. The existing out building at 11 High street has a roof form that is also gable with a lean too off the side. The existing shed at 14 High Street also makes use of the gable roof form, also having lean toos on both sides. The existing heritage building at 15 High Street has a gable roof form. The existing residences at 11, 12, 14 & 16 High Street have hip and valley roof forms.

The proposed shed has a rectilinear plan form, as does the existing buildings at 11 & 15 High Street and the shed at 14 High Street. The existing residences at 12, 14 & 16 High Street vary from the rectilinear plan form.

The proposed shed will be modified to include a simple straight pitched verandah. Although none of the surrounding buildings at 11, 12, 14, 15 and 16 High Street do not have verandahs the decision was made to include the verandah so as to visually soften the front façade of the building giving it another heritage characteristic as set out by the Northern Midlands Planning Scheme.

The buildings surrounding 13 High Street lack any dominating architectural details this consistency is continued in the proposed shed.

No fences, gates or conservatories are proposed.

The existing houses at 12, 14 & 16 High Street do not have any heritage characteristics, nor do they have consistent placement of entrances and doors. The existing building at 15 High Street does not have an entrance facing the front wall, however the front façade is divided into thirds. The residence at 11 High Street follows the forms as set out by the Northern Midlands Planning Scheme having the entrance in the central third of the front wall. This will be continued with the proposed shed having the entrance located in the central third of the front wall. The shed at 14 High Street has the roller door located in the central third of the front wall. For the proposed shed the two side thirds, central to the third there will be roller doors so as to provide functionality and use of the proposed shed.

The locations & size of the proposed shed's windows are intended to maintain the symmetry of the front façade while also maintaining the solid/void < 30%. This symmetry and ratio can also be seen in the buildings at 11 & 15 High Street. The buildings at 12, 14 & 16 High Street do not maintain the heritage symmetry or solid/void ratio. The proposed windows have been selected as double hung as are the windows of the buildings at 11, 14 & 15 High Street.

The roof covering for the proposed shed will be corrugated iron, consistent with the corrugated iron at 11, 12, 14 & 15 High Street. 16 High Street has a tiled roof. There is a lack of consistency in the colour of the roofing materials at the surrounding properties with the colours including white, tan, red & grey. The proposed shed will have a dark grey roof covering.

The proposed shed will make use of D mould guttering & painted PVC down pipes. The roof plumbing in the surrounding area is inconsistent and includes: 11 High Street – d mould gutter & PVC painted down pipes; 12 High Street – square line gutter & rectangular down pipes; 14 High Street – square line gutter & PFC unpainted down pipes; 15 High Street – d mould gutter & colorbond round down pipes; 16 High Street – d mould gutter & PVC unpainted down pipes.

The proposed shed will be modified so as to achieve consistency with the surrounding area. Bullnose timber weatherboards painted in off white will be used. The external wall materials in the surrounding area is inconsistent and includes: 11 High Street – sandstone; 12 High Street - red-brown brick; 14 High Street – red-brown brick; 15 High Street – painted cream stone; 16 High Street – painted white lightweight horizontal cladding.

As previously discussed above, paint colours will be in keeping, where possible, with the character of the streetscape. Please also see response for F2.5.9 for colour schedule.

E13.0 Local Historic Heritage Code**E13.5.1 Alternative Use of heritage buildings**

A1 N/A

E13.6.1 Demolition

A1 N/A

E13.6.2 Subdivision and development density

A1 N/A

E13.6.3 Site Cover

A1 The proposed shed is designed in accordance with the acceptable development criteria with the site coverage is consistent with that in the surrounding heritage precinct area.

E13.6.4 Height and Bulk of Building

A1 The proposed shed is designed in accordance with the acceptable development criteria with the front façade of the building emulating the simple colonial forms of the predominantly single storey traditional buildings.

E13.6.5 Fences

A1 N/A

E13.6.6 Roof Form and Materials

A1 The proposed shed is designed in accordance with the acceptable development criteria with the roof form from the front façade being 30° pitch consistent with that of the simple colonial forms of the predominantly single storey traditional buildings in the surrounding heritage precinct area.
The use of corrugated roof sheet at the roof material consistent with the predominant roofing material in the surrounding heritage precinct area.

E13.6.7 Wall Materials

A1 The proposed shed is designed in accordance with the acceptable development criteria with the use of weatherboard for the wall cladding being consistent with the wall claddings in the surrounding heritage precinct area with buildings wall cladding in this area being predominantly weatherboard or stone.

E13.6.8 Siting of Buildings and Structures

A1 The proposed shed is designed in accordance with the acceptable development criteria with the setback being similar to that of the neighbouring outbuilding and outbuildings in the surrounding heritage precinct area.

E13.6.9 Outbuildings and Structures

A1

- a) The proposed shed is set back a greater distance from the principle frontage than that of the future residence. The proposed shed is also located behind an existing building and vegetation which shields the proposed shed from the principle frontage.
- b) The proposed shed is designed in accordance with the acceptable development criteria, please refer to E13.6.3, E13.6.6 & E13.6.7

E13.6.10 Access strips and Parking

A1 N/A

E13.6.11 Places of Archaeological Significance

A1 N/A – No places of Archaeological Significance listed in table E13.3

E13.6.12 Tree and Vegetation Removal

A1 N/A

E13.6.13 Signage

A1 N/A

F2 Heritage Precincts Specific Area Plan**F2.5.1 Setbacks**

- A1 *Complies* – The proposed shed conforms to the predominant setbacks for outbuildings in the surrounding heritage precinct area.
- A2 *Complies* – Proposed detached shed is setback minimum 3m behind the front wall of the future house.
- A3 *Complies* - Side setback is 2.0m to Western boundary.

F2.5.2 Orientation

A1

- a) *Complies* – Proposed shed is perpendicular to the street frontage
- b) N/A – Complies with a
- c) N/A – Complies with a

F2.5.3 Scale

- A1 *Complies* – Height from floor level to eaves is 3m
- A2 N/A
- A3 N/A

F2.5.4 Roof Forms

- A1.1 *Complies* – The proposed shed has a gable roof form and pitch of 30° from the frontage.
- A1.2 *Complies* – No eaves overhang
- A2 N/A
- A3 N/A
- A4 N/A

F2.5.5 Plan Form

- A1.1 N/A
- A1.2 N/A
- A2 *Complies* – rectilinear plan form

F2.5.6 External Walls

- A1.1 N/A
- A1.2
- a) *Complies* – bull-nosed timber weather board cladding
 - b) N/A – complies with a
 - c) N/A – complies with a
 - d) N/A – complies with a
- A1.3 *Complies* – No imitation materials used

F2.5.7 Entrances and Doors

- A1.1 N/A
- A1.2 *Complies* – Entrance door to shed located in central third
- A1.3 *Complies*

F2.5.8 Windows

- A1 *Complies*
- A2 *Complies*
- A3 *Complies* – Double Hung window opening.
- A4 N/A

- A5 *Complies* – Horizontally sliding sashes not used
- A6 *Complies* – Corner windows to front facade not used
- A7 *Complies*
- A8 *Complies*
- A9 N/A
- A10 *Complies*
- A11 N/A
- A12 *Complies*
- A13 – A16 N/A

F2.5.9 Roof Covering

- A1.1 N/A
- A1.2
- a) *Complies* – Please refer to response for F2.5.9 for colour schedule
 - b) N/A – complies with a
 - c) N/A – complies with a
- A2 *Complies*

F2.5.10 Roof Plumbing

- A1.1 *Complies*
- A1.2 *Complies*
- A2 *Complies*

F2.5.11 Verandahs

- A1 N/A
- A2.1 N/A
- A2.2 N/A
- A3 *Complies*

F2.5.12 Architectural details

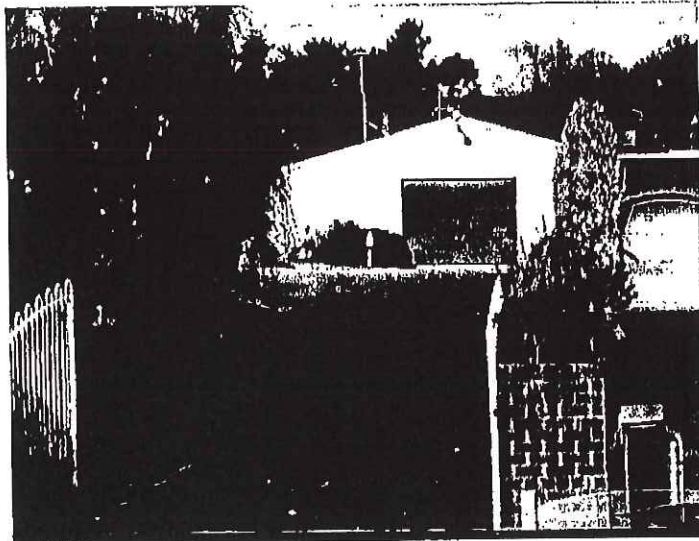
A1 N/A

A2.1 *Complies*A2.2 *Complies*

F2.5.13 Outbuildings

A1 *Does not comply*
P1

The proposed shed is designed in accordance with the acceptable development criteria with the roof form from the front façade being 30° pitch consistent with that of the simple colonial forms of the predominantly single storey traditional buildings in the surrounding heritage precinct area. The roof span perceived from the frontage is 10.5m similar to that at 14 High Street (property opposite the subject site). The actual roof span of the roofs behind the gable front is 3.5m. The proposed roof form will have little effect on & therefore is compatible with the existing streetscape as the adjoining lot has an existing building that provides visual separation of the proposed shed from the street.



