

PLAN J. ✓

PLANNING APPLICATION P17-287

33 CHURCH STREET, ROSS

ATTACHMENTS

- A Application & plans, correspondence with applicant
- B Responses from referral agencies
- C Representations & applicant's response

# PLANNING APPLICATION Proposal

Description of proposal: ROSS VILLAGE GREEN REDEVELOPMENT  
INC. ENTRANCE GATE, AMENITIES, PUBLIC SHELTER  
& ASSOCIATED EXTERNAL WORKS

(attach additional sheets if necessary)

Site address: 33 CHURCH ST, ROSS

CT no: 53141/1

Estimated cost of project \$ 300,000 (include cost of landscaping, car parks etc for commercial/industrial uses)

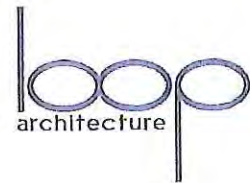
Are there any existing buildings on this property? ~~Yes~~ / No  
If yes - main building is used as .....

If variation to Planning Scheme provisions requested, justification to be provided:  
n/a

(attach additional sheets if necessary)

Is any signage required? No  
(if yes, provide details)





## Design Statement

### Ross Village Green Redevelopment

*(Incorporating Entrance Gate, Amenities, Public Shelter & associated External Works)*



In accordance with **F2.4 'Requirements for Design Statement'** (included herewith), we have attached our responses against the relevant criteria.

Tony Purse AIA  
BA Env.Des. B.Arch  
Registered Architect (TAS & VIC)  
for  
**Loop Architecture Pty Ltd**

7 September 2017

## Assessment against F2.0 (Heritage Precincts Specific Area Plan)

### **F2.1 Purpose of Specific Area Plan**

**F2.1.1** *In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a positive contribution to the streetscape within the Heritage Precincts.*

### **F2.2 Application of Specific Area Plan**

**F2.2.1** *This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.*

### **F2.3 Definitions**

#### **F2.3.1 Streetscape**

*For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).*

#### **F2.3.2 Heritage-Listed Building**

*For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.*

### **F2.4 Requirements for Design Statement**

**F2.4.1** *In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.*

**F2.4.2** *The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.*

**F2.4.3** *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

**The subject site is within the Heritage Precincts Specific Area Plan and adjoins the Man O' Ross Hotel (southern boundary) and Bakery 31 Bakery / Café (northern boundary). The Ross Convenience Store / Newsagency, former Café / Mechanic's Workshop are located within close proximity opposite the subject site.**

## F2.5 Standards for Development

### F2.5.1 Setbacks

*Objective: To ensure that the predominant front setback of the existing buildings in the streetscape is maintained, and to ensure that the impact of garages and carports on the streetscape is minimised.*

#### Acceptable Solutions (no performance criteria)

- A1 The predominant front setback as identified in the design statement must be maintained for all new buildings, extensions, alterations or additions (refer Figure F2.4 & F2.8).
- A2 New carports and garages, whether attached or detached, must be set back a minimum of 3 metres behind the line of the front wall of the house which it adjoins (refer Figure F2.3, & F2.7).
- A3 Side setback reductions must be to one boundary only, in order to maintain the appearance of the original streetscape spacing.

The proposed new structures are designed to complement existing barn / outbuilding forms that occur within adjacent properties and are set well back within the site. The proposed entrance structure has been located upon the street frontage (within the location of existing gates) to preserve & enhance the predominant street edge afforded by existing fencing, verandahs and ancillary structures that occur within close proximity to this development.



### F2.5.2 Orientation

*Objective: To ensure that new buildings, extensions, alterations and additions respect the established predominant orientation within the streetscape.*

#### Acceptable Solutions (no performance criteria)

- A1 All new buildings, extensions, alterations or additions must be orientated:
- perpendicular to the street frontage (refer Figure F2.5, F2.6, & F2.8); or
  - Where the design statement identifies that the predominant orientation of buildings within the street is other than perpendicular to the street, to conform to the established pattern in the street; and
  - A new building must not be on an angle to an adjoining heritage-listed building (refer Figure F2.5).

All significant structures are intended to be located perpendicular to the street frontage and/or parallel to side boundaries to replicate / enhance current development patterns of adjoining properties.



### F2.5.3 Scale

*Objective: To ensure that all new buildings respect the established scale of buildings in the streetscape, adhere to a similar scale, are proportional to their lot size and allow an existing original main building form to dominate when viewed from public spaces.*

#### **Acceptable Solutions (no performance criteria)**

- A1 Single storey developments must have a maximum height from floor level to eaves of 3 metres (refer Figure F2.14).
- A2 Where a second storey is proposed it must be incorporated into the roof space using dormer windows, or roof windows, or gable end windows, so as not to detract from original two storey heritage-listed buildings (refer Figure F2.13 & F2.15).
- A3 Ground floor additions located in the area between the rear and front walls of the existing house must not exceed 50% of the floor area of the original main house.

New building forms & scale have been designed to complement existing single-storey structures that currently adjoin the subject development site and remain subservient to the dominant heritage building stock with Church Street.

#### F2.5.4 Roof Forms

<p><i>Objective: To ensure that the roof form and elements respect those of the existing main building and the streetscape.</i></p>
<p><b>Acceptable Solutions (no performance criteria)</b></p>
<p>A1.1 <i>The roof form for new buildings, extensions, alterations, and additions must, if visible from the street, be in the form of hip or gable, with a maximum span of 6.5m and a pitch between 30 – 40 degrees (refer Figure F2.14 &amp; F2.18); and</i></p>
<p>A1.2 <i>Eaves overhang must be a maximum of 300mm excluding guttering.</i></p>
<p>A2 <i>Where there is a need to use the roof space, dormer windows are acceptable and must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant (refer Figure F2.15).</i></p>
<p>A3 <i>Where used, chimneys must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant.</i></p>
<p>A4 <i>Metal cowls must not be used where they will be seen from the street.</i></p>

All roof forms are designed as simplistic steep-pitched gables that represent the predominant outbuilding forms located nearby.

#### F2.5.5 Plan Form

<p><i>Objective: To ensure that new buildings, alterations, additions and extensions respect the setting, original plan form, shape and scale of the existing main building on the site or of adjoining heritage-listed buildings.</i></p>	
Acceptable Solutions	Performance Criteria
<p>A1.1 <i>Alterations and additions to pre-1940 buildings must retain the original plan form of the existing main building; and</i></p> <p>A1.2 <i>The plan form of additions must be rectilinear and consistent with the existing house design and dimensions.</i></p>	<p>P1 <i>Original main buildings must remain visually dominant over any additions when viewed from public spaces.</i></p>
<p>A2 <i>The plan form of new buildings must be rectilinear (refer Figure F2.9).</i></p>	<p>P2 <i>No performance criteria</i></p>

Plan forms of the majority of this proposal are intended to be rectilinear and located in similar development patterns of other examples within the Church Street precinct. The proposed stage area, however, is circular for functional reasons but does not include a roof structure in order to mitigate visual intrusion upon adjoining property and streetscape.



**F2.5.6 External Walls**

<i>Objective: To ensure that wall materials used are compatible with the streetscape.</i>	
<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1.1 <i>Materials used in additions must match those of the existing construction, except in additions to stone or brick buildings; and</i></p> <p>A1.2 <i>External walls must be clad in:</i></p> <p>a) <i>traditional bull-nosed timber weatherboards; if treated pine boards are used to replace damaged weatherboards they must be painted; thin profile compressed board weatherboards must not be used; or</i></p> <p>b) <i>brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), including:</i></p> <ul style="list-style-type: none"> <li>▪ <i>painted standard size bricks; or</i></li> <li>▪ <i>standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or</i></li> <li>▪ <i>standard brickwork rendered in traditional style; or</i></li> <li>▪ <i>if a heritage-listed building, second-hand traditional local bricks.</i></li> </ul> <p><i>Heavily-tumbled clinker bricks must not be used; or</i></p> <p>c) <i>concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted;</i></p> <p>d) <i>concrete blocks in natural concrete finish must not be used.</i></p> <p>A1.3 <i>Cladding materials designed to imitate traditional materials such as brick, stone and weatherboards must not be used.</i></p>	<p>P1 <i>Materials used in minor additions to stone and brick buildings may be weatherboard.</i></p>

Proposed external cladding materials are intended to interpret traditional construction methods in a complimentary manner rather than replication. Limited weatherboard material proposed is intended to be of 'shiplap' profile (rather than bull-nose) and allowed to weather to emulate simplistic timber clad barn-like structures that currently adjoin the subject property and preceded this development upon the site. Concrete blockwork and off-form concrete plinth material (with appropriate colours / additive) are also intended to complement the aged appearance of timber trim and eventual dull finish of galvanized steel primary structure. A replica brick fireplace / ruin is also proposed to provide a focal interest point at the rear of the subject site to be constructed from traditional brick.



