



Cressy Recreation Ground

Macquarie Street, Cressy

2025 Master Plan

Client

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1 Background

Northern Midlands Council has identified the Cressy Recreation Ground as a significant project within the open space and recreational fabric of the municipality. This Master Plan will provide Council with information for the future planning, detailed design and construction of infrastructure to ensure the use of the grounds is enhanced and extended into the future for both passive and active recreational activities.

The information contained within this report is a collaborative effort between the author, Northern Midlands Council and the key stakeholders from each user group that use the recreation grounds. Information has been sourced from Council documents and reports, stakeholder consultations, community surveys, site investigations and aerial photography.

Cressy Recreation Ground is home to a number of current users including:

- Cressy Cricket Club
- Westmorland Rural Youth Club
- Cressy District High School

The oval is largely used for cricket matches and is home of the Cressy 'Bulldogs' Cricket Club (Tasmanian Cricket League), which was established in 1877. There are no AFL games played on the oval at present, only training by the Longford Football Club when their oval requires resting.

2 Context

The Cressy Recreation Ground is located within the northern-Tasmanian township of Cressy, in the Northern Midlands Council municipality (refer figure 1). Cressy is approximately thirty-five kilometres from Launceston, and has a population of just over 1,100 (2016 Census).



Figure 1 – Contextual map of Cressy.

The Cressy Recreation Ground covers an area of approximately 3.46 hectares, and is accessed off Macquarie Street to the south western corner of the site. The grounds are located on the north western side of Cressy and are easily accessible from anywhere in Cressy by walking, riding or driving, as illustrated in figure 2.



Figure 2 – Contextual map of the Cressy Recreation Ground (CRG).

The recreation ground is bound by Macquarie Street to the south, open paddocks to the east and the north, and residential properties to the west. The only vehicle and pedestrian access to the recreation ground is via Macquarie Street at the south western corner of the site.

Current built forms within the recreation ground include the clubhouse, visitor's change room building, scorer's box and the existing maintenance shed. With the exception of the maintenance shed, all buildings are located to the western side of the oval, and the scorer's box to the south western corner of the oval.

The oval itself is centrally placed within the site, with the clubhouse, visitors building and cricket practice nets to the western side of the oval. A large mound to the east of the oval is the vehicle based spectator mound.

Mature cypress trees form hedgerows on the eastern and northern boundaries, with the hedgerow to the north clipped to provide access along the north side of the oval. The southern boundary along Macquarie Street features an aging hardwood timber paling fence, whilst the western boundary consists of a metal colorbond fence.



Figure 3 – Site map of the Cressy Recreation Ground.

3 A Plan for the Future

This master plan will enable Council to understand what the current user groups desire for the existing grounds and buildings, and to clearly identify existing upgrades and future requirements within the grounds that the community will benefit from in the coming years.

The primary issues, raised by user groups, focused on the following issues:

1. Upgrade of the clubhouse facilities.
2. Upgrade of oval playing surface.
3. Management of traffic movement.
4. Better storage and maintenance facilities for all user groups.
5. Overnight stay area for RV's and caravans.

To commence the master plan process, consultations with Council representatives and recreation ground user groups were held, as well as a community survey delivered to all the residents of Cressy. With this information, a detailed site analysis was performed to allow the author to gain an in depth understanding of the site complexities in relation to the needs and wants of the community.

Once the information was processed, a master plan was developed including an implementation strategy for the redevelopment of the recreation grounds up to the year 2025. This report provides the background to the master plan and provides the detailed implementation strategy to roll-out the proposed works by Northern Midlands Council.

4 Site Investigation

The Cressy Recreation Ground is a relatively small ground when compared to Longford, Campbell Town and Morven Park. When the Longford Recreation Ground oval is too water logged during the AFL season, the Cressy oval is utilised for training for both junior and senior sessions.

Despite this use for AFL, the Cressy oval is predominately used for local Cricket games and training. One of the buildings which has since been demolished was the meeting place for Westmorland Rural Youth Club. At the time of writing this report, the clubhouse is undergoing a restructure to increase the use of the facility for current and future user groups. This work is being undertaken by another consultant and is outside of our scope.

Initial consultation with Council and the user groups was the key to developing the structure of the master plan. This initial information was used in a community survey that was sent to each household in Cressy (Refer appendix 2). The response from this survey assisted in the importance of key issues and corroborated the issues raised by the user groups with community expectations.