Street view of shed at 14 High Street, Longford

A2 *Complies*A3 *Complies*A4 *Complies*

A5 N/A

A6 *Complies*



F2.5.14 Conservatories

A1 - A2 N/A

F2.5.15 Fences and Gates

A1.1 – A4 N/A

F2.5.16 Paint Colours

A1.1 N/A – Complies with 1.2

A1.2

- a) *Complies*
- b) *Complies*
- c) *Complies*
- d) *Complies*

A2 *Complies*

A3 N/A

Colour Schedule

Walls – Off White

Window & Door frames – Brunswick Green

Fascia & Barge Boards – Brunswick Green

Roof & Gutters – Dark Grey

F2.5.17 Lighting

A1 *Complies*

Kind regards

Bianca Cook

PROPOSED NEW SHED, 13 HIGH STREET, ROSS

B. G. PEGASUS & J. R. ZACH

BUILDING DRAWINGS

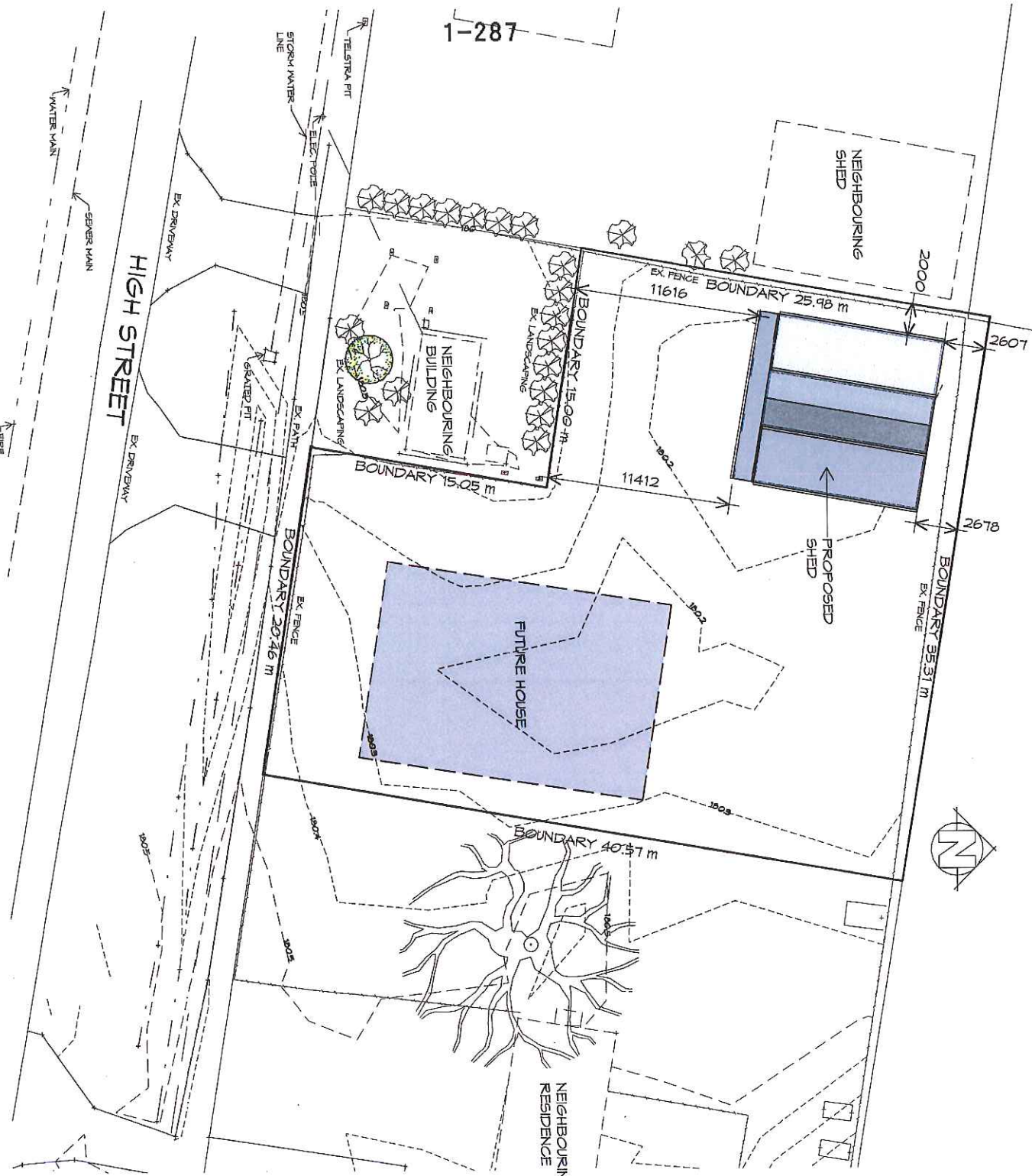
<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	TURNING CIRCLES
03	FLOOR PLAN
04	ELEVATIONS
05	ELEVATIONS
06	ROOF PLAN

PLANNING



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Accredited Building Practitioner: Frank Gekus - No CC246A

SEPTEMBER 2016



1-287

SITE PLAN

1 : 250



- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS CONCRETE ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED NEW SHED,
13 HIGH STREET,
ROSS

Client name:
B. G. PEGASUS & J. R. ZACH

Drawing:
SITE PLAN

Drafted by:
B.H.E.C.

Approved by:
F.G.G.

Date:
19-09-2016

Scale:
As indicated

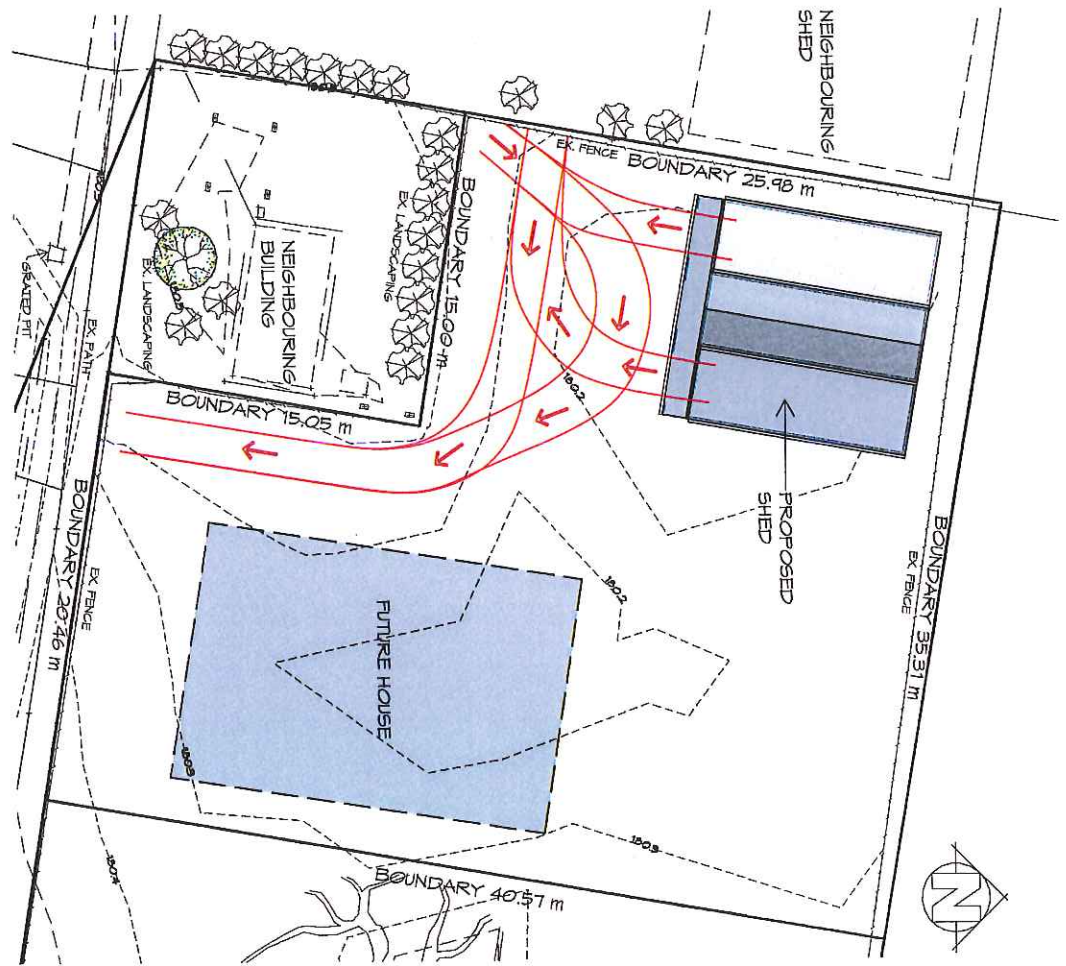
Project/Drawing no.:
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Revision:
06

P1



TURNING CIRCLES - ENTRY
1 : 250



TURNING CIRCLES - EXIT
1 : 250



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Project:
PROPOSED NEW SHED,
13 HIGH STREET,
ROSS