**F2.5.7 Entrances and Doors**

*Objective: To ensure that the form and detail of the front entry is consistent with the streetscape.*

**Acceptable Solutions (no performance criteria)**

- A1.1 *The position, shape and size of original door and window openings must be retained where they are prominent from public spaces; and*
- A1.2 *The front entrance location must be in the front wall facing the street, and be located within the central third of the front wall of the house; and*
- A1.3 *Modern front doors with horizontal glazing or similar styles must not be used (refer Figure F2.21).*

**Not Applicable**

**F2.5.8 Windows**

*Objective: To ensure that window form and details are consistent with the streetscape.*

**Acceptable Solutions (no performance criteria)**

- A1 *Window heads must be a minimum of 300mm below the eaves line.*

**Solid-void ratio**

- A2 *Front façade windows must conform to the solid/void ratio (refer Figure F2.24 & F2.25).*

**Window sashes**

- A3 *Window sashes must be double hung, casement, awning or fixed appropriate to the period and style of the building (refer Figure F2.22 & F2.23).*
- A4 *Traditional style multi-pane sashes, when used, must conform to the traditional pattern of six or eight vertical panes per sash with traditional size and profile glazing bars.*
- A5 *Horizontally sliding sashes must not be used.*
- A6 *Corner windows to front facades must not be used.*

**Window Construction Materials**

- A7 *Clear glass must be used.*
- A8 *Reflective and tinted glass and coatings must not be used where visible from public places.*
- A9 *Additions to heritage-listed buildings must have timber window frames, where visible from public spaces.*
- A10 *Painted aluminium must only be used where it cannot be seen from the street and in new buildings*

A11	<i>Glazing bars must be of a size and profile appropriate for the period of the building</i>
A12	<i>Stick-on aluminium glazing-bars must not be used</i>
A13	<i>All windows in brick or masonry buildings must have projecting brick or stone sills</i>
<b>French Doors, Bay Windows and Glass Panelling</b>	
A14	<i>French doors and bay windows must be appropriate for the original building style and must be of a design reflected in buildings of a similar period.</i>
A15	<i>Where two bay windows are required, they must be symmetrically placed.</i>
A16	<i>Large areas of glass panelling must:</i>
a)	<i>Be divided by large vertical mullions to suggest a vertical orientation; and</i>
b)	<i>Be necessary to enhance the utility of the property or protect the historic fabric; and</i>
c)	<i>Not detract from the historic values of the original building.</i>

Not Applicable

#### **F2.5.9 Roof Covering**

<i>Objective: To ensure that roof materials are compatible with the streetscape.</i>	
<b>Acceptable Solutions (no performance criteria)</b>	
A1.1	<i>Roofing of additions, alterations and extensions must match that of the existing building; and</i>
A1.2	<i>Roof coverings must be:</i>
a)	<i>corrugated iron sheeting in</i>
	<i>• Woodland Grey; or</i>
	<i>• Windspray; or</i>
	<i>• Shale Grey; or</i>
	<i>• Manor Red; or</i>
	<i>• Plantation; or</i>
	<i>• Jasper;</i>
	<i>or</i>
b)	<i>slate or modern equivalents, shingle and low profile tiles, where compatible with the style and period of the main building on the site and the setting. Tile colours must be:</i>
	<i>• dark gray; or</i>
	<i>• light grey; or</i>
	<i>• brown tones; or</i>
	<i>• dark red;</i>
	<i>or</i>
c)	<i>traditional metal tray tiles where compatible with the style and period of the main building on the site.</i>
A2	<i>Must not be klip-lock steel deck and similar high rib tray sheeting.</i>

Proposed colorbond roof material is intended to be of a muted grey tone to blend with traditional dull galvanized finishes prevalent within the precinct

**F2.5.10 Roof Plumbing**

*Objective: To ensure that roof plumbing and fittings are compatible with the streetscape.*

**Acceptable Solutions (no performance criteria)**

*A1.1 Gutters must be OG, D mould, or Half Round profiles (refer Figure F2.26); and  
A1.2 Downpipes must be zincalume natural, colorbond round, or PVC round painted.*

*A2 Downpipes must not be square-line gutter profile or rectangular downpipes (refer Figure F2.27).*

*Gutters and downpipes are intended to be half-round profile and of zincalume finish.*

**F2.5.11 Verandahs**

*Objective: To ensure that traditional forms of sun and weather protection are used, consistent with the streetscape.*

**Acceptable Solutions (no performance criteria)****Original Verandahs**

*A1 Original verandahs must be retained.*

**Replacement of Missing Verandahs**

*A2.1 The replacement of a missing verandah must be consistent with the form and detail of the original verandah; or*

*A2.2 If details of the original verandah are not available:*

- a) The verandah roof must join the wall line below the eaves line of the building (refer Figure F2.19); and*
- b) Verandah posts and roof profile must be consistent with that in use by the surrounding buildings of a similar period.*

**New Verandahs**

*A3 A new verandah, where one has not previously existed, must be consistent with the design and period of construction of the dominant existing building on the site or, for vacant sites, those of the dominant design and period within the precinct.*

*Not Applicable*

**F2.5.12 Architectural Details**

*Objective: To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.*

**Acceptable Solutions (no performance criteria)****Original Detailing**

*A1 Original details and ornaments, such as architraves, fascias and mouldings, are an essential part of the building's character and must not be removed beyond the extent of any alteration, addition or extension.*

**Non-original Detailing**

*A2.1 Non-original elements must be consistent with the original architectural style of the dominant existing building on the site or, for vacant sites, be consistent with the existing streetscape; and*

*A2.1 Non-original elements must not detract from or dominate the original qualities of the building, nor should they suggest a past use, which is not historically accurate.*

The overall detail & finish of the proposed structures are intended to be simplistic and subservient to existing heritage building stock within the Church Street precinct.

**F2.5.13 Outbuildings**

*Objective: To ensure that outbuildings do not reduce the dominance of the original building or distract from its period character.*

**Acceptable Solutions (no performance criteria)**

*A1 Sheds must not be located on the lot between the back wall of the main house on the site and the front street boundary line.*

*A2 Sheds must be designed, in both scale and appearance, to be subservient to the primary buildings on the site.*

*A3 Garages and Carports must not be located in front of existing heritage-listed buildings, and must be setback a minimum of 3 metres behind the line of the front wall of the house that is set furthest back from the street (refer Figure F2.1 & F2.3).*

*A4 Any garage, including those conjoined to the main building, must be designed in the form of an outbuilding, with an independent roof form.*

*A5 Those parts of garages and sheds visible from the street must be consistent, in both materials and style, with those of any existing heritage-listed building on-site.*

*A6 The eaves height of a garage must not exceed 3m, and where visible from the street, the roof form and pitch must be the same as that of the main house.*

Whilst there aren't any original buildings upon the subject site, colours, textures and forms have been borrowed from similar historic examples with an overall intention to minimise visual impact via reduction of superfluous detail similar to that of traditional outbuildings. Eaves heights, roof forms and location upon the site have been undertaken accordingly.

**F2.5.14 Conservatories**  
Not Applicable

**F2.5.15 Fences and Gates**

The proposed entrance structure, although located upon the front boundary, is intended to be visually recessive whilst utilising a similar palette of colours / materials to the remainder of proposed outbuildings upon the subject site.

**F2.5.16 Paint Colours**

Objective: To ensure that new colour schemes maintain a sense of harmony with the street or area in which they are located.
<b>Acceptable Solutions (no performance criteria)</b>
A1.1 Colour schemes must be drawn from heritage-listed buildings within the precinct; or
A1.2 Colour schemes must be drawn from the following:
a) Walls – Off white, creams, beige, tans, fawn and ochre.
b) Window & Door frames – white, off white, Indian red, light browns, tans, olive green and deep Brunswick green.
c) Fascia & Barge Boards - white, off white Indian red, light browns, tans, olive green and deep Brunswick green
d) Roof & Gutters – deep Indian red, light and dark grey, (black, green and blue are not acceptable).
A2 There must be a contrast between the wall colour and trim colours.
A3 Previously unpainted brickwork must not be painted, except in the case of post-1960 buildings.

The general colour palette of the proposed Village Green development is that of muted earthy tones complemented by a palette of light & dark greys that can evolve over time as timber weathers and landscaping matures.