The key issues for the recreation ground can be divided into two categories, open space and built forms.

The open space areas include:

- Property boundaries;
- Access;
- Internal roadway;
- Parking;
- The Oval; and
- Cricket practice nets;

The built forms include:

- The Clubhouse;
- Visitors change room building;
- Scorer's box; and
- Maintenance shed.

The following sections of this report deliver in depth information about the current use and physical state of each of the items above. The information expressed is a combination of consultation and site observations, and will form the basis for the master plan recommendations shown later in the report.

4.1 OPEN SPACE

4.1.1 Property Boundaries

Southern Boundary (Macquarie Street)



Figure 4 – Timber paling fence along the Macquarie Street frontage.

Macquarie Street forms the full length of the recreation ground's southern boundary. At the western corner of this boundary is the main entry into the grounds.

Eastern Boundary



Figure 5 – Eastern boundary with stock proof wire fence and Cypress tree hedgerow.

The eastern boundary adjoins an open paddock and consists of stock proof wire fence and a hedgerow of Cypress Pine trees.

Northern Boundary



Figure 6 – Northern boundary also consists of a Cypress Pine tree hedgerow along most of the boundary.

The northern boundary adjoins an open paddock and is separated by a stock proof wire fence and a hedgerow of Cypress Pine trees along 70% of the boundary. The other areas to each side of the hedgerow are open and only separated by the stock proof fence.

Western Boundary (Residential Properties)



Figure 7 – Metal colorbond fence along the full length of the western boundary.

Residential properties back onto the full length of the ground's western boundary. This boundary features a metal colorbond fence as illustrated in figure 7.

4.1.2 Access



Figure 8 – Macquarie Street main entry.

Vehicle and pedestrian access into the recreation ground is confined to one point which is in the south-western corner off Macquarie Street. The entry consists of concrete columns and metal access gates over a concrete entry pad. The asphalt between the concrete pad and Macquarie Street is in very good condition.

4.1.3 Internal Roadway



Figure 9 – Internal roadway that loops around the oval.

Access around the oval is via the internal loop road which consists of a gravel track. The track becomes water logged and boggy during the winter months and prevents traffic flow after inclement weather.

4.1.4 Parking



Figure 10 – Car based spectator mound.

Currently, there are no structured parking areas within the recreation grounds. Parking around the clubhouse can become dispersed and unordered. When the first parked cars set the layout for following cars, this includes unnecessarily large gaps between cars.

The majority of parking occurs on the car based spectators mound on the eastern side of the oval.

4.1.5 The Oval



Figure 11 – Oval with the existing perimeter fence in the foreground.

The Cressy oval is a typical oval for local club cricket and AFL, with no sub soil drainage, pop up irrigation or premium growing media. The playing surface however, is well maintained for the level of sporting activities played on the field.

The cricket pitch consists of a concrete slab with a synthetic turf cover and is presented in a north-south alignment with a slight rotation to the east.

As illustrated in figure 11, the oval perimeter fence consists of a white painted galvanized steel rail fence set on top of cast concrete posts also painted white within the clubhouse area. The remainder of the fence is plain galvanized steel post and rail fencing without a chainmesh infill. The fence delineates the playing area from the spectator area.

Player access is concentrated directly in front of the clubhouse and the visitor change room building, with maintenance vehicle access located directly in front of the cricket practice nets.

Lighting of the oval is solely for evening night training and is currently in poor condition.

4.1.6 Cricket Practice Nets



Figure 12 – Cricket practice nets.

The two-bay cricket practice nets, which are in poor condition, are located in the north western corner of the grounds and are aligned in a north west to south east direction, almost 90 degrees to the alignment of the oval pitch. The existing run up to the practice nets crosses over rough ground, with the pace bowlers having to start on the edge of the oval.

4.2 BUILT FORMS

4.2.1 Clubhouse



Figure 13 – Existing clubhouse and visitor change room building.

Figure 13 illustrates the building cluster along the western boundary of the grounds, with the building on the far left being recently demolished. The clubhouse for the Cressy 'Bulldogs' Cricket team is the dominant building between the demolished building on the left and the visitor's change room building on the right. The visitor's change room building also accommodates both male and female umpires.

The function and capacity of the existing clubhouse and visitor's change room building is currently under review by another consultant, and is therefore separate to the scope of this report. It is understood that the review will investigate additional change rooms for women, the inclusion of a meeting room for the cricket club, the Westmorland Rural Youth Club and potentially the Cressy Scout Group.