Drawing:
TURNING CIRCLES

P2

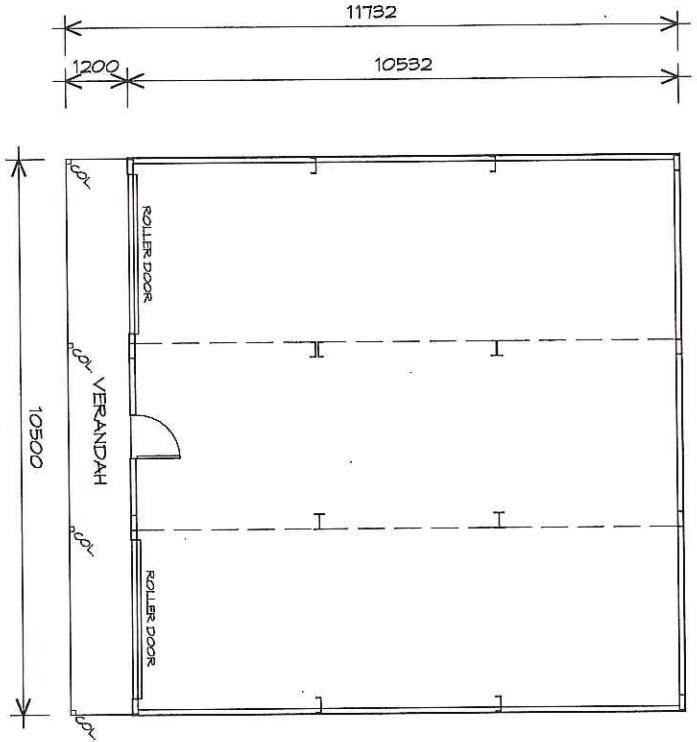
Client name:
B. G. PEGASUS & J. R. ZACH
Drawn by:
B.H.E.C.
Approved By:
F.G.G.



Date:
19-09-2016
Project/Drawing No:
PD16160-02

Revision:
06

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



FLOOR PLAN

1 : 100

SHED FLOOR AREA	110.81	m ²	(11.92	SQUARES)
VERANDAH FLOOR AREA	13.02	m ²	(1.40	SQUARES)
TOTAL	123.83			13.32		

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND
COL COLUMN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Prime Design

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Project:
**PROPOSED NEW SHED,
13 HIGH STREET,
ROSS**

Client name:
B. G. PEGASUS & J. R. ZACH

Drawing:
FLOOR PLAN

P3

Drafted by:
B.H.E.C.

Approved by:
F.G.G.

Date:
19-09-2016

Scale:
1 : 100

Project/Drawing no:
PD16160-03

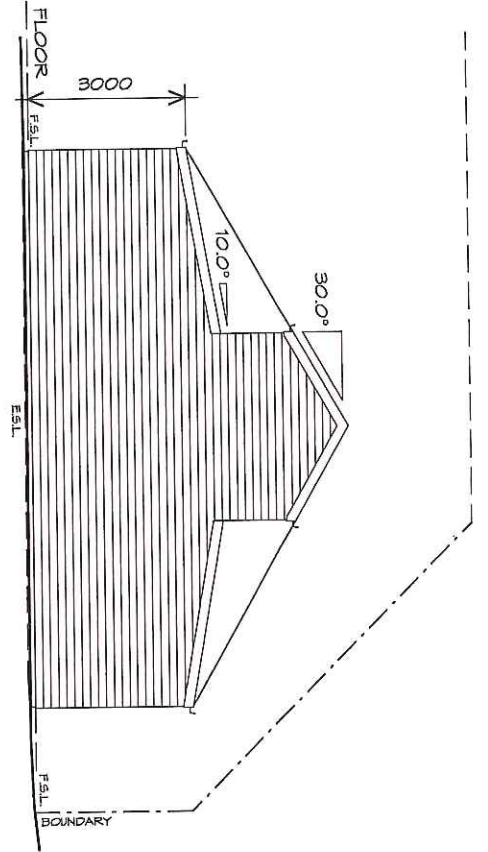
Revision:
06



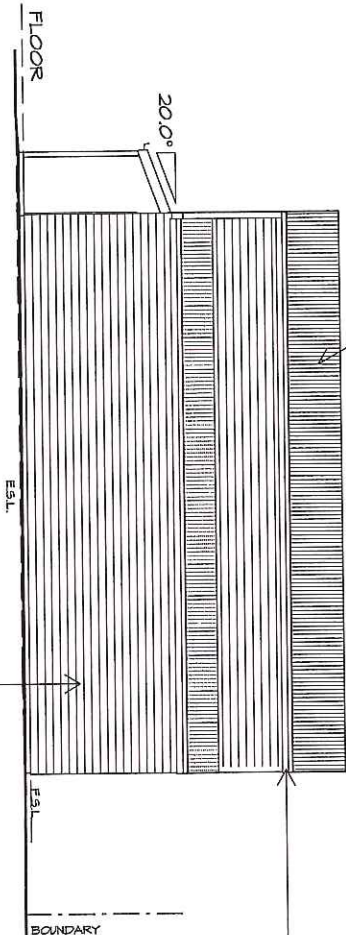
Accredited building practitioner: Frank Gaskus - No CC246A

NORTHERN ELEVATION

1 : 100



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



FASCIA
COLORBOND FOLDED METAL
-GUTTER, OG GUTTER
OR HALF ROUND GUTTER
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURERS
INSTRUCTIONS.
COLOUR TO BE SELECTED

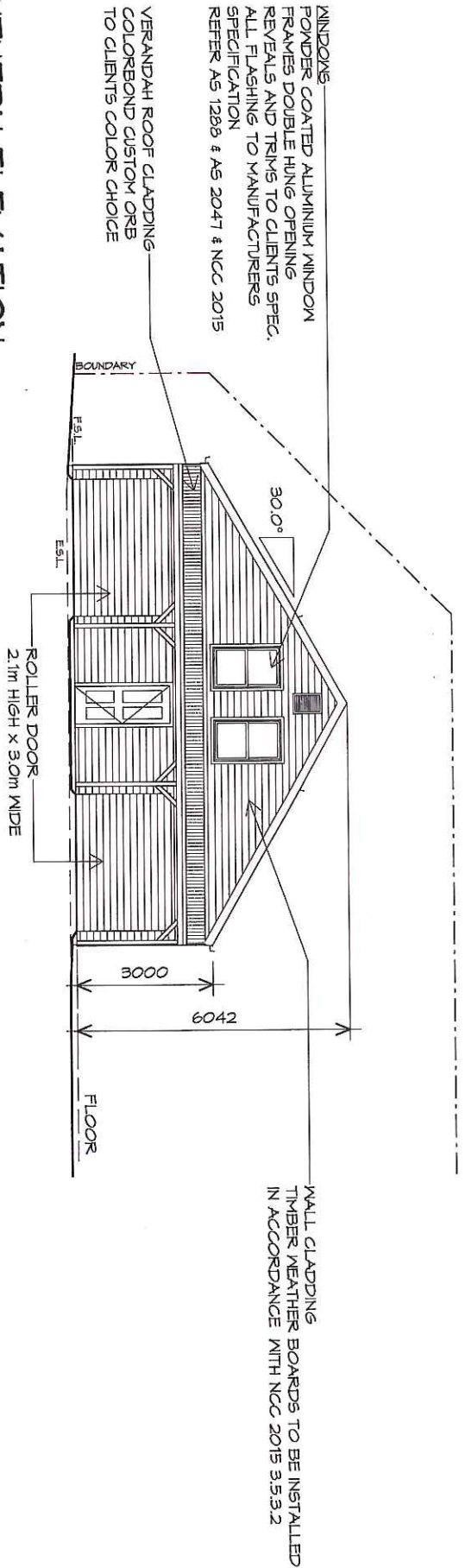
WALL CLADDING
TIMBER WEATHER BOARDS TO BE INSTALLED
IN ACCORDANCE WITH NCC 2015 3.5.3.2

EASTERN ELEVATION

1 : 100

SOUTHERN ELEVATION

1 : 100

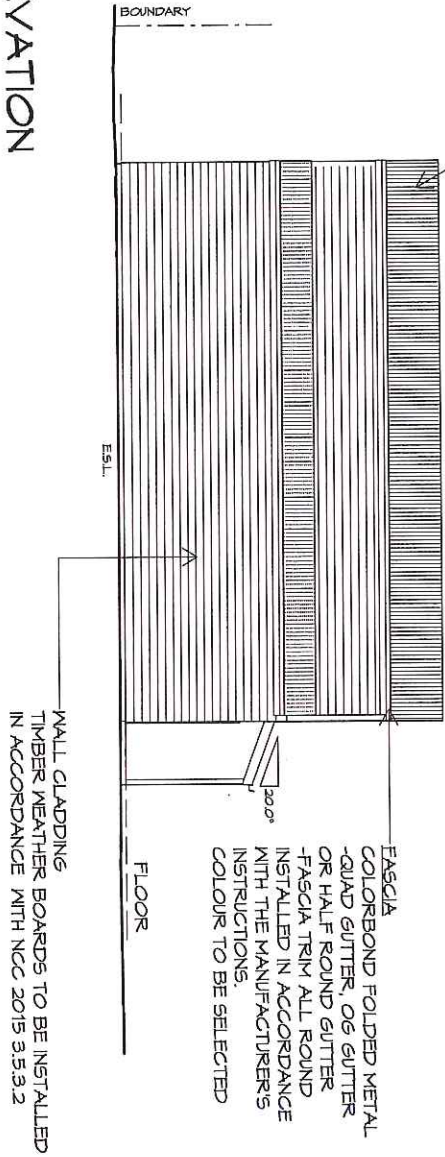


WINDOWS
POWDER COATED ALUMINIUM WINDOW
FRAMES DOUBLE HUNG OPENING
REVEALS AND TRIMS TO CLIENTS SPEC.
ALL FLASHING TO MANUFACTURERS
SPECIFICATION
REFER AS 1288 & AS 2047 & NCC 2015

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

WESTERN ELEVATION

1 : 100



FASCIA
COLORBOND FOLDED METAL
-QUAD GUTTER, 06 GUTTER
OR HALF ROUND GUTTER
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE
WITH THE MANUFACTURER'S
INSTRUCTIONS,
COLOUR TO BE SELECTED

WALL CLADDING
TIMBER WEATHER BOARDS TO BE INSTALLED
IN ACCORDANCE WITH NCC 2015 3.5.3.2



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PROPOSED NEW SHED,
13 HIGH STREET,
ROSS

Client name:
B. G. PEGASUS & J. R. ZACH
Drawing:
ELEVATIONS

P5

Drafted by:
B.H.E.C.
Approved by:
F.G.G.