**F2.5.17 Lighting**

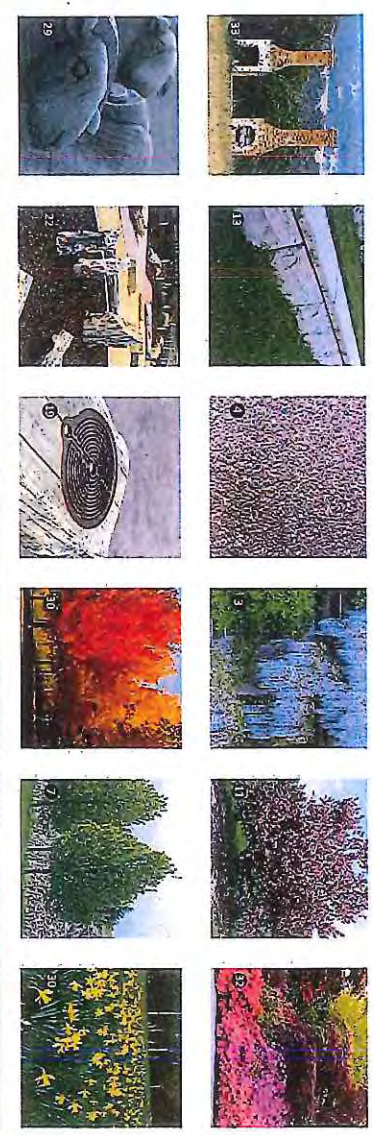
Objective: To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape
<b>Acceptable Solutions (no performance criteria)</b>
A1 New lighting such as flood lights, spotlights or entry lights must be carried out such that wiring, fixings and fittings are concealed.

All electrical services proposed are intended to be underground or concealed within building structures.



**PLANTING SCHEDULE**

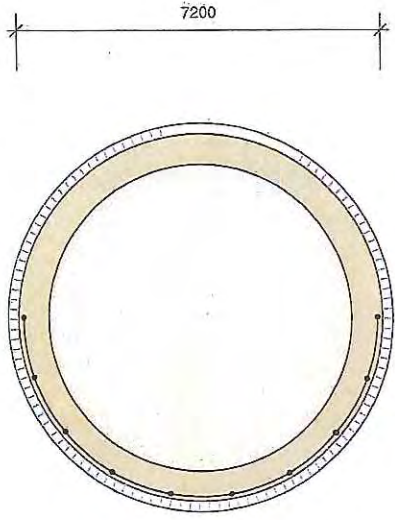
PLANT NAME	COMMON NAME	FOI
1. Acer rubrum 'Frohnberg Flame'	Red Spindle	401
2. Alnus incana	Common Alder	140m
3. Betula papyrifera	White Birch	401
4. Cornus rugosa	Spicebush	401
5. Fagus sylvatica 'Virens'	Green Sycamore	401
6. Fraxinus pennsylvanica	Green Ash	401
7. Ilex verticillata	Wintergreen	401
8. Juniperus horizontalis	Creeping Juniper	401
9. Liriodendron tulipifera	Tulip Tree	401
10. Magnolia grandiflora	Southern Magnolia	401
11. Quercus prinus	Prickly Pear Oak	401
12. Quercus rubra	Red Oak	401
13. Quercus sp.	White Oak	401
14. Salix nigra	Black Willow	401
15. Sassafras	Sassafras	401
16. Thuja occidentalis	Green Cedar	401
17. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
18. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
19. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
20. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
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32. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
33. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
34. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401
35. Thuja occidentalis 'Smaragd'	Emerald Green Cedar	401



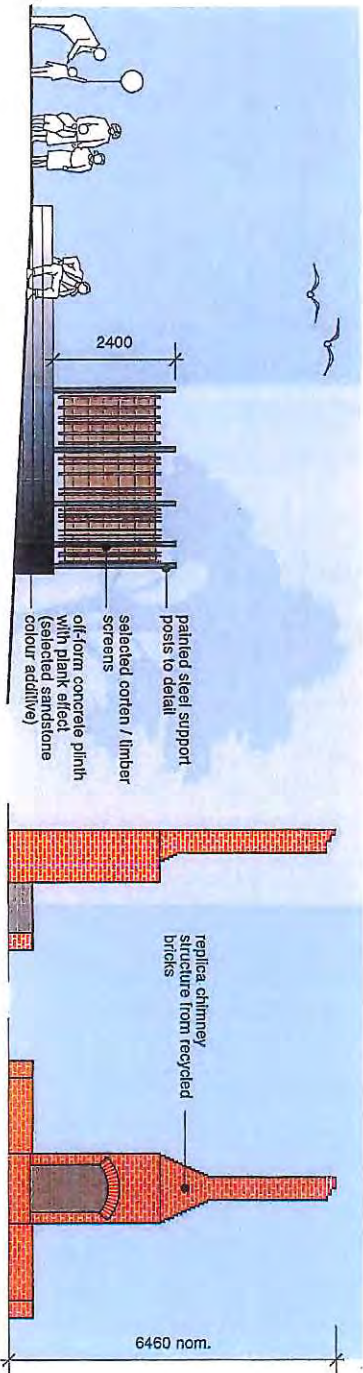
- LEGEND**
- Open lawn areas for tick-tock-out space and large community events.
  - Planting areas consisting of low groundcovers and plants close to the edge of the garden, with trees and medium shrubs toward the back to provide depth to the landscape within the park.
  - 20 x 20cm Precast concrete charcoal coloured pavers with a planting and lawn area.
  - Charcoal-brown park seat with back and arm, set within the planting area over a concrete pad, provides a place for quiet contemplation.

**NUMBER LEGEND**

- Existing driveway multi-tenance vehicle access to be retained.
- Existing driveway footprint to be retained.
- Gate only with a vitreous coloured outer of the same architectural design as the backdoor and multiple stone steps.
- Central 2.4m (w) pathway consisting of each coloured concrete with a light exposed finish to reveal a linear metal landscape screen.
- 200mm (H) formal clipped hedge along the full footprint of the park to envelope the space and also to control access.
- Coloured concrete access path to each side of the entry outer.
- Clear finished fence in garden to ensure visual surveillance across the park.
- Two naturally shaded picnic tables over concrete pavement.
- Commonly planted English Oak, tree commemorating the opening of the park and to symbolise early settlement plantings.
- Reduction established lighting along the central pathway.
- Small decorative trees provide a backdrop to the bondform.
- Bondform with removable wall, set on a 200mm high circular concrete platform with a cut stone wall surround.
- Stone finished seating with coloured concrete coping, radiating from the bondform and set within the natural amphitheatre contours of the site.
- Low planting and clear walk fence compliant to the local garden.
- Clear huck trees and low planting provides visual surveillance access to the total structure and adjoining multiple-purposes shelter.
- Single unique ambient lateral with light change table, consisting of a contemporary Georgian style of architectural form.
- Large 8 x 2.5m multi-purpose shelter consisting of a contemporary Georgian style architectural form, with a tall timber frame that sits forming a backdrop, weather screen, and surrounding the multiple-purposes shelter provides all weather access for large community events, large family gatherings, etc.
- English oak, mature, surrounding the multiple-purposes shelter provides all weather access for large community events, large family gatherings, etc.
- A walk style structure with a simple building outline connected to the multiple-purposes shelter by a series of steps, providing a visual connection to the park.
- Black oak timber with a horizontal railing profile on a concrete backdrop for the secondary access to the park.
- Two front feature trees with colorful foliage and harvest lighting against the Black Oak backdrop provides shade over the seating overlooking the play area.
- Active play table, hand painted with a red and white geometric pattern, featuring a hand-painted beam, discovery elements and an ergonomic soft fall mat.
- A form style path, water, solar panel and covered log trough with outdoor channel provides a water play element within the nature based play area.
- Curved timber bridge adds interest to the play area.
- Gateway from the existing dog element, from under the bridge and the 2000 garden which is surrounded by trees, mature trees and outdoor play spaces.
- A low stone wall provides an end edge along the 2000 garden and an historic feel.
- The central path allows for the reduced width loop path and the continuation of the 2.4m (w) path into the adjoining element if future access is required.
- Log seat provides an edge for future pathway connection works if required.
- From 2000, path leads to the open lawn area and interest within the park and provides a visual connection to the play area.
- Small spaces (approx 10m) with light bulb underfoot planted within the open lawn (10m) and (10m) back to the central pathway.
- 1.4m (w) coloured concrete pathway envelope the Maple (10m) oval and brick chimney through positive visual surveillance.
- Low planting around the brick chimney (10m) and loop path provides a safe environment through positive visual surveillance.
- Early 1800's style brick chimney provides a fully typical of broad-acre Georgian style English gardens of the 19th Century.
- Masonry low brick screen spanning along northern boundary.
- Lawn area graded toward the natural low point of the park where stormwater drains into a 2000 garden with vertical grass and natural grass for habitat.