4.2.2 Scorer's Box



Figure 14 – Existing scorer's box.

The scorer's box is a small building that is elevated to allow the occupants to see over the spectators. The building is positioned in open space on the south western side of the oval, separate from the cluster of buildings on the western boundary.

4.2.3 Maintenance Shed



Figure 15 – Existing storage shed.

The maintenance shed is located in north eastern corner of the grounds behind the vehicle based spectator mound. The building is of corrugated iron construction and is relatively large for the grounds. The building is unpowered and has no water connection.

5 Proposed 2025 Plan

The purpose of this master plan is to provide Council with future direction as a result of the current and future user needs. During the consultation process, these needs developed into potential works that would enable the current grounds and infrastructure to service user group demand and the local community beyond the year 2025.

The key elements of these consultations that set the parameters for the 2025 plan include:

Oval:

- Upgrade oval playing surface, drainage and perimeter fencing.
- Install underground automated irrigation system.
- Upgrade cricket pitch to comply with Cricket Australia standards.
- Upgrade oval lighting.
- Upgrade scoreboard.

Spectator Area:

- Provide an improved spectator area fronting the clubhouse.

Grounds Maintenance:

- Upgrade maintenance facilities for each primary user group.

Traffic and Parking:

- Formalise driveway.
- Formalise parking throughout the park.
- Installation of bollards to control traffic and parking.
- Retain spectator based mound.
- Seal loop road.

Cricket Practice Nets:

- Realign and reconstruct two bay cricket nets.

Public Recreation

- Development of a designated overnight camping area.
- Installation of a drink fountain with dog bowl.
- Installation of an RV Dump Point.

The key elements above are described in detail below, including their placement within the overall program of works. Refer to the Master Plan (appendix 1) for the graphical illustration of the proposed recreation ground upgrade works.

5.1 OVAL

5.1.1 Oval Refurbishment

Although the oval is in good condition during the summer months, the playing surface can be improved in order to attract future division 2 AFL games for men and women's teams both junior and senior. This would also provide an alternative venue for other clubs within the surrounding region when required.

Redeveloping the existing ground would include crowning the centre of the oval with sandy loam and upgrading the cricket pitch to comply with Cricket Australia's recommendations. By crowning the oval, drainage around the immediate perimeter of the oval would also be upgraded to prevent water logging during the wetter months of the year.

The ideal time to commence the redevelopment of the oval would be the beginning of spring to ensure construction occurs over the drier months of the year and the turf receives the optimal growing conditions during the summer / autumn season.

5.1.2 Cricket Pitch

During the crowning of the oval, the cricket pitch would also be upgraded to comply with the current Cricket Australia standards for a synthetic turf pitch being 25 – 28m long x 2.4 – 2.8m wide, and realigned in a north-south direction.

5.1.3 Oval Perimetre Fence

The existing perimeter fence requires upgrading while the oval is being redeveloped. For the Cressy Recreation Ground, a 1050mm high galvanised steel post and pipe rail fence with a chainmesh infill would be more than appropriate, as recommended by Cricket Australia. Cricket Australia also recommend that the fence ensures emergency vehicle maintenance machinery access to the playing field is provided. These requirements are illustrated on the master plan.

5.1.4 Oval Lighting

The current lighting for night training is inadequate for cricket training. Upgrading the lighting should involve the use of lighting infrastructure salvaged from other recreation grounds, such as Morven Park and Longford recreation grounds.

5.1.5 Scoreboard

The current scorer's box will be demolished to make way for the designated overnight camping area. Therefore, a remote controlled electronic scoreboard should be positioned where it can easily be observed from the club rooms and the vehicle based spectator mound as indicated on the master plan.

It is recommended that the scoreboard should be selected to display both AFL and cricket scores, with dimensions approximately 3.6m long x 1.96m high. A digital clock and team names should also be clearly displayed on the board. The scoreboard must be post-mounted and elevated off the ground.

5.2 SPECTATOR AREA

5.2.1 Maintenance Facility

Although the function and presentation of the existing buildings are being investigated, the open bitumen area between the clubhouse building and the oval requires upgrading. This master plan proposes the installation of more spectator seating in the form of bench seats and picnic tables with seats only provided on one side to allow spectators to sit down and eat while watching the game.