Date:
19-09-2016
Scale:
1 : 100

Project/Drawing no.:
PD16160-05
Revision:
06

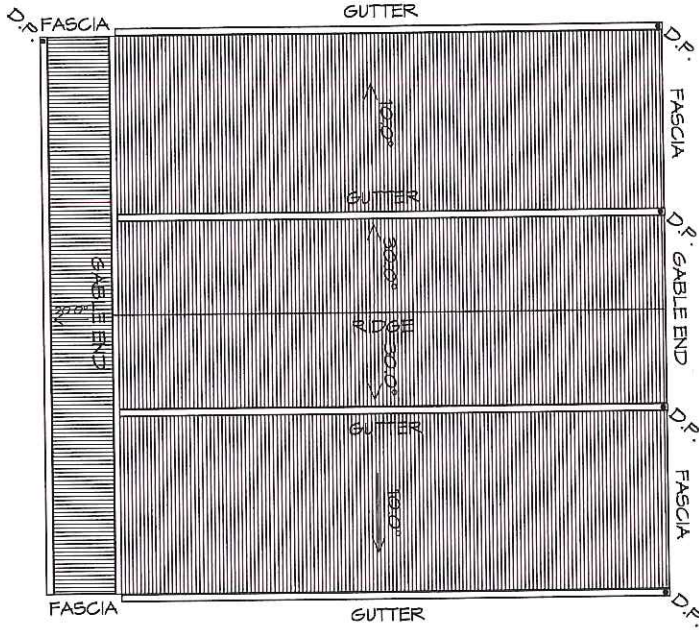


Accredited building practitioner: Frank Gasikus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

ROOF PLAN
1 : 100



ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH NCC 2015 PART 3.5.2.4. WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW. RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH NCC CLAUSE 3.5.2.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & WITHIN 1.2m FROM A VALLEY GUTTER.

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR, NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH NCC 2015 3.5.13. REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 3.5.11.2 FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS.
REFER TO NCC 2015 3.5.11.3. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPING, ANTI CAPILLARY BREAKS, FLASHING DETAILS, ROOF PENETRATION FLASHING DETAILS.



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Accredited building practitioner: Frank Gekskus No CC246A

Project:
PROPOSED NEW SHED,
13 HIGH STREET,
ROSS

Drawing:
ROOF PLAN

PL

Client name:
B. G. PEGASUS & J. R. ZACH
Drafted by:
B.H.E.C.

Date:
19-09-2016
Scale:
1 : 100

Revision:
06



Approved By:
F.G.G.
Project/Drawing No:
PD16160-06



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Report on
Archaeological Investigations

Former Ross Methodist
Sunday School & Wesleyan Chapel

15 High Street, Ross, Tasmania

Brad Williams
Historical Archaeologist

For Mr. Benjamin Pegasus

February 2011

Contents:

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This document was written by Brad Williams (BA.Hons Archaeology, G.Dip Maritime Archaeology, MA Cultural Heritage Management)
Historical Archaeologist and Director of Praxis Environment.

Unless otherwise stated, all photographs were taken by Brad Williams, February 2010.

Unless otherwise stated, the north point (or approximate) of maps and plans is to the top of the page.

This document may be used for not-for-profit research with appropriate citation.

Document control	Date	Cleared
Draft complete	21/02/11	BW
Client signoff on draft		
Final provided		

1. Executive summary

Pursuant to the findings of the *Statement of Archaeological Potential, Former Ross Methodist Sunday School and Wesleyan Chapel* (Praxis Environment, November 2011) - as part of a proposed subdivision of 15 High Street Ross, Tasmania, this report has been commissioned by the owner, Mr. Benjamin Pegasus, in response to a request from the Northern Midlands Council (and pursuant to The Tasmanian Heritage Council's condition approval of that subdivision) to further investigate the likelihood of significant archaeological or human remains in certain parts of that site.

This report presents the findings of archaeological investigations of a proposed building envelope on the corner of High and Bond Streets, as well as proposed service trenches to both that building envelope, and the existing former Sunday School building on the site.

Topsoil across the building envelope and along the proposed service trench lines was stripped under archaeological supervision, to investigate any evidence of ground disturbance or remains which may indicate burials or other significant cultural activity on those parts of the site. Test trenches to investigate the natural geological strata of the site were also excavated, in order to test the methodology employed to determine disturbance.

In summary, this report finds that:

- There is an **extremely low** likelihood, if any likelihood at all, that there have been any burials within the proposed building envelope or along the lines of proposed service trenches. Therefore, the area investigated has been designated as an area of **little or no archaeological potential**.

Therefore, pursuant to Recommendation 3 of the Statement of Archaeological Potential, and consistent with the Tasmanian Heritage Council's conditional approval of the subdivision, it is considered that any future development within that building envelope, or the installation of the proposed service trenches (as per Figure 2.2) **does not need any further archaeological input, apart from monitoring at the time of development, as per Recommendation 1 of the SoAP, as there is little or no likelihood that development will encounter, disturb or obscure any human or significant archaeological remains.**

It is therefore considered that archaeological considerations **should not preclude future development in these areas.**

2. Background

This investigations that form this report were commissioned by the property owner, Mr. Benjamin Pegasus, in response to a request from the Northern Midlands Council, and pursuant to the findings of the *Statement of Archaeological Potential, Former Ross Methodist Sunday School and Wesleyan Chapel* (Praxis Environment, November 2011) – hereinafter referred to as the SoAP. This report should be read in conjunction with that document.

Drawn from the SoAP, the following is a summary of the key points relating to the evolution of the site:

- The Ross Wesleyan Methodist Chapel was constructed on the site in 1838 and demolished in 1932.
- The chapel keeper/sexton's cottage was constructed in 1845 and demolished in 1915.
- Stables were constructed in 1846, and relocated in 1905.
- The (still standing) Sunday school was constructed in 1854.
- A cemetery was established on the site prior to 1844. It is not known how many people were buried in the cemetery, although the use period of the cemetery is likely to have only been 15 years, therefore the number of burials is not likely to be large.
- Prior to 1946 (and probably after 1921), the remaining headstones have been relocated to the northern boundary of the site.

The SoAP identified certain areas of the site which are likely to have the potential to yield archaeological remains of early buildings, and human remains associated with mid-nineteenth century burials likely to have been on the site. Figure 2.1 depicts these areas of archaeological potential.