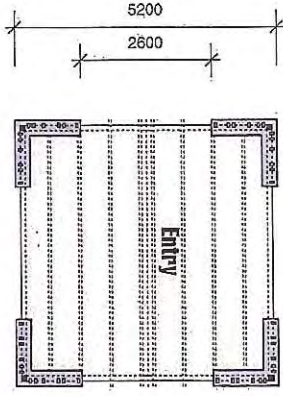


**Bandstand Plan** 1:100 @ A3  
Refer to Site Plan for location & surface finishes

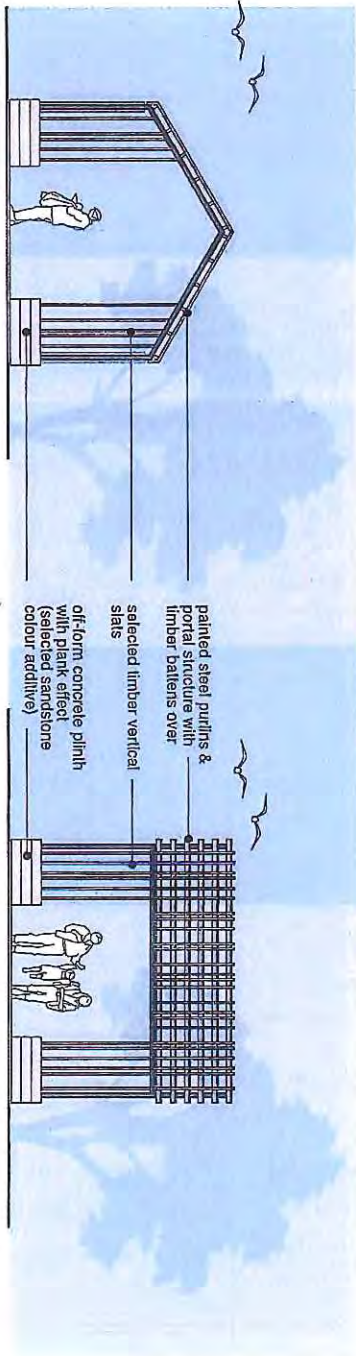


**Bandstand** 1:100 @ A3  
(Side View)

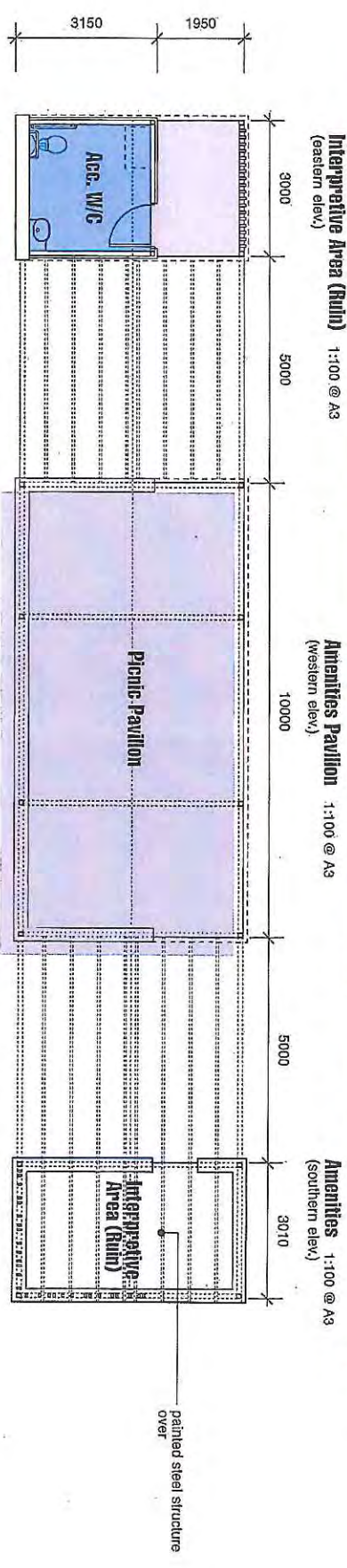
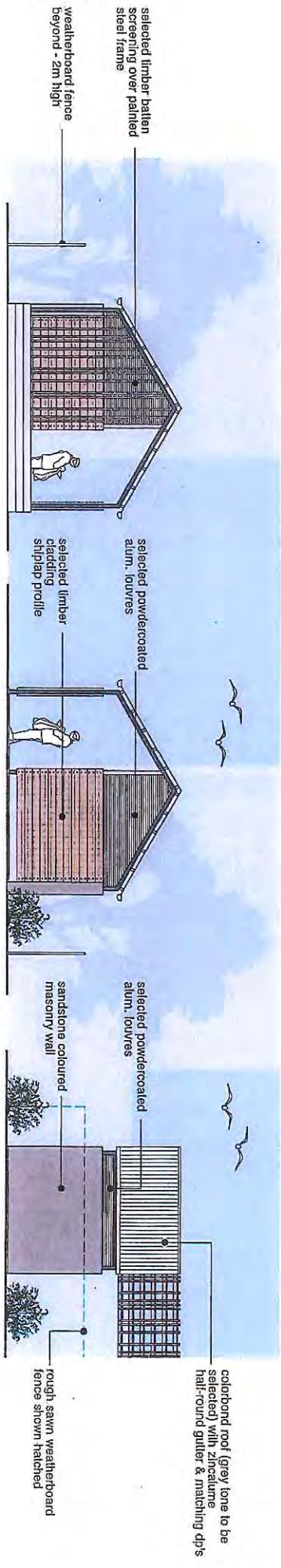
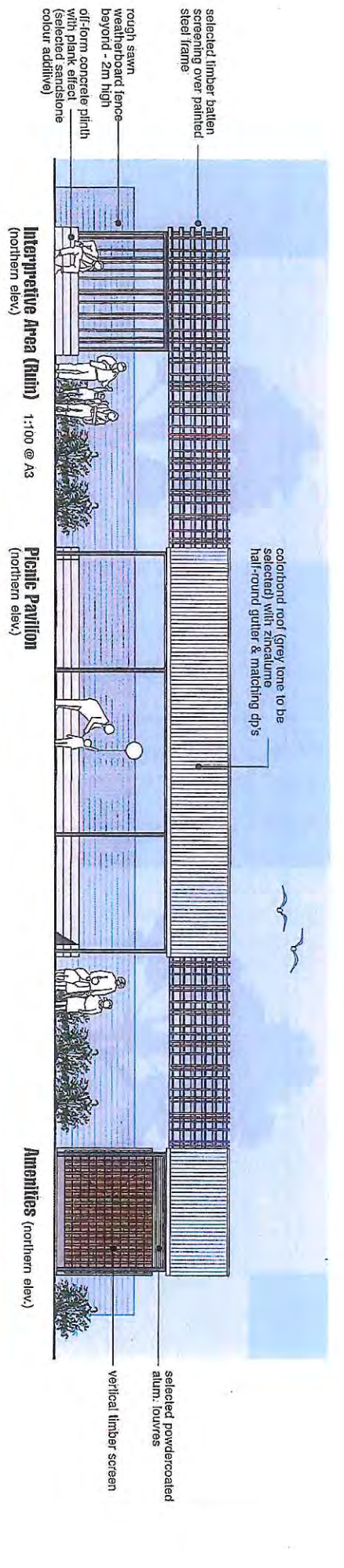
**Folly** 1:100 @ A3  
(Front & Side View)



**Entry Plan** 1:100 @ A3  
Refer to Site Plan for location & surface finishes







**Shelter Floor Plans** 1:100 @ A3  
Refer to Site Plan for location

1-195

**NORTHERN MIDLANDS COUNCIL**

**REPORT FROM:** HERITAGE ADVISER, DAVID DENMAN  
**DATE:** 14-Nov-2017  
**REF NO:** P17-287; 400600.36  
**SITE:** 33 Church Street, ROSS  
**PROPOSAL:** Ross Village Green development (vary side setback [S],  
heritage precinct)  
**APPLICANT:** Loop Architecture Pty Ltd  
**REASON FOR REFERRAL:** HERITAGE PRECINCT  
HERITAGE-LISTED PLACE  
*Local Historic Heritage Code*  
*Heritage Precincts Specific Area Plan*

Do you have any objections to the proposal: **No**

This proposed work involves the development of a new village green at 33 Church Street Ross. The development plan was prepared after extensive consultation with the local community, I understand that two design options were considered and this proposal was the preferred option. Apart from the small entrance structure, the other proposed structures are set back a considerable distance from the Church Street boundary. The proposed structures are in a traditional form and will be sympathetic with the historic streetscape, whilst not being historic replica designs.

Therefore, the visual impact of the structures will not have an adverse impact on the historic streetscape values.

The functional aspects of the development and their impact on adjoining residential amenity is not a heritage issue.