Commercial grade umbrellas that can be removed and stored inside the clubhouse should also be considered to provide shade during summer and protection from rain during overcast and light rainy days. This will provide greater amenity to the clubhouse and better opportunities for people to leave their cars and watch games with other people.

5.3 GROUNDS MAINTENANCE

5.3.1 Maintenance Facility

The existing maintenance shed is detached from the main cluster of buildings on the grounds, and should be positioned closer to enable ease of access, safety and where services can be connected. The preferred location for the maintenance and storage facility is illustrated on the master plan drawing, where the facility provides direct access to the north western side of the oval.

The new facility shall consist of a three bay pre-fabricated colorbond shed, with each bay partitioned off to accommodate grounds maintenance, the cricket club and potentially a future AFL club. The facility should be one large shed with a concrete hardstand area to the front to allow for parking and cleaning of equipment.

Each bay shall be well ventilated and individually supplied with power and water. The grounds maintenance section should be the larger portion to accommodate the maintenance equipment (tractor/mower, etc), as well as storage of tools, chemicals and fuels. This section would also include a workbench and a work-safe safety area consisting of a shower and eye-wash station.

5.4 TRAFFIC AND PARKING

5.4.1 Driveway

The current entry into the grounds provides no clear direction or suggestion for formal parking. With the inclusion of a dump point and overnight camping area, access into and out of the grounds needs to be structured to provide legibility and free flowing traffic movement.

As illustrated on the master plan drawing, the new entry consists of a split entry and exit area. The entry caters for general grounds vehicle access as well as a parking lane for RV's and caravan's to access the dump point. A central traffic island allows for large vehicle turning to access either exist the grounds or the overnight stay area. The central traffic island will include clear trunked shade trees in a lawn area to provide visual amenity to the entry area, with bollards placed to restrict vehicle access.

To control traffic speed entering and existing the grounds, speed humps shall be installed at the entry gates and again 50m in from the entry on both sides of the driveway. Bollards should also be placed along the driveway to differentiate between trafficable and non-trafficable areas as shown on the master plan.

5.4.2 Car Parking

Currently there is no structured parking within the recreation grounds. To provide more parking spaces and to create a safer environment for pedestrians, structured, all-weather parking areas should be provided as illustrated on the master plan drawing.

The total number of structured all-weather parking bays amount to twenty-two (22), with a designated emergency vehicle bay assigned at the pedestrian entry point to the clubhouse. Informal parking is still accommodated around the oval as explained in the following section.

As illustrated on the master plan drawing, additional parking has also been provided along Macquarie Street to alleviate congestion inside the grounds. The street-side parking bays shall be parallel to the property boundary with the existing kerb being replaced with a rollover kerb, and the bays consisting of a two-coat bitumen seal.

5.4.3 Car Based Spectators

Car based spectator areas around the oval, particularly on the eastern vehicle based spectator mound, will be retained. Where car based spectator areas are prone to ponding, drainage to those specific areas shall be enhanced, and where required, compacted gravel road base be installed to provide all weather access.

Spectator parking will also be improved with the realignment of the loop road south of the oval as mentioned in the following section.

5.4.4 Oval Loop Road

The existing loop road around the oval primarily consists of compacted gravel. There are areas between the back of the vehicle based spectator mound and the hedgerow along the eastern boundary that is susceptible to ponding.

This loop road should be upgraded to a permanent two-coat bitumen seal that extends from the end of the designated parking area, around the back of the mound, along the northern side of the oval, then terminates near the new location of the maintenance shed. The loop road should also consist of speed humps at 50m intervals to keep speeds to a minimum.

A sealed loop road will then provide all-weather access during game days and other community events all year round. As illustrated on the master plan drawing, the loop road has intentionally been terminated between the maintenance shed and the spectator area fronting the clubhouse. This ensures a grassed area is maintained for the cricket practice net run-up area, a warm up area for both teams during game days, and for informal recreation activities.

5.5 CRICKET NETS

The master plan drawing illustrates that the area north of the visitor's change room building is enhanced by relocating the cricket nets and levelling the area for future use. The existing cricket practice nets should be moved and realigned to generally suit the direction of the cricket pitch on the oval.

The new position of the nets will still maintain two full size nets and a maintainable grassed run-up space for pace bowlers, albeit through a break in the perimeter fence and starting on the outer edge of the oval. This alignment satisfies the required run-up space, as well as providing protection from wayward balls hitting the visitor's change room building.