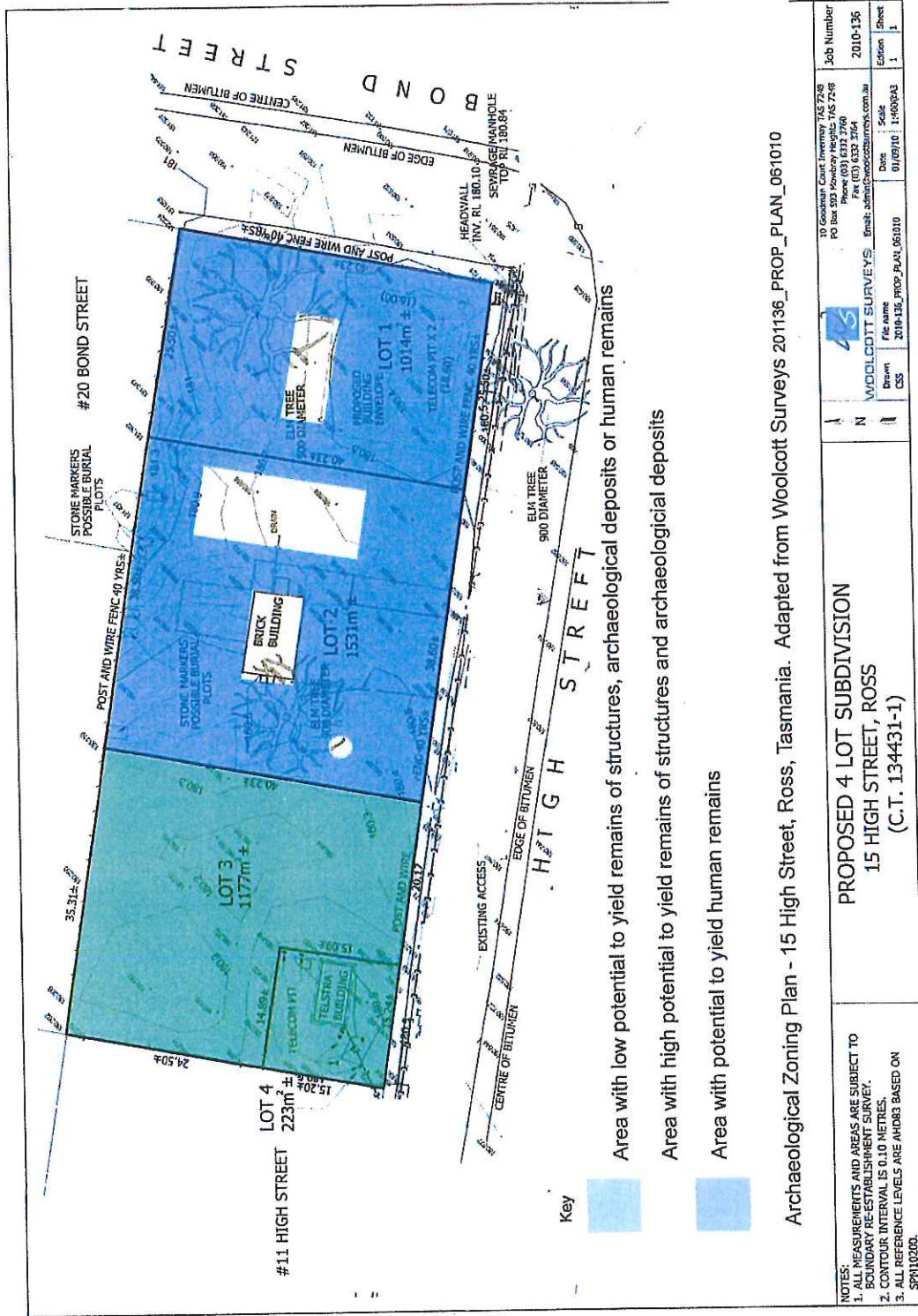


Figure 2.1 – Areas of archaeological potential, former Ross Methodist Sunday School. Adapted from Woolcott Surveys 201136_PROP_PLAN_061010

The SoAP was a desktop and non-invasive survey of the site – the scope did not include excavations. Whilst the SoAP was able to conclusively define the areas of former building footprints on the site, it was noted that due to the lack of conclusive evidence on the exact location of graves, the 'blue' area defined was considerably wider than it would be if knowledge of these sites could be gained.

To guide the management of the archaeological values of the former Methodist Sunday School in any future development, the following archaeological management policies were proposed in the SoAP (and endorsed by the Tasmanian Heritage Council via a conditional approval for the development of the place):

1. That development of the areas deemed to be of low potential to yield archaeological remains relating to the Wesleyan Chapel and associated outbuildings and low likelihood to contain human remains, proceed without the need for prior archaeological investigations, however any ground disturbance works must be monitored by an archaeologist to ensure that no unexpected human remains are disturbed.
2. That development in the areas deemed to be of high potential to yield archaeological information relating to the early Wesleyan Chapel and associated outbuildings be preceded by archaeological investigations of those building footprints, in accordance with the Tasmanian Heritage Council's Practice Note 2 (*Managing Historical Archaeological Potential in the Works Application Process*) in order to extract all archaeological information from those remains (and only with the approval of the Tasmanian Heritage Council). Note that it is likely that the Tasmanian Heritage Council would only approve such development if it were satisfied that there was no prudent or feasible alternative to development, in-line with s41 of the *Historic Cultural Heritage Act 1995*.
3. That no development occur in areas deemed to be of high potential to contain human remains, **unless** further investigation confirms that these areas **do not** contain human remains, in which case development may proceed subject to the conditions outlined in (1) above.

As part of the overall site redevelopment, currently being considered by the Northern Midlands Council (and already conditionally approved by the Tasmanian Heritage Council), and pursuant to Recommendation 3 of the SoAP, it was considered beneficial to further investigate certain areas of the site proposed for future development, namely:

- The building envelope on the corner of Bond and High Streets
- Proposed service lines into the building envelope, and former Sunday School building.

These areas are depicted on Figure 2.2:

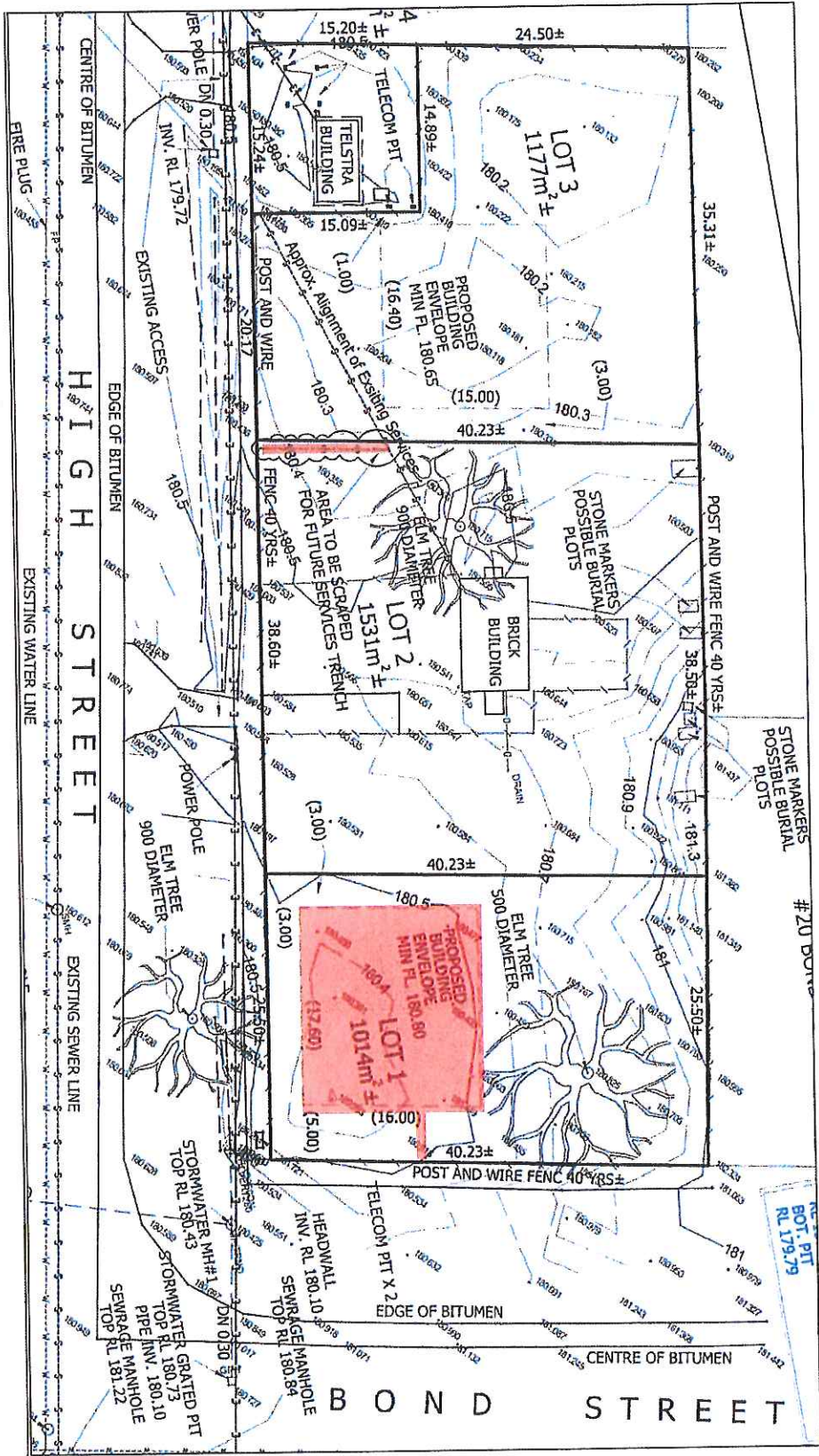


Figure 2.2 – Areas excavated (red) for the current report (adapted from Woolcott Surveys drawing 2010-136_PROP_PLAN_091210).

3. Archaeological methodology and results

These works were undertaken under a certificate of *Exemption from Works Approval* issued by Heritage Tasmania, as they were considered to not have any impact upon the historic cultural heritage values of the site – merely to investigate and refine an archaeological judgment, without disturbance of significant archaeological remains. Similarly, Northern Midlands Council had confirmed that these works did not require approval under the Northern Midlands Planning Scheme.

Rationale

The rationale of the works was to investigate the possibility of disturbance of the areas defined in Figure 1.2, which may be indicative of burials. Specifically, evidence of disturbance or burials would be in the form of:

- Any remnant headstones, grave surrounds or other material culture associated with burials.
- Any evidence of ground disturbance consistent with the size or pattern of burial plots – specifically lower geological strata having been raised towards the ground surface through deep excavation required for a grave.

A secondary rationale was to ensure that there were no previously unknown structural (or other cultural) remains in the area.

Geological context

In order to test the validity of the methodology employed to test for deep disturbance across the site, an understanding of the natural geological strata was required. This was gained by excavating to 600mm along the lines of proposed service trenches, to ascertain whether the deeper strata was substantially different to the overlying strata, therefore would be represented in the overlying strata should deeper disturbance have occurred in the past.