*Email referral as word document to David Denman - [denmanarchitects@bigpond.com](mailto:denmanarchitects@bigpond.com)*

*Attach public exhibition documents*

*Subject line: Heritage referral P17-287 - 33 Church Street, ROSS*



David Denman (Heritage Adviser)

Date: 21/12/2017

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**REFERRAL OF DEVELOPMENT APPLICATION P17-287 TO WORKS DEPARTMENT**

**Property/Subdivision No:** 400600.36

**Date:** 14-Nov-2017

**Applicant:** Loop Architecture Pty Ltd

**Proposal:** Ross Village Green development (vary side setback [S], heritage precinct)

**Location:** 33 Church Street, ROSS

W&I referral P17-287, 33 Church Street, ROSS

W.1 Stormwater

- a) Each dwelling must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works Department.
- b) Concentrated stormwater must not be discharged into neighbouring properties
- c) Landscaping and hardstand areas must not interfere with natural stormwater run-off from neighbouring properties.

*Jonathan Galbraith (Works Officer)*

*Date: 14/11/17*

**Christopher Bearman OAM**

To General Manager North Midlands Council

Re Ross Village Green

Dear Sir

I am writing with our concerns regarding the above proposal from Council. We have no objection to the concept of open park space on the site but our concerns are as follows.

The areas designed to attract activity in the park area i.e. the pavilion; the amenities room and the play area are all sited on the south border adjacent to the rear fence lines of Bridge Street residences. While opens the possibility of disturbance to Bridge St residents and more seriously a security issue during non daylight hours as we assume the facilities will not be lit or secured.

If the above mentioned are to be retained in the final plan we strongly suggest their re location closer to Church St both for the convenience of the general public and the general security of the area especially the residents of Bridge St.

From a personal viewpoint if the project is to reflect its title of village green it would seem more logical to concentrate on the green aspect e.g planting of mature trees rather than structures that may seldom be used and fall into decline very quickly.

Your sincerely

Christopher Bearman

Stephanie Morrison

13 Bridge St

Ross

7209

9 Bridge Street  
Ross TAS 7209  
21 November 2017

General Manager  
Northern Midlands Council  
by email

**Re: P17-287 Planning Application - Ross Village Green**

Dear Sir,

Our property is at 9 Bridge Street, Ross which is also within the Heritage Precinct backing directly onto the Village Green site.

We have noticed in the Application's response to Sections F2.1, F2.3, and F2.4 while being specific about respecting the amenity of sites in Church Street and opposite, it has ignored other sites in Bridge, Bond and High Streets that back on to the Village Green site.

As far as we are concerned, we have issue with the placement of the "Active Play Area" with all its associated equipment and games, up against our rear fence line. A significant part of our lives is spent to the rear of our property and, as well part of our residence has a bedroom just a few metres from that fence.

This placement within the plan is not appropriate next to private residences as the peaceful amenity of the area will be significantly diminished. We do have recent vivid personal experience of this with children squealing and screaming during daylight hours in play areas such as these.

The Play Area needs to be relocated to another section on the site well away from private residences. There is ample space on this site where the Play Area can be situated far away from private residences without any costing impact. As an architect I am truly surprised that the architects have not considered this in their planning deliberations.

We trust the council can respect our rights of having peace and quiet on our property.

One of the reasons we bought this property was for the peace and quiet environment that became apparent when visiting the site away from the awful experiences we have had in the past. We accept that there are events from time to time that may disturb the peace but not on a potentially continuing basis.

On this basis we strongly object to the plan as it now stands.

Yours faithfully



Keith and Jennifer Jolly  
Owners / Occupiers  
Phone: 0412 155 222  
Email: keith.jolly@bigpond.com



**BY EMAIL**

The General Manager,  
Northern Midlands Council,  
P.O.Box 156,  
Longford,  
TAS 7301

28<sup>th</sup> November 2017

Attention: Planning Department

Re: Planning Application P17-287 – Ross Village Green

Dear Sir/Madam,

Firstly let me express my overall support for the Ross Village Green proposal; the Northern Midlands Council is to be commended for the initiative and commitment they have displayed in their efforts to provide the local Ross community, and visitors to Ross, with a pleasing and worthwhile amenity. Having said that, I wish to make four observations that concern me from a public safety perspective in relation to the planning application. Please note these are observations not objections.

The planning application includes a Landscape Concept Plan at page 16, which details the proposed layout of the Ross Village Green, the structures to be erected therein, and a planting schedule etc.

**Observation one**

Item 12 of the Landscape Concept Plan provides details of the Bandstand with removable walls set on an 800mm high circular concrete platform.

Given that this particular feature will see little use for most of the year due to the harsh climate here in Ross, it is presumed that the walls will be also be removed for a corresponding period of time.

This will then leave an unwallled circular concrete platform 800mm high which is a considerable distance to fall for a toddler or young child who may be tempted to play on the platform. In addition this also presents a risk of falls to the elderly who may be upon the structure for whatever reason.

What measures will be taken to ensure that this feature will be rendered safe from the danger of accidental falls when the removable walls are actually removed ???

**Observation two**

Item 23 of the Landscape Concept Plan provides details of a farm style push button water spout and carved log trough with outflow channel.

What protection will be given to ensure that toddlers and young children are not exposed to the risk of drowning with this feature, given that toddlers only need 20 seconds to drown, usually without a sound, in less than 50mm of water.

Will this waterspout and carved log trough be elevated at sufficient height to render it inaccessible to those at risk, and in addition have adequate barriers to ameliorate the risk of drowning???

**Observation three**

Item 25 of the Landscape Concept Plan describes an overflow from the water play element which flows under the bridge and into WSUD garden which is surrounded by boulders, natural logs and wetland plant species,

This proposed feature is of even more concern than observation two, due to the highly increased risks of drowning and the attractiveness of such an area to snakes during the hot summer months.

Is it seriously proposed to have an open water channel in an area of the Ross Village Green primarily designed for the use of families with children, particularly given the close proximity of the children's play area???

This water overflow obviously cannot be elevated, and fencing the area would defeat the whole purpose of providing such a feature, therefore in the interests of public safety, consideration should be given to omitting this feature altogether from the Ross Village Green.

**Observation four**

Item 33 of the Landscape Concept Plan provides vague details of an early 1800's style brick chimney folly.

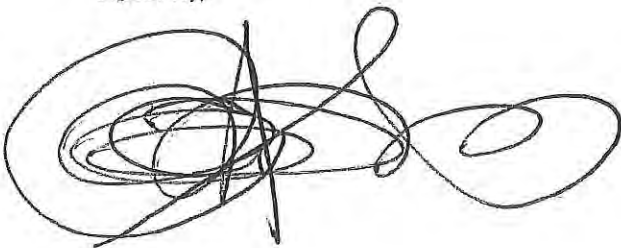
This amenity may provide the opportunity for older children to attempt to climb it, thus providing the mechanism for dangerous falls. In addition, the folly itself may present the risk of collapse due to any activity that the folly was not designed or intended for.

If this amenity is to be retained, then it should be ensured that the structure is designed in a manner that will not allow it to be climbed, and that its construction is of sufficiently high standard and strength to prevent collapse.

I am of the opinion that the Ross Village Green will be a very welcome addition, however it must be ensured that a stress free environment is provided to those who will visit and use it.

This particularly applies to the parents of young children, who should be able to relax and enjoy the amenity without the need to be constantly on edge due to the possible inherent dangers of some of the features.

Sincerely,

A handwritten signature in black ink, appearing to be 'Arthur Thorpe', written in a cursive style with several loops and a long horizontal stroke extending to the right.

Arthur Thorpe,  
42 Bridge Street,  
Ross,  
TAS 7209

Graham & Michelle Littlewood  
PO Box 1,  
Clarendon SA 5157

83 Piggott Range Road,  
Chandlers Hill SA 5159

E: littlewoodbuilders@gmail.com

Graham: 0417 819 060  
Michelle: 0488 125 055  
Home: (08) 8383 6446

General Manager,  
planning@nmc.tas.gov.au

November 23, 2017

Dear sir/madam,

**Re: Development Application Ref: P17-287, Ross Village Green, 33 Church Street, Ross**

We are the owners of 26 Bond Street, Ross, referred to as the "Open Paddock" to the rear/eastern boundary fence line of 33 Church Street, Ross.

While we have no objections to the Development Proposal per se, we do require clarification to references made on the Landscape Concept Plan completed by Lange design landscape architecture, page 16 of the Development Proposal.

The Number Legend reference no. 27 states "*..... path into the adjoining allotment if future access is required*" and again in reference no. 28 "*..... for future pathway connection works if required*". As we own the adjoining allotment, and intend to construct our residential property there in the coming year as previously discussed with your Planning Department, we require clarification as to why these references have been made to a possible future access to our private property.

Please address your response to Graham & Michelle Littlewood at: littlewoodbuilders@gmail.com  
Our other contact details are listed above.