The proposed cricket practice nets should consist of two 3.6 metre wide nets with 27 metre long side panels, and a chainmesh roof to cover a 6 metre long area over the batting crease in accordance with Cricket Australia's design guidelines. For durability and longevity, the new cricket practice nets would incorporate galvanised steel posts, top and bottom rails, and heavy-duty chainmesh netting with a black PVC coating.

The playing surface within the nets would consist of a concrete base slab with two grades of synthetic turf cover, one for the pitch and the other for the adjoining surface leading out to the 21 metre mark. Ideally, one practice wicket should be gated for club use only, with the other allocated for club and public use.

5.6 OVERNIGHT CAMPING

One of the key issues for redeveloping the recreation ground was to allow for overnight camping. This was an issue that brought mixed responses, one of which was obstructions from RV's and caravans during game days and training events.

As illustrated on the master plan, an area close to the entry has been provided to ensure RV's and caravans do not interfere with the primary users of the park. The designated area consists of an open grassed area with shade trees that is delineated by bollards and signage.

No toilets, picnic facilities or BBQ's are recommended as these occur elsewhere in Cressy. The installation of BBQ's should always be deterred with the focus being on camper self-sufficiency or to purchase meals at one of the local businesses.

5.7 DUMP POINT

With the inclusion of a designated overnight camping area within the grounds, a dump point was also recommended to cater for both overnight campers and those travelers just passing through.

The infrastructure required for the dump point is minimal, as there is a water main and sewer main within close proximity to the proposed location as illustrated on the master plan. The location of the proposed dump point has also been selected in consideration to adjoining residences. In this particular instance, the closest structure is a shed and the open space of the adjoining property.

The specifically designed driveway into the grounds as mentioned earlier in this report, allows for users to pull over and safely use the dump point facility without obstructing traffic entering the grounds.

6 Prioritising Proposed Redevelopment Works

This section identifies the priority schedule for the proposed redevelopment works of the Cressy Recreation Ground as described in the previous sections and in order of significance.

PRIORITY	BRIEF DESCRIPTION OF WORKS	
1	Clubhouse	Refurbish existing buildings and extend to provide additional change rooms for male and female teams, and meeting rooms for a variety of user groups.
	Trees	Trim back hedgerow trees along both boundaries.
	Signage	Install park regulation signage and dog waste bag dispenser and bin.
2	Oval	Reconstruct oval playing surface and cricket pitch, including irrigation main lines, reconstruction of perimeter fencing and the installation of perimeter drainage.
	Cricket Nets	Demolish and construct cricket nets in new alignment.
	Clearing	Remove tree stumps around buildings and level area to north west corner of site.
3	Traffic	Reconstruct entry / exit driveway and parking area.
	Oval	Demolition of scorer's box and installation of electronic scoreboard.
	Dump point	Install dump point adjoining driveway entry.
4	Lighting	Install lighting to oval for night training.
	Traffic	Install two-coat bitumen seal to car parking area and access road.
	Traffic	Install bollards to control traffic movement, including overnight camping area.
	Fence	Reconstruct fence along Macquarie Street.
5	Traffic	Upgrade oval loop road to two-coat bitumen seal.
	Seating	Installation of seating around the oval and to spectator area in front of clubhouse.
	Maintenance	New three bay maintenance shed with a concrete wash down pad to the front.

The following sections unveil the costings associated with the above mentioned works and the scheduling of the roll-out of the works in relation to Council's capital works program.

7 Costings

The costings shown below reveal the associated costs of each component included within this report and the master plan drawing. The estimates include a 20% contingency which is a standard percentage for master planning works. GST is not included in these prices.