Also confirmed by the broadscale excavations, it was found that general geological strata across undisturbed portions of the site consisted of (also see Figure 3.1):

Element	Colour (Munsell standard)	General density	Thickness
Topsoil – loam	7.5YR 4/1	Loosely compacted, with humic matter throughout.	50-200mm
Sandy loam	7.5YR 7/6 – 7.5YR 5/1	Very hard packed	100-150mm
Black clay	10YR 2/1	Very dense	200-300mm
Green/grey clay	5Y 4/4	Very dense	Unknown

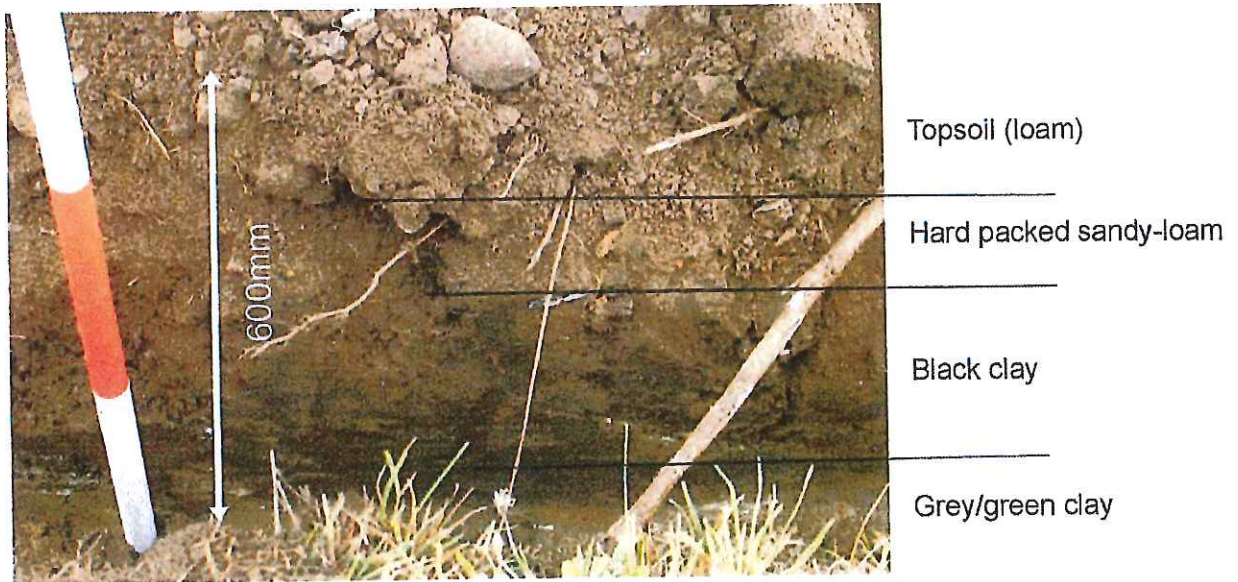


Figure 3.1 – Typical section of the natural geological strata at 15 High Street, Ross.

Given the distinctly different shallow strata (i.e. investigated to 600mm) consistent across the site, and also that the horizons between these strata were very distinct, it is considered valid to investigate disturbance based upon the intrusion of deeper strata into shallower strata – therefore the methodology employed here is deemed valid.

Approach to works and results

The area of broadscale excavation (i.e. the building envelope) was pegged out, and under archaeological supervision the topsoil was scraped off using a mechanical excavator, fitted with a 900mm smooth-edged bucket. The building envelope was scraped in 3-metre wide sections (running east-west), 50mm depth at a time, to the upper horizon of the hard-packed sandy loam. Following exposure and recording, each strip was then backfilled (owing to site constraints in the immediate work area). The proposed service trenches were excavated in a single 900mm strip to the hard packed surface, then further excavated to 600mm to further investigate natural strata (and in anticipation of service installations).

Topsoil to the northern portion of the building envelope was thicker, being up to 200mm thick, gradually decreasing towards the southern portion of this area to a thickness of 50mm. Generally, the topsoil was very clean – although some sandstone rubble was common in the northernmost strip. This rubble did not resemble construction or demolition rubble (i.e. was not worked, and showed no evidence of mortar), nor did it resemble any part of headstones or grave surrounds. The proximity of this area to the former stables site (immediately northward) would suggest that it was rubble fill, probably used to form a hard surface in front of the stables – therefore of little or no significance.

Very few cultural artifacts were found in the topsoil – only several pieces of nineteenth-century tableware ceramics and bottle glass were found – these are not inconsistent with sites in proximity to nineteenth-century settlement areas, and are not deemed significant. The hard-packed sandy loam was further scraped in places, and in all instances this strata was completely devoid of any cultural material.

With removal of the topsoil across the entire building envelope area, the exposed hard-packed sandy loam was very consistent across the entire area, and in no place was lower strata (i.e. black clay) found within this sandy loam. This, coupled with the sterile nature of that stratum, suggests that **this area has not been subject to any deep disturbance** which would have resulted in lower strata being present at this level.

Figures 3.2 to 3.7 show the six three-metre strips from north-south (all photographs facing east), following removal of the topsoil:



Figure 3.2 – The northernmost portion of the excavation area following removal of topsoil.



Figure 3.3 – The second-northernmost portion of the excavation area following removal of topsoil.



Figure 3.4 – The third-northernmost portion of the excavation area following removal of topsoil.



Figure 3.5 – The third-southernmost portion of the excavation area following removal of topsoil.



Figure 3.6 – The second-southernmost portion of the excavation area following removal of topsoil.



Figure 3.7 – The southernmost portion of the excavation area following removal of topsoil.



Figure 3.8 – The proposed service trench to the existing Sunday School building following removal of topsoil. Further excavation of this line also yielded sterile ground.

4. Conclusion and recommendations

Given the findings outlined in Section 3, it can be concluded that there is an **extremely low** likelihood, if any likelihood at all, that there have been any burials within the proposed building envelope or along the lines of proposed service trenches. Therefore, the area investigated has been designated as an area of **little or no archaeological potential**.

Therefore, pursuant to Recommendation 3 of the Statement of Archaeological Potential, and consistent with the Tasmanian Heritage Council's conditional approval of the subdivision, it is considered that any future development within that building envelope, or the installation of the proposed service trenches (as per Figure 2.2) **does not need any further archaeological input, apart from monitoring at the time of development, as per Recommendation 1 of the SoAP, as there is little or no likelihood that development will encounter, disturb or obscure any human or significant archaeological remains.**

It is therefore considered that archaeological considerations **should not preclude future development in these areas.**

Rosemary Jones

From: Jonathan Galbraith
Sent: Thursday, 13 April 2017 3:40 PM
To: NMC Planning
Cc: Erin Boer
Subject: RE: W&I referral P17-100, 13 & 15 High Street, ROSS

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Sent to ECM

Rosemary,

I don't believe there is any reason why this access will need upgrading, we don't expect people to seal their accesses in Ross.

Erin,

If there is some reason why the access needs upgrading please let me know.

Regards,

Jonathan Galbraith



Engineering Officer | Northern Midlands Council
 Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
 T: (03) 6397 7303 | M: 0400 935 642 | F: (03) 6397 7331
 E: jonathan.galbraith@nmc.tas.gov.au | W: www.northernmidlands.tas.gov.au

T a s m a n i a ' s H i s t o r i c H e a r t

From: NMC Planning
Sent: Thursday, 13 April 2017 1:13 PM
To: Jonathan Galbraith <jonathan.galbraith@nmc.tas.gov.au>
Subject: W&I referral P17-100, 13 & 15 High Street, ROSS

Hi Jonathan,

This referral relates to whether or not this property will need an upgrade of the crossover. Please Liaise with Erin if you have any queries.

Rosemary Jones



Administration Officer - Development Services | Northern Midlands Council
 Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
 T: (03) 6397 7303 | F: (03) 6397 7331
 E: rosemary.jones@nmc.tas.gov.au | W: www.northernmidlands.tas.gov.au

T a s m a n i a ' s H i s t o r i c H e a r t

NORTHERN MIDLANDS COUNCIL

Assessment against E13.0 (Local Historic Heritage Code)

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN

DATE: 13-Apr-2017

REF NO: P17-100; 400900.065

SITE: 13 & 15 High Street, Ross

PROPOSAL: Garage (10.5m x 11.7m) ancillary to existing dwelling at #15 High St - vary rear setback (heritage listed place within heritage precinct)

APPLICANT: Prime Design

REASON FOR REFERRAL: HERITAGE PRECINCT

HERITAGE-LISTED PLACE
Local Historic Heritage Code
Heritage Precinct Specific Area Plan

Do you have any objections to the proposal? No

Do you have any other comments on this application?

I recommend that the 30 degree roof section be extended 1.5 metres back from the front wall to help integrate the upper section of the front facade with the lower, 10 degrees sections of roof. The cladding colours will need to be approved prior to construction.



David Denman (Heritage Adviser)

Date: 9.5.2017

E13.1 Purpose

E13.1.1 The purpose of this provision is to:

- a) protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and
- b) encourage and facilitate the continued use of these items for beneficial purposes; and
- c) discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and
- d) ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and
- e) conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place

E13.2 Application of the Code

E13.2.1 This code applies to use or development of land that is:

- a) within a Heritage Precinct;
- b) a local heritage place;
- c) a place of identified archaeological significance.

Comment:

The subject site is within a Heritage Precinct.
The subject place is heritage listed.

E13.5 USE STANDARDS

E13.5.1 Alternative Use of heritage buildings

Comment: N/a

E13.6 DEVELOPMENT STANDARDS

E13.6.1 Demolition

Comment: N/a

E13.6.2 Subdivision and development density

Comment: N/a

E13.6.3 Site Cover

Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.

Acceptable Solutions	Performance Criteria
A1 Site coverage must be in accordance with the acceptable	P1 The site coverage must: a) be appropriate to maintaining the character and

development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	appearance of the building or place, and the appearance of adjacent buildings and the area; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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Comment: Satisfies the performance criteria.