Regards,

Graham Littlewood



Mr Des Jennings  
General Manager  
Northern Midlands Council

Planning Application P17-287  
Ross Village Green

Dear Mr Jennings, Mr Godier and Councillors

A group of Ross residents, listed below, met to discuss the above planning application and wish to make representation to Council based on our mutual concerns. We appreciate the work that has gone into this plan but believe it falls short in some areas.

The outcome of the lengthy and detailed community consultation process for the Ross Village Green was to opt for Concept 1. The Council accepted this option. The plan for the Village Green now before Council only partly reflects the original concept. There are many added features that were never asked for or desired by the Ross community.

The proposed structures for the Green have been designed to complement an existing barn and another outbuilding at the rear of the site. This is not 'achieving consistency with the existing streetscape and common built forms that create the character of the streetscape' as stated in the plan. The character of Church Street is represented by the Georgian Thistle Inn, the Man O Ross Hotel, Bakery 31, Convenience Store/Newsagency and Mechanics Workshop yet none of these buildings have been taken into consideration. The barn on the northern boundary of the park does not complement any of the buildings in Church Street. The shed structure on the eastern boundary is on private land and may be demolished in the near future.

The large 9x5 metre shelter is way too large and enclosed on three sides which does not reflect the shelter design in Concept 1 which was situated away from the boundary with private residences and open on three sides. The shelter as per the plan is an open invitation for anti-social behaviour at night and unacceptable noise levels impacting on private residences. The play area is situated 8 metres from a private residence and would be more suited to the area in the north-east corner.

The stone terraced seating is lovely but the bandstand with removable walls is not in keeping with the streetscape and would detract from the ambience of a restful and green park which is all that was ever wanted by our community.

We understand that the entire plan is not able to be progressed at this time due to funding constraints but to approve it in its entirety would mean that the features which are of a concern would be implemented in the future.

All we have ever asked for is a Village Green that reflects the character of Ross as a Georgian village. The above plan with trees, grass, paths and an unimposing entrance without the large structures and extra details, except for the carved sheep, would be wonderful. It would also be a considerable cost saving to Council. Thank you for your time and consideration in this matter.

Kind Regards

Mrs Jill Bennett, 'Ashby' Ross [ranibennett@gmail.com](mailto:ranibennett@gmail.com)  
Mr Christopher Bearman, 11 Bridge St Ross [chris.d.bearman@gmail.com](mailto:chris.d.bearman@gmail.com)  
Mr Peter Fost, Ross Motel [enquiries@rossmotel.com.au](mailto:enquiries@rossmotel.com.au)  
Mrs Candyce Hurren, 52 Church St Ross [classwoodtas@gmail.com](mailto:classwoodtas@gmail.com)  
Mr Anthony Thoroughgood, 12-20 Tasman St Ross [aetbooks@bigpond.com](mailto:aetbooks@bigpond.com)  
Mr Keith and Mrs Jenny Jolly, 9 Bridge St Ross [keith.jolly@bigpond.com](mailto:keith.jolly@bigpond.com)  
Mr Keith Draper, 5a Church St Ross [kjdraper16@inet.net.au](mailto:kjdraper16@inet.net.au)  
Mrs Helen Davies, 43 Church St Ross [Helen.davies@nda.com.au](mailto:Helen.davies@nda.com.au)  
Mr Steve Robinson, 7 Bridge St Ross [sncrob@gmail.com](mailto:sncrob@gmail.com)  
Mrs Christine Robinson, 7 Bridge St Ross [sncrob1@gmail.com](mailto:sncrob1@gmail.com)  
Ms Noelene Brown, PO Box 29 Ross [noelenebrown01@gmail.com](mailto:noelenebrown01@gmail.com)



View of Council owned land beyond the Ross Bridge next to the Uniting Church

Kim Peart  
39 Bridge Street  
Ross 7209 Tasmania

0400 856 523

Re: Representation  
Ross Village Green  
33 Church Street  
Ref. No. P17-287

Monday 27 November 2017

Dear General Manager,

I write to offer representation on the planning application for the Ross Village Green.

I have one worry with this plan: does it need a chimney? Maybe this is for a barbecue.

My main concern is with the process of getting to this stage in the planning, without undertaking a thorough assessment of the available public land in Ross, and consulting the whole Ross community about this, both ratepayers and residents. As a consequence, the most exciting opportunity of all for a public park in Ross, is being missed. This is not good.

#### CONSULTATION

I am concerned that the Ross community was not asked if they wanted the Council to buy more land in Ross for a new public park.

I am told by elected councillors that the Ross Local District Committee is a consultative committee only, however, in practice this is not the case. The suggestion for buying land for a new town park came from the Ross Committee, who did not consult the Ross community about this recommendation to the Council. Did the Council come back to the Ross Community and ask us if we wanted the Council to buy more land in Ross for a new town park?

The first chance we had to comment on the matter, was after the land had been purchased and consultants engaged to draw up the first round of plans. The impression was that it was a done deal. We were not asked at the beginning, and so we have no idea if our views hold any consequence along the way.

## A BLUNDER IN PROGRESS

I fear that the Council is in the process of making a monster blunder with the new town park, and should slam the planning breaks on and look at all the public parkland in Ross, to identify the best outcome for the future of Ross, value for the community, improvement of heritage values, and adding to the visitor experience in Ross. Should the Council examine what Ross really needs?

## HERITAGE PARKLAND

On a map below I have marked in yellow reserve land in Ross surrounding the Ross Bridge, the Uniting Church and the Convict Female Factory. On a second map I have placed circles over those three sites, marking the three main heritage attractions in Ross. The central circle is Council owned land, with views to the Ross Bridge, across the Macquarie River, and overlooking the Convict Garden, where food was grown for the convicts.

This is the land that would best be developed as Heritage Parkland in Ross. As the Uniting Church grounds are open to the public, as is the church, this land may be included in the development of Heritage Parklands.

The land already includes historic buildings, including the stables, the water reservoir, and the Uniting Church.

If the reserve lands around the river are considered as an extension of the Heritage Parklands, then there will be water features all along the Macquarie River, and the greatest icon of all in the midst of it, with the Ross Bridge and its 186 sandstone carvings.

The Heritage Parkland, on the hill overlooking the bridge, could be the site for interpretation of the bridge, which does not yet exist. This could also be the future location of a statue of Daniel Herbert, and examples of the carvings on the bridge.

## NATIONAL HERITAGE LISTINGS

A plan for the development of a Heritage Parkland and features around the river to complement the Ross Bridge and improve the visitor experience, would add strength to a new National Heritage List application with the Ross Bridge. When in charge of a heritage icon like the Ross Bridge, it pays to show pride in its value, by improving the surrounding environment along the river.

The prospect of a National Heritage List application of all the convict sites in Ross is being mooted at present, so improving the surrounding environment of the convict sites will be a good step in this direction.

## CONCLUSION

This planning blunder I see in progress could have been avoided, if a Development Plan had been made for Ross in 2012, when one was made for 5 other towns in the Northern Midlands.

If the Council sees the relevance of supporting the heritage in Ross, then there is a question of where the funding should best be directed.

The current decision to pursue a new town park in Ross, which has nothing to do with the history, heritage, or tourism of the town, is based on the opinion of a few members of the Ross Committee. I suggest that opinion was faulty, as it was not based on consultation with the Ross community, and

did not take into account all the available public land in Ross, or focus on the support needs of the heritage and tourist experience in Ross.

If Ross is to have good planned progress, a public car park will be needed. I suggest that a shift in focus to developing a Heritage Parkland in Ross, which would require a funding priority, would liberate 33 Church Street for other valid uses, such as a public car park in Ross.

The Council may have a stark choice to make now, between exciting development opportunities with Heritage Parklands, and what could end up becoming an expensive white elephant. Or, being next to the local pub, a pink elephant.