PROPOSED WORKS	ESTIMATED COST
Clubhouse and visitor change room building refurbishments	\$ 300,000
Oval upgrade (crowning, playing surface, drainage, irrigation, fencing)	\$ 375,000
Asphalt driveway entry / exit area	\$ 78,850
Demolition of scorer's box	\$3,000
New electronic scoreboard	\$ 15,000
Oval lighting (recycled from other ovals)	\$ 20,000
Two coat bitumen seal to designated parking area (including access road)	\$ 37,500
Reduce size of storm water swale along southern boundary	\$ 10,000
Two coat bitumen seal to oval loop road	\$ 75,000
Bollard placement to control parking and traffic movement	\$36,500
New maintenance shed and pavement	\$ 80,000
New cricket net alignment	\$ 45,000
Stump removal and leveling of area around buildings	\$7,000
New timber fence along Macquarie Street	\$ 33,750
Trimming of hedgerow trees	\$ 6,000
Installation of dump point	\$ 7,000
Spectator seating	\$30,000
Removable commercial grade umbrellas	\$25,000
Park regulation signage	\$ 2,000
Dog waste bag dispenser and bin	\$ 2,000
Rollover kerb and sealed parking bays along Macquarie Street	\$ 35,000
Shade tree planting	\$ 20,000
Revegetating of steep bank of vehicle based spectator mound	\$15,000
Sub Total	\$ 1,258,600
20% Contingency	\$251,720
TOTAL	\$ 1,510,320

8 Implementation Strategy

Each item identified within the 2025 master plan is an integral component of the overall redevelopment of the Cressy Recreation Ground with each component requiring detailed planning, funding, project management and finally construction.

This implementation strategy outlines the potential staging program for works identified from 2020 through to 2025. This, however, is dependent on the sourcing of funds. The figures associated with each stage are determined by the scope of works required to construct that specific stage. Costing across all elements may be manipulated due to the progression of works required to achieve the construction of a particular stage.

The proposed staging of works from 2020 through to 2025 is as follows:

Stage One:	2020 – 2021
Estimated Cost:	\$ 372,000 (including 20% contingency of \$ 62,000)
Associated Works:	<ol style="list-style-type: none"> 1. Clubhouse upgrade. 2. Trim back hedgerows. 3. Install regulation signage and dog bag dispenser and bin.
Stage Two:	2021 – 2022
Estimated Cost:	\$ 512,400 (including 20% contingency of \$ 85,400)
Associated Works:	<ol style="list-style-type: none"> 1. Oval upgrade including fencing and irrigation. 2. Realignment and construction of cricket practice nets. 3. Remove tree stumps and level area adjoining buildings.
Stage Three:	2022 – 2023
Estimated Cost:	\$ 226,620 (including 20% contingency of \$37,770)
Associated Works:	<ol style="list-style-type: none"> 1. New entry / exit driveway. 2. Demolish scorer's box. 3. New electronic scoreboard. 4. Installation of new dump point. 5. Shade tree planting. 6. Spectator seating. 7. Commercial grade umbrellas. 8. Reduce size of open storm water swale.
Stage Four:	2023 – 2024
Estimated Cost:	\$ 208,800 (including 20% contingency of \$ 34,800)
Associated Works:	<ol style="list-style-type: none"> 1. Upgrade oval lighting with recycled lighting from other ovals. 2. Two-coat bitumen seal to car parking areas and access road. 3. Installation of bollards to control traffic movement. 4. New maintenance shed.
Stage Five:	2024 – 2025
Estimated Cost:	\$ 190,500 (including 20% contingency of \$31,750)
Associated Works:	<ol style="list-style-type: none"> 1. Two-coat bitumen seal to loop road. 2. Macquarie Street parking. 3. Planting to spectator mound batter. 4. Fencing along Macquarie Street.

9 Conclusion

The implementation strategy for the Cressy Recreation Ground is the result of consultations with Northern Midland Council representatives and user groups, as well as feedback obtained from the community via a simple user survey. Through detailed background research, the needs and wants of the user groups and community were consolidated to develop a suite of projects that would provide greater use of the grounds for another fifty to sixty years at least.

This master plan report and accompanying master plan drawing provide a staged approach to achieving the recommendations in the delivery of significant enhancements to the function and aesthetic quality of the grounds.

The implementation of the recommendations of this report rely on the availability of funding from local, state, and federal governments. Furthermore, the recommended staging options can be dispersed over a greater period of time in order to provide a better recreational experience for the Cressy community.

Appendix 1 Cressy Recreation Ground Master Plan

Replace this page with the A3 size
Master Plan Drawing.

Appendix 2 Cressy Recreation Ground User Survey

Cressy Recreation Ground User Survey

Council has contracted Lange Design to develop a master plan for the Cressy Recreation Ground to guide future development of the facility. Residents who use the Recreation Ground are encouraged to complete and return the following survey. Your honest feedback is greatly appreciated.