E13.6.4 Height and Bulk of Buildings

Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.5 Fences

Comment: N/a

E13.6.6 Roof Form and Materials

Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Roof form and materials for new buildings and structures must: a) be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.7 Wall materials

Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Wall material for new buildings and structures must: a) be complementary to wall materials of the dominant buildings on the site or in the precinct; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.8 Siting of Buildings and Structures

Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The front setback for new buildings or structure must: a) be consistent with the setback of surrounding buildings; and b) be set at a distance that does not detract from the historic heritage significance of the place; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.9 Outbuildings and Structures

Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Outbuildings and structures must be: a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New outbuildings and structures must be: a) designed and located; to be subservient to the primary buildings on the site; and b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.10 Access Strips and Parking

Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
<p>A1 Car parking areas for non-residential purposes must be:</p> <p>a) located behind the primary buildings on the site; or</p> <p>b) in accordance with the acceptable development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.</p>	<p>P1 Car parking areas for non-residential purposes must not:</p> <p>a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the setting of a building or its historic heritage significance; and</p> <p>b) detract from meeting the management objectives of a precinct identified in Table 1: Heritage Precincts, if any.</p>

Comment: Meets acceptable solution (non-residential car parking located behind the building line). Satisfies the performance criteria.

E13.6.11 Places of Archaeological Significance

Comment: N/a

E13.6.12 Tree and Vegetation Removal

Comment: N/a

E13.6.13 Signage

Comment: N/a

E13.6.14 Maintenance and Repair

Comment: N/a

Table E13.1: Local Heritage Precincts

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

Existing Character Statement - Description and Significance

ROSS HERITAGE PRECINCT CHARACTER STATEMENT
<p>The Ross Heritage Precinct is unique because it is the intact core of a nineteenth century townscape, with its rich and significant built fabric and the village atmosphere. Its historic charm, wide tree lined streets and quiet rural environment all contribute to its unique character. Its traditional buildings comprise simple colonial forms that are predominantly one storey, while the prominent elements are its significant trees and Church spires. Most commercial activities are located in Church Street as the main axis of the village, which directs attention to the War Memorial and the Uniting Church on the hill. The existing and original street pattern creates</p>

linear views out to the surrounding countryside. The quiet rural feel of the township is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Ross' heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.

Management Objectives

To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.
 To ensure developments within street reservations in the towns and villages having Heritage Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.

Comment: The proposal is consistent with the Heritage Precinct Character Statement and satisfies the Management Objectives.

Assessment against F2.0 (Heritage Precincts Specific Area Plan)

- F2.1 Purpose of Specific Area Plan**
 F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a **positive contribution to the streetscape** within the Heritage Precincts.
- F2.2 Application of Specific Area Plan**
 F2.2.1 This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.
 F2.2.2 The following development is exempt from this Specific Area Plan:
 a) works required to comply with an Emergency Order issued under section 162 of the Building Act 2000;
 b) electricity, optic fibre and telecommunications cables, and water, sewerage, drainage connections and gas lines to individual buildings;
 c) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
 d) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
 e) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead wood, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
 f) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.
- F2.3 Definitions**
 F2.3.1 **Streetscape**
 For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building facade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).
- F2.3.2 Heritage-Listed Building**
 For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.
- F2.4 Requirements for Design Statement**
 F2.4.1 In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.
 F2.4.2 The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The

elements described must be shown to be the basis for the design of any new development.

F2.4.3 The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.

Comment: The subject site is within the Heritage Precincts Specific Area Plan and a design statement was provided.

F2.5 STANDARDS FOR DEVELOPMENT

F2.5.1 Setbacks

Objective: To ensure that the predominant front setback of the existing buildings in the streetscape is maintained, and to ensure that the impact of garages and carports on the streetscape is minimised.

Acceptable Solutions & performance criteria

A1 The predominant front setback as identified in the design statement must be maintained for all new buildings, extensions, alterations or additions (refer Figure F2.4 & F2.8).	P1 The front setback must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area; e) the historic cultural heritage significance of adjacent places; and f) the streetscape.
A2 New carports and garages, whether attached or detached, must be set back a minimum of 3 metres behind the line of the front wall of the house which it adjoins (refer Figure F2.3, & F2.7).	P2 The setback of new carports and garages from the line of the front wall of the house which it adjoins must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area; e) the historic cultural heritage significance of adjacent places; and f) the streetscape.
A3 Side setback reductions must be to one boundary only, in order to maintain the appearance of the original streetscape spacing.	P3 Side setbacks must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area; e) the historic cultural heritage significance of adjacent places; and

j) the streetscape.
 Comment: Meets the Acceptable Solutions.

F2.5.2 Orientation

Objective: To ensure that new buildings, extensions, alterations and additions respect the established predominant orientation within the streetscape.

Acceptable Solutions & performance criteria	
A1 All new buildings, extensions, alterations or additions must be orientated: a) perpendicular to the street frontage (refer Figure F2.5, F2.6, & F2.8); or b) Where the design statement identifies that the predominant orientation of buildings within the street is other than perpendicular to the street, to conform to the established pattern in the street; and c) A new building must not be on an angle to an adjoining heritage-listed building (refer Figure F2.5).	P1 Orientation of all new buildings, extensions, alteration or additions must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area; and e) the historic cultural heritage significance of adjacent places; and f) the streetscape.

Comment: Meets the Acceptable Solutions.

F2.5.3 Scale

Objective: To ensure that all new buildings respect the established scale of buildings in the streetscape, adhere to a similar scale, are proportional to their lot size and allow an existing original main building form to dominate when viewed from public spaces.

Acceptable Solutions (no performance criteria)

A1 Single storey developments must have a maximum height from floor level to eaves of 3 metres (refer Figure F2.14).
A2 Where a second storey is proposed it must be incorporated into the roof space using dormer windows, or roof windows, or gable end windows, so as not to detract from original two storey heritage-listed buildings (refer Figure F2.13 & F2.15).

A3 Ground floor additions located in the area between the rear and front walls of the existing house must not exceed 50% of the floor area of the original main house.

Comment: Meets the Acceptable Solutions.

F2.5.4 Roof Forms

Objective: To ensure that the roof form and elements respect those of the existing main building and the streetscape.

Acceptable Solutions & performance criteria	
A1.1 The roof form for new buildings, extensions, alterations, and additions must, if visible from the street, be in the form of hip or gable, with a pitch between 25 – 40 degrees (refer Figure F2.14 & F2.18), or match the existing building, and A1.2 Eaves overhang must be a maximum of 300mm excluding guttering, or match the existing building.	P1 The roof form of all new buildings, extensions, alteration or additions must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the design, period of construction and materials of the dominant building on site; c) the dominant roofing style and materials in the setting; and d) the streetscape.

A2 Where there is a need to use the roof space, dormer windows are acceptable and must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant (refer Figure F2.15).

A3 Where used, chimneys must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant.

A4 Metal coils must not be used where they will be seen from the street.

Comment: Meets the Acceptable Solutions.

F2.5.5 Plan Form

Objective: To ensure that new buildings, alterations, additions and extensions respect the setting, original plan form, shape and scale of the existing main building on the site or of adjoining heritage-listed buildings.

Acceptable Solutions

Acceptable Solutions	Performance Criteria
A1.1 Alterations and additions to pre-1940 buildings must retain the original plan form of the existing main building; or A1.2 The plan form of additions must be rectilinear or consistent with the existing house design and dimensions.	P1 Original main buildings must remain visually dominant over any additions when viewed from public spaces.
A2 The plan form of new buildings must be rectilinear (refer Figure F2.9).	P2 No performance criteria

Comment: Meets the Acceptable Solutions

F2.5.6 External Walls

Objective: To ensure that wall materials used are compatible with the streetscape.

Acceptable Solutions		Performance Criteria
<p>A1.1 Materials used in additions must match those of the existing construction, except in additions to stone or brick buildings; and</p> <p>A1.2 External walls must be clad in:</p> <p>a) traditional bull-nosed timber weatherboards; if treated pine boards are used to replace damaged weatherboards they must be painted; thin profile compressed board weatherboards must not be used; or brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), including:</p> <ul style="list-style-type: none"> • pointed standard size bricks; or • standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or • standard brickwork rendered in traditional style; or • if a heritage-listed building, second-hand traditional local bricks. <p>b) Heavily-tumbled clinker bricks must not be used; or</p> <p>c) concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted;</p> <p>d) concrete blocks in natural concrete finish must not be used.</p> <p>A1.3 Cladding materials designed to imitate traditional materials such as brick, stone and weatherboards must not be used.</p>		
	P1	Wall materials must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:
	a)	the cultural heritage values of the local heritage place, its setting and the precinct;
	b)	the design, period of construction and materials of the dominant building on site;
	c)	the dominant wall materials in the setting; and
	d)	the streetscape.

Comment: Meets the Acceptable Solutions

F2.5.7 Entrances and Doors

Objective: To ensure that the form and detail of the front entry is consistent with the streetscape.

Acceptable Solutions & performance criteria		Performance Criteria
A1.1	The position, shape and size of original door and window openings must be retained where they are prominent from public spaces; and	P1 Entrances and doors must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:
A1.2	The front entrance location must be in the front wall facing the street, and be located within the central third of the front wall of the house; and	a) the cultural heritage values of the local heritage place, its setting and the precinct;
A1.3	Modern front doors with horizontal glazing or similar styles must not be used (refer Figure F2.21).	b) the design, period of construction and materials of the dominant building on site; and
		c) the streetscape.

Comment: Meets the Acceptable Solutions

F2.5.8 Windows

Objective: To ensure that window form and details are consistent with the streetscape.