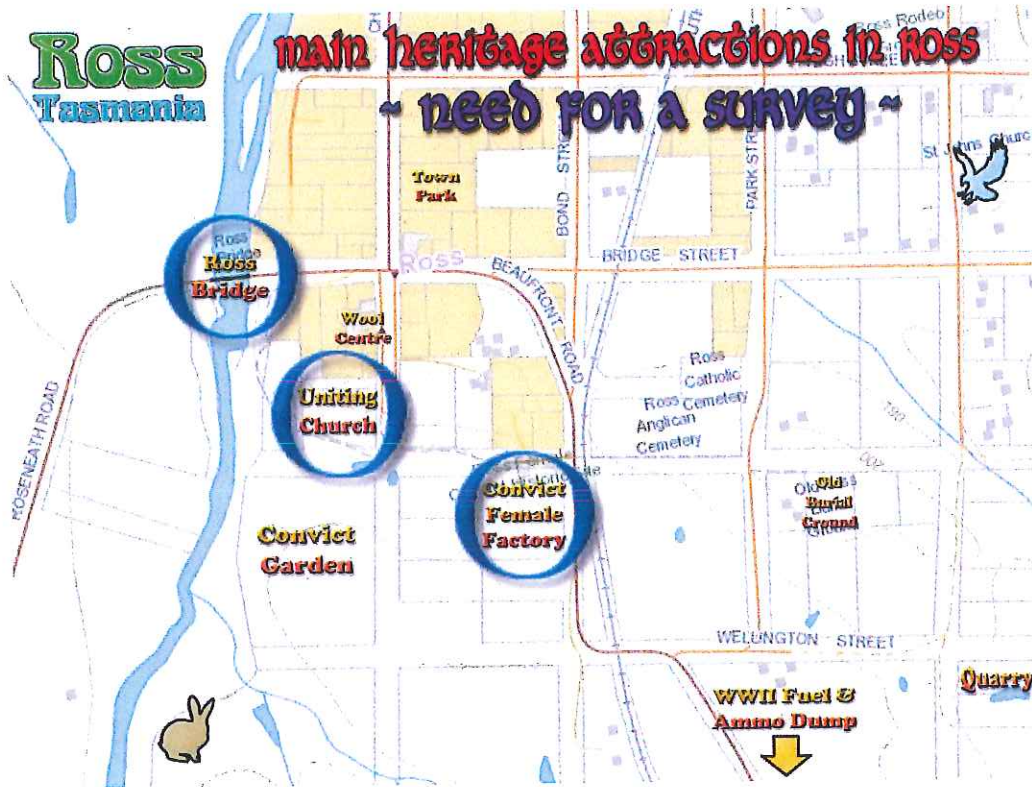
Yours sincerely,

Kim Peart

This map shows the location of Council owned land, and with the Uniting Church Land, could become very exciting Heritage Parkland in Ross.



This map shows the main heritage attractions in Ross, which places the suggested Heritage Parkland in the heart of the main heritage action in Ross.



This photo shows the old stables on the Council owned land in Ross, which could be developed as Heritage Parkland.



This is the view across the Council owned land, with a view to the Ross Bridge, where interpretation of the Ross Bridge could be located, including a statue of Daniel Herbert.



This is the view from the Council owned land in Ross, over the Macquarie River and across the Convict Garden, where walking trails can be developed on public land.



Subject: Ross Village Green  
Written representation: Application P17-287

To the General Manager  
Northern Midlands Council

I have concerns with the proposed design plan for the Ross Village Green proposal on several counts. My major points are as follows:

1. The Design Statement

... *“achieving consistency with the existing streetscape and common built forms that create the character of the streetscape.”*

The historic Georgian property, “Thistle Inn”, is the dominate view from all parts of the proposed Green but it isn’t listed along with the Man O’ Ross Hotel, Bakery 31, Convenience Store/Newsagency and Mechanic’s Workshop (F2.4.3), yet it represents the true character of Church Street and the early building style of the town.

The proposed structures for the Green have instead been designed to complement an existing barn and other outbuildings at the rear of the site which are not “*Georgian*” and are not part of the streetscape. These buildings may be demolished in the future and would eventually be hidden by the larger trees.

2. Materials (F2.5.6)

I understand that proposed materials are *“intended to interpret traditional construction methods rather than replication”* and include concrete blockwork and concrete plinth material (with colours and additives), but Ross is a sandstone village and is surrounded by sandstone quarries.

Only the *“replica brick fireplace/ruin”* would be in a traditional material - *“traditional brick”*.

3. “Large multi-purpose ‘Georgian’ style shelter” and “connecting ‘ruin’ style play environment”.

These are larger structures than required, designed for groups of active people, and are placed close to private house boundaries where noise would be unwelcome.

4. “Bandstand with removeable walls”

This is a jarring shape on the Green, particularly with the “barn-style steel and timber walls”.

5. “Tree trunk play area”

I feel this is not necessary (there is an excellent playground by the camping ground), it is unattractive and not conducive with the park-like qualities we seek.

Summary

I feel strongly that the barn design concept for the structures is an unsuitable choice for Ross’ main street. We may be in a rural setting but the original properties in Church Street are not barns. They are proud Georgian and Victorian properties – some architecturally formal, some modest and unadorned.

The proposed structures for the Green are too large and over designed, and there are too many incongruent features altogether.

The proposed structures will not complement Ross, or make architectural sense in the future.

The proposed design does not give Ross residents the simpler features and facilities they asked for. Please just give us the grass, paths, lots of trees, an entrance arbour, perhaps a barbecue - and the sheep would be really fun.

Regards

Helen Davies  
43 Church Street  
Ross



Anthony E Thorogood  
12-20 Tasman Street  
Ross  
63815192

25 November 2017

Please find here my response to planning application P17-287 for the Ross Village Green

I would like to say that the concept of the Ross Village Green is a good one and the provisional plan, minus its abundance of Disney like features, would be exactly what the Ross community would like to see, but the devil is in the detail.

The fake chimneys and the fake ruin are not heritage buildings and do not in any way harmonise with the Ross village setting. The constructed play areas in the plan are situated near residential housing which is a mistake and they are not needed anyway as Ross already has a children's playground.

The consultants state that the buildings are designed to complement a few old sheds, those old sheds are not Ross, the main street of Ross is a Georgian neo classical street scape of sandstone buildings not ruins, not chimneys, not old derelict barns.

I have been told 75% of respondents to the original survey conducted by council, to establish what the people of Ross wanted, chose a village green, we need to define what exactly a village green is:

*A village green is a common open area within a village or other settlement. Traditionally, a village green was often common grassland at the centre of an agricultural or other rural settlement, and was used for grazing. Some also have a pond, often originally for watering stock such as cattle.*

Village green - Wikipedia

I carried out a survey on Facebook: what do people think a village green is, what follows are some of the comments:

*A green area in the middle of a village with seats to sit on and rest relax meet other villagers with trees and flower beds.*

*An open green place where people can enjoy the character of their community and share in the care of it.*

*... where the town cricket team used to play. It was also used for fetes, fairs and festivals.*

*An open space with grass to sit and run around on and trees to enjoy the shade of.*

*A grassy common area.*

*An area of green in the middle of town where people sit and relax, kids play, where outdoor events take place.*

As Ross Village Green was known as the Pub Paddock originally, is central to the town and has often been grazed by cattle, sheep and horses it fits the description of a village green very well. The consultants design however does not conform to the idea of a village green. The consultants in fact have designed a suburban recreation park for young families with lots of children, in Ross however we tend not to have young families with lots of children and the visitors to Ross tend to be couples or older family groups from Australia, China and the rest of the world.

More importantly the plan goes against the guidelines for a development in the heritage area of Ross, to put it in a nutshell the consultants plan completely fails to harmonise with its location.

The Westbury Village Green should have been the consultants starting point, it has lawns, trees, picnic benches and the odd interpretive sign and not much more, however it is a beautiful place to sit, picnic and simply enjoy the space.

Overall the plan is too busy and cluttered and smothered in non-heritage barnacles. I believe the bare bones of the plan are fine but the plethora of miscellaneous structures should be dropped. Why over complicate a simple and delightful concept?

Anthony E Thorogood

Mr Stephen Robinson  
7 Bridge Street  
Ross Tasmania 7209  
sncrob@gmail.com  
24/11/2017

Re. Planning Application P17-287  
Ross Village Green.

(Via email only)  
Northern Midlands Council General Manager,  
Dear Mr Jennings

The initial community consultation for the Ross Village Green was a great success with the community sending the Council a resounding 'KISS' as to how we wanted our park to look and feel. Everyone including myself, who attended and gave input were part owners of the initial concept plan.

The current plan now before the council, still contains the simple basic original ideas of the community, but somehow, someone has put their own interpretation on the drawing board which seems to have added a lot of extra infrastructure, the chimney folly just for one, which adds no purpose but extra cost and; it's not what we wanted!

I hope the Council accepts the plan, but please, can a bit more thought go into what is really required which will save money and give the community, who turned out in numbers when we were asked to design our park, what we originally asked for, which was a simple park with grass, trees, paths, picnic tables, seating, a shelter with BBQ and small amenities block.

Thank you and kind regards  
Steve Robinson

Candyce Hurren  
0411290444

24/11/2017

To whom it may concern

I'm very concerned about the new plan for the village green. Why do you need to waste money on barn like structures when they aren't needed or look a part of Ross? What really upsets me is we had a community meeting several times asking the people that live in Ross what they would like at the village green and they came up with a wonderful first design which nearly everyone was happy with. Now you have gone against a lot of what we as a community want, eg: we don't want another playground because Ross already has a terrific one. We do need another BBQ because the one near the river is not big enough to cook much on, and it will give the locals somewhere else to have one. I personally use the BBQ down at the river a lot and when I am planning on having one I call some of the locals to come and join in and it always ends up with about 10 of us there. A BBQ in the village green would be used not only by tourists but most importantly by locals. We want a simple grass, path, trees, and the sheep sculptures are all the children really need to play on. The amphitheatre is perfect. We don't need a big grandstand. Simple is what we all wanted, it feels like we as a community haven't been listened to.