Please rate the following items you see as a priority for further development at Cressy Recreation Ground: (1=high priority 2=some priority 3=neutral 4=low priority 5=no priority)

SPORTING FACILITIES:

- Upgrade of oval playing surface to AFL Division 2 standard
- Rectification of oval perimeter fencing to include steel tubing and ringlock wire
- Upgrade of cricket pitch and sizing to meet new Cricket Australia standards
- Rectification and possible relocation of cricket practice nets
- Installation of automated, underground, irrigation system
- Installation of seating areas surrounding oval
- Improvements to oval lighting levels
- Installation of electronic scoreboard

BUILDINGS:

- Repair and renovation of existing buildings
- Installation of 'viewing verandah' to front of club house facing oval
- Re-modeling of club house change rooms for additional teams including mixed and women's
- Provision of suitable facilities to accommodate the relocation of Cressy Scouts Club

MAINTENANCE / STORAGE:

- Rectification and relocation of maintenance storage facility closer to the main buildings and utilities
- Investigation of solar and gas options for cost efficiencies
- Cutting back of trees on north eastern side of oval to tidy and maintain as wind-break
- Removal of Cyprus tree stumps

ROADWAYS:

- Formalise parking within grounds to alleviate on-street parking and ad hoc parking
- Improvements to loop road and back area surface to alleviate boggy areas during winter
- Replacement of Macquarie Street fencing
- Widening of the oval side of Macquarie Street to allow for more parking

PUBLIC RECREATION:

- Installation of a dog bin with waste bag dispenser
- Allowance for the inclusion of a 'Men's Shed' on site?
- Allowance of camping on-site?
- Provision of a dump point for RV's
- Other Comments

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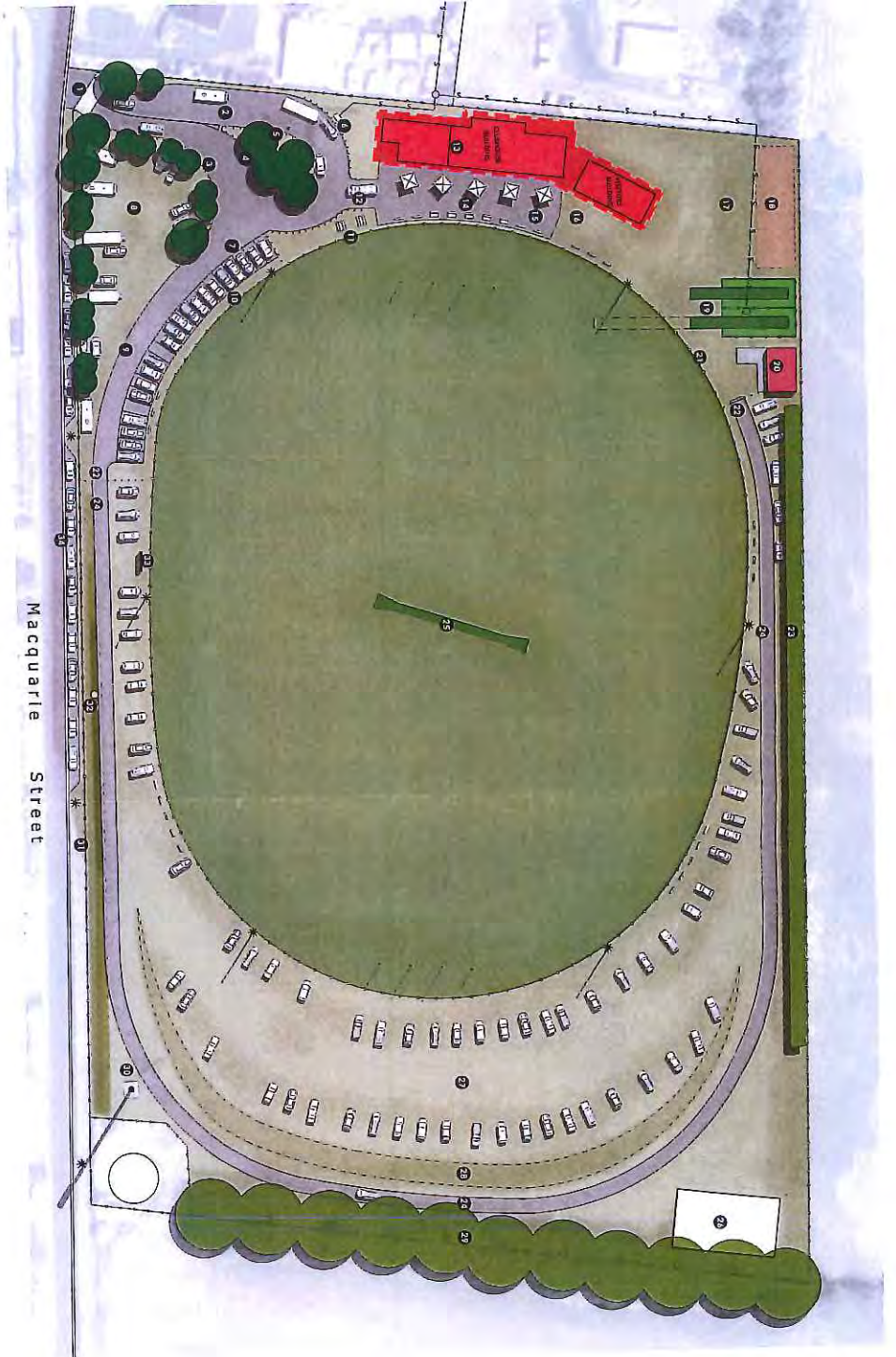
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PLAN LEGEND