Acceptable Solutions & performance criteria		Performance Criteria
<p>A1 Window heads must be a minimum of 300mm below the eaves line, or match the existing.</p> <p>Solid-void ratio</p> <p>A2 Front facade windows must conform to the solid/void ratio (refer Figure F2.24 & F2.25).</p>		
	P2	For commercial buildings, the solid/void ratio of front facade windows must be compatible with that of heritage-listed commercial buildings in the precinct.
<p>Window sashes</p> <p>A3 Window sashes must be double hung, casement, awning or fixed appropriate to the period and style of the building (refer Figure F2.22 & F2.23).</p> <p>A4 Traditional style multi-pane sashes, when used, must conform to the traditional pattern of six or eight vertical panes per sash with traditional size and profile glazing bars.</p> <p>A5 Horizontally sliding sashes must not be used.</p> <p>A6 Corner windows to front facades must not be used.</p> <p>Window Construction Materials</p> <p>A7 Clear glass must be used.</p> <p>A8 Reflective and tinted glass and coatings must not be used where visible from public places.</p> <p>A9 Additions to heritage-listed buildings must have timber window frames, where visible from public spaces.</p> <p>A10 Painted aluminium must only be used where it cannot be seen from the street and in new buildings, or where used in existing buildings</p>		
	P10	Window frames must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to the cultural heritage values of the local heritage place, its setting and the precinct.
<p>A11 Glazing bars must be of a size and profile appropriate for the period of the building</p> <p>A12 Stick-on aluminium glazing-bars must not be used</p> <p>A13 All windows in brick or masonry buildings must have projecting brick or stone sills, or match the existing.</p> <p>French Doors, Bay Windows and Glass Panelling</p> <p>A14 French doors and bay windows must be appropriate for the original building style and must be of a design reflected in buildings of a similar period.</p> <p>A15 Where two bay windows are required, they must be symmetrically placed.</p> <p>A16 Large areas of glass panelling must:</p> <p>a) Be divided by large vertical mullions to suggest a vertical orientation; and</p> <p>b) Be necessary to enhance the utility of the property or protect the historic fabric; and</p> <p>c) Not detract from the historic values of the original building.</p>		
Comment: Meets the Acceptable Solutions		

F2.5.9 Roof Covering

Objective: To ensure that roof materials are compatible with the streetscape.

Acceptable Solutions (no performance criteria)	
A1.1 Roofing of additions, alterations and extensions must match that of the existing building, and	

<p>A1.2 Roof coverings must be:</p> <p>a) corrugated iron sheeting in grey tones, brown tones, dark red, or galvanized iron</p> <p>or</p> <p>b) slate or modern equivalents, shingle and low profile tiles, where compatible with the style and period of the main building on the site and the setting. Tile colours must be:</p> <ul style="list-style-type: none"> • dark grey; or • light grey; or • brown tones; or • dark red; <p>or</p> <p>c) traditional metal tray tiles where compatible with the style and period of the main building on the site.</p> <p>d) for additions, alterations and extensions, match that of the existing building.</p> <p>A2 Must not be clip-lock steel deck and similar high rib tray sheeting.</p> <p>Comment: Meets the Acceptable Solutions, but a condition is required.</p>

<p>F2.5.10 Roof Plumbing</p> <p>Objective: To ensure that roof plumbing and fittings are compatible with the streetscape.</p> <p>Acceptable Solutions (no performance criteria)</p> <p>A1.1 Gutters must be OG, D mould, or Half Round profiles (refer Figure F2.26), or match the existing guttering; and</p> <p>A1.2 Downpipes must be zincalume natural, colorbond round, or PVC round painted.</p> <p>A2 Downpipes must not be square-line gutter profile or rectangular downpipes (refer Figure F2.27), or match the existing downpipes.</p> <p>Comment: Meets the Acceptable Solutions.</p>

<p>F2.5.11 Verandahs</p> <p>Objective: To ensure that traditional forms of sun and weather protection are used, consistent with the streetscape.</p> <p>Acceptable Solutions & performance criteria</p> <p>New Verandahs</p> <p>A3 A new verandah, where one has not previously existed, must be consistent with the design and period of construction of the dominant existing building on the site or, for vacant sites, those of the dominant design and period within the precinct.</p> <p>Comment: Meets the Acceptable Solutions</p>

<p>F2.5.12 Architectural Details</p> <p>Objective: To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.</p> <p>Acceptable Solutions (no performance criteria)</p> <p>Original Detailing</p> <p>A1 Original details and ornaments, such as architraves, fascias and mouldings, are an essential part of the building's character and must not be removed beyond the extent of any alteration, addition or extension.</p> <p>Non-original Detailing</p>

<p>A2.1 Non-original elements must be consistent with the original architectural style of the dominant existing building on the site or, for vacant sites, be consistent with the existing streetscape, and</p> <p>A2.1 Non-original elements must not detract from or dominate the original qualities of the building, nor should they suggest a past use which is not historically accurate.</p> <p>Comment: Meets the Acceptable Solutions</p>
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<p>F2.5.13 Outbuildings</p> <p>Objective: To ensure that outbuildings do not reduce the dominance of the original building or distract from its period character.</p> <p>Acceptable Solutions & performance criteria</p> <p>A1 The roof form of outbuildings must, if visible from the street, be in the form of hip or gable, with a maximum span of 6.5m and a pitch between 22.5 – 40 degrees.</p> <p>A2 Outbuildings must be designed, in both scale and appearance, to be subservient to the primary buildings on the site.</p> <p>A3 Outbuildings must not be located in front of existing heritage-listed buildings, and must be setback a minimum of 3 metres behind the line of the front wall of the house that is set furthest back from the street (refer Figure F2.1 & F2.3).</p> <p>A4 Any garage, including those conjoined to the main building, must be designed in the form of an outbuilding, with an independent roof form.</p> <p>A5 Those parts of Outbuildings visible from the street must be consistent, in both materials and style, with those of any existing heritage-listed building on-site.</p> <p>A6 Where visible from the street, the eaves height of outbuildings must not exceed 3m and the roof form and pitch must be the same as that of the main house.</p> <p>Comment: Meets the Acceptable Solutions</p>	<p>P1 The roof form of outbuildings, if visible from the street, must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <ul style="list-style-type: none"> a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the design, period of construction and materials of the dominant building on site; c) the dominant roofing style and materials in the setting; and d) the streetscape.
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<p>F2.5.14 Conservatories</p> <p>Comment: Meets the Performance Criteria</p> <p>F2.5.15 Fences and Gates</p> <p>Comment: Meets the Performance Criteria</p> <p>F2.5.16 Paint Colours</p> <p>Objective: To ensure that new colour schemes maintain a sense of harmony with the street or area</p>
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in which they are located.

Acceptable solutions & performance criteria

<p>A1.1 Colour schemes must be drawn from heritage-listed buildings within the precinct; or A1.2 Colour schemes must be drawn from the following:</p>	<p>P1 Colour schemes must be compatible with the local historic heritage significance of the local heritage place or precinct having regard to the character and appearance of the existing place or precinct.</p>
<p>a) Walls – Off white, creams, beige, tans, fawn and ochre. b) Window & Door frames – white, off white, Indian red, light browns, tans, olive green and deep Brunswick green.</p>	
<p>c) Fascia & Barge Boards – white, off white Indian red, light browns, tans, olive green and deep Brunswick green</p>	
<p>d) Roof & Gutters – deep Indian red, light and dark grey.</p>	
<p>A2 There must be a contrast between the wall colour and trim colours.</p>	
<p>A3 Previously unpainted brickwork must not be painted, except in the case of post-1960 buildings.</p>	

Comment: Meets the Acceptable Solutions, but a condition is required.

F2.5.17 Lighting

Objective: To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape

Acceptable Solutions (no performance criteria)

A1 Wiring or conduit to new lighting is not located on the front face of a building.

Comment: Meets the Acceptable Solutions

F2.5.18 Maintenance and Repair

Comment: N/a

F2.6 USE STANDARDS

F2.6.1 Alternative Use of heritage buildings

Comment: N/a

E15.0 Signs Code

E15.5.2 Heritage Precincts

Comment: N/a



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PLANNING APPN REF: P17/100
THC APPLICATION NO: #5293
PLACE ID: #5286
THC FILE: 10-99-23THC
APPLICANT: Prime Design
DATE OF DECISION: 8 May 2017

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: Former Methodist Sunday School, 13-17 High Street, Ross.
Proposed Works: Construct a new shed on a subdivided parcel of land.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with P17/100, advertised on 26/04/2017, subject to the following condition:

- 1. If any archaeological features and/or deposits are revealed during excavations, this archaeological material must be managed in accordance with Part 7 of the Tasmanian Heritage Council's Practice Note 2 'Managing Historical Archaeological Significance in the Works Process' (version 4, November 2014) including, as a minimum, (a) stopping work and immediately reporting the discovery to Heritage Tasmania's Works Manager, and (b), if the Works Manager of Heritage Tasmania determines the deposits or feature to be significant, archaeological recording and recovery of artefacts.**

Reason for condition

To ensure that the subsurface heritage information is not lost.

Advice

It is recommended that depth of the verandah be increased to 1.8 metres so that it does not appear to be a sham heritage element.

Please ensure the details of this notice, including conditions, are included in any permit issued, and forward a copy of the permit or decision of refusal to the Heritage Council for our records.

Please contact the undersigned or Mr Chris Bonner on 1300 850 332 if you require clarification of any matters contained in this notice.

Ian Boersma

Works Manager – Heritage Tasmania

Under delegation of the Tasmanian Heritage Council