- Existing trees to be retained.
- New shade trees.
- Grass areas.
- Balliads to restrict vehicle access.
- New car parking.
- Spectator bench seating.
- Extent of clubhouse refurbishment works.

1-128



- 1 Existing entry pavement to be retained with gate pillars and gates refurbished, a drink fountain with dog bowl and dog waste bin installed, and park regulation signage clearly positioned.
- 2 New asphalt area way driveway into the recreation ground, with a path or driveway for RV's and caravans to access the proposed dump point.
- 3 New asphalt one way driveway to control outflow traffic.
- 4 Traffic island with grass and trees to provide a feature to the entry area and balliads to restrict vehicle access.
- 5 Existing stormwater manhole to be retained, with the existing overhead power line installed underground.
- 6 Proposed location of dump point with sewer connection to the nearest sewer main within adjoining property.
- 7 Formalised carpark with asphalt and line marking.
- 8 Designated overnight stay area with shade trees and balliads to segregate the area and to control traffic.
- 9 Existing scorer's box to be demolished and replaced with on electronic scoreboard.
- 10 Upgrade existing oval perimeter fence with white painted steel post and rails and a chain mesh infill.
- 11 Picnic tables over concrete slabs with removable umbrella sockets provide shaded seating near the slide line.
- 12 Designated pedestrian access and emergency vehicle parking during games, with informal vehicle access during other times.
- 13 Existing buildings to be refurbished (by others).
- 14 Removeable commercial grade umbrellas to provide shade to the clubhouse fore court area during summer and winter seating and bench / table seating for spectators along the slide line.
- 15 Existing two coal bitumen surface to be retained.
- 16 Retain existing grass area fronting visitor rooms.
- 17 Relocate cricket nets, remove tree stumps and level out the area behind the visitor room for informal outdoor activities.
- 18 Designated location for any future buildings.
- 19 New cricket nets to allow for building works with sun up (detached line), for bowling practice.
- 20 New three bay maintenance and storage shed with power, water and sewer connection and concrete entry.
- 21 Slide rail for maintenance access to oval.
- 22 Restrict access to loop road with balliads and slide rail.
- 23 Retain and prune back existing Macrocarpa trees.
- 24 Upgrade gravel loop road to a two coal bitumen seal.
- 25 Relaunch oval including Division Two playing surface, regulation cricket pitch, irrigation, drainage and lighting.
- 26 Existing maintenance shed to be retained for storage use.
- 27 Vehicle based spectator bank to be retained.
- 28 Steep bank of spectator area to be planted out.
- 29 Existing Macrocarpa trees to be retained and trimmed back to widen the corridor along the existing loop road.
- 30 Proposed location for mobile communications tower.
- 31 Replace existing hardwood fence with treated pine and metal post fence fronting Macquarie Street.
- 32 Existing stormwater swale to be reduced in depth with additional gully pits connected to existing inlet pit.
- 33 New remote operated electronic scoreboard to replace existing scorer's box.
- 34 New roadside parking bays along Macquarie Street to alleviate congestion within the recreation ground.

CRESSY RECREATION GROUND
Macquarie Street

Preliminary Master Plan
Cressy Tasmania

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Issue B