Yours sincerely  
Candy Hurren

To Whom it may Concern:

Re: Ross Village Green Plan

30/11/2017

May I offer the following observations regarding the most recent iteration of the Ross Village Green Plan:

- Firstly, thank you for the work put in so far to develop a plan for Ross, the present maintenance and indeed for the purchase!
- However, what is now being shown is not the same as the 'Park-like' plan that was selected by the stakeholders in Ross when given a final choice of two styles; Formal and Park-like.
- The plan that was selected had an open plan gazebo, situated so that there was a buffer of space and vegetation between it and the adjoining residential properties to the south.
- The structure as now shown is very much closer to the boundaries and has been transformed into a very strong linear structure, not the more informal open sided one as previously shown. Also, having closed in sides is an open invitation to abuse of the structure during the hours of darkness.
- The 'play area' is far too close to the adjoining residential property. And the previous idea of incorporating play into the Village Green was to have been minimalist and organic. Not so much structure/hardscape as now portrayed.
- The 'chimney folly' is just that, A folly. While the idea behind it might be laudable to reflect perhaps old dwellings, it is unnecessary. Also, how long before someone tries to use it as a BBQ?
- I actually do like the Wisteria covered entrance (albeit not quite as elaborate), and the selection of trees.
- I was glad to see that most of the clipped box hedging was gone, I like clipped box hedges but there is the reality of maintenance!
- The idea of a 'Village Green' is epitomised at Westbury, open plan, minimal built structures, lots of trees and grass, low maintenance. An area for running, playing, sitting in the shade, a picnic or a spot to rest.
- We have part of that envisaged in the Ross Village Green plan, but it incorporates too many unnecessary extra structures and hardscape.
- We already have a playground in Ross, ideally situated near the pool, we already have a BBQ/picnic area, situated by the river. No need for duplication.
- In short, maintain the buffer of space and trees on all the residential boundaries, establish the lawns and foundation planting, keep any Gazebo open sided and minimal, provide a bit of seating for picnics and open area for running and playing. Doing this to start will keep the costs much lower and allow time for the space to establish and time to see how people will use it before committing loads of extra money for structures that may well prove to be more of a problem than a benefit!

With very best regards,

Fiona Doe, 10 High St. Ross 7209.

1-216

Applicant's response  
to Representations

To General Manager North Midlands Council

Re Ross Village Green

Dear Sir

I am writing with our concerns regarding the above proposal from Council. We have no objection to the concept of open park space on the site but our concerns are as follows.

The areas designed to attract activity in the park area i.e. the pavilion; the amenities room and the play area are all sited on the south border adjacent to the rear fence lines of Bridge Street residences. While opens the possibility of disturbance to Bridge St residents and more seriously a security issue during non daylight hours as we assume the facilities will not be lit or secured.

**Concept as per endorsed Master Plan by JMG. Facilities will be lit & secured after hours**

If the above mentioned are to be retained in the final plan we strongly suggest their re location closer to Church St both for the convenience of the general public and the general security of the area especially the residents of Bridge St.

**Concept as per endorsed Master Plan by JMG.**

From a personal viewpoint if the project is to reflect its title of village green it would seem more logical to concentrate on the green aspect e.g. planting of mature trees rather than structures that may seldom be used ? and fall into decline very quickly.

**Concept incorporates planting of mature species.**

Your sincerely

General Manager  
Northern Midlands Council  
by email

**Re: P17-287 Planning Application - Ross Village Green**

Dear Sir,

Our property is at Ross which is also within the Heritage Precinct backing directly onto the Village Green site.

We have noticed in the Application's response to Sections F2.1, F2.3, and F2.4 while being specific about respecting the amenity of sites in Church Street and opposite, it has ignored other sites in Bridge, Bond and High Streets that back on to the Village Green site.

**Concept as per endorsed Master Plan by JMG**

As far as we are concerned, we have issue with the placement of the "Active Play Area" with all its associated equipment and games, up against our rear fence line. A significant part of our lives is spent to the rear of our property and, as well part of our residence has a bedroom just a few metres from that fence.

**Dwelling distance from fence noted as 32m +/- unless there is a bedroom within the outbuilding**

This placement within the plan is not appropriate next to private residences as the peaceful amenity of the area will be significantly diminished. We do have recent vivid personal experience of this with **children squealing and screaming during daylight hours in play areas** such as these.

**Consideration should be given to the broader needs of the community**

The Play Area needs to be relocated to another section on the site well away from private residences. There is ample space on this site where the Play Area can be situated far away from private residences without any costing impact. As an architect I am truly surprised that the architects have not considered this in their planning deliberations.

**Concept as per endorsed Master Plan by JMG**

We trust the council can respect our rights of having peace and quiet on our property.

One of the reasons we bought this property was for the peace and quiet environment that became apparent when visiting the site away from the awful experiences we have had in the past. We accept that there are events from time to time that may disturb the peace but not on a potentially continuing basis.

On this basis we strongly object to the plan as it now stands.

**BY EMAIL**

The General Manager,  
Northern Midlands Council,  
P.O.Box 156,  
Longford,  
TAS 7301

28<sup>th</sup> November 2017

Attention: Planning Department

Re: Planning Application P17-287 – Ross Village Green

Dear Sir/Madam,

Firstly let me express my overall support for the Ross Village Green proposal; the Northern Midlands Council is to be commended for the initiative and commitment they have displayed in their efforts to provide the local Ross community, and visitors to Ross, with a pleasing and worthwhile amenity. Having said that, I wish to make four observations that concern me from a public safety perspective in relation to the planning application. Please note these are observations not objections.

The planning application includes a Landscape Concept Plan at page 16, which details the proposed layout of the Ross Village Green, the structures to be erected therein, and a planting schedule etc.

**Observation one Not Applicable - platform has permanent, visually permeable screens**

Item 12 of the Landscape Concept Plan provides details of the Bandstand with removable walls set on an 800mm high circular concrete platform.

Given that this particular feature will see little use for most of the year due to the harsh climate here in Ross, it is presumed that the walls will be also be removed for a corresponding period of time.

This will then leave an unwallled circular concrete platform 800mm high which is a considerable distance to fall for a toddler or young child who may be tempted to play on the platform. In addition this also presents a risk of falls to the elderly who may be upon the structure for whatever reason.

What measures will be taken to ensure that this feature will be rendered safe from the danger of accidental falls when the removable walls are actually removed ???

**Observation two Not Applicable - all water drained, not pooled / stored**

Item 23 of the Landscape Concept Plan provides details of a farm style push button water spout and carved log trough with outflow channel.

What protection will be given to ensure that toddlers and young children are not exposed to the risk of drowning with this feature, given that toddlers only need 20 seconds to drown, usually without a sound, in less than 50mm of water.

Will this waterspout and carved log trough be elevated at sufficient height to render it inaccessible to those at risk, and in addition have adequate barriers to ameliorate the risk of drowning???



**Observation three**      **Not Applicable - All surface water drained from site**

Item 25 of the Landscape Concept Plan describes an overflow from the water play element which flows under the bridge and into WSUD garden which is surrounded by boulders, natural logs and wetland plant species.

This proposed feature is of even more concern than observation two, due to the highly increased risks of drowning and the attractiveness of such an area to snakes during the hot summer months.

Is it seriously proposed to have an open water channel in an area of the Ross Village Green primarily designed for the use of families with children, particularly given the close proximity of the children's play area???

This water overflow obviously cannot be elevated, and fencing the area would defeat the whole purpose of providing such a feature, therefore in the interests of public safety, consideration should be given to omitting this feature altogether from the Ross Village Green.

**Observation four**      **Folly to be excluded from proposal**

Item 33 of the Landscape Concept Plan provides vague details of an early 1800's style brick chimney folly.

This amenity may provide the opportunity for older children to attempt to climb it, thus providing the mechanism for dangerous falls. In addition, the folly itself may present the risk of collapse due to any activity that the folly was not designed or intended for.

If this amenity is to be retained, then it should be ensured that the structure is designed in a manner that will not allow it to be climbed, and that its construction is of sufficiently high standard and strength to prevent collapse.

I am of the opinion that the Ross Village Green will be a very welcome addition, however it must be ensured that a stress free environment is provided to those who will visit and use it.

This particularly applies to the parents of young children, who should be able to relax and enjoy the amenity without the need to be constantly on edge due to the possible inherent dangers of some of the features.

General Manager,  
planning@nmc.tas.gov.au

November 23, 2017

Dear sir/madam,

**Re: Development Application Ref: P17-287, Ross Village Green, 33 Church Street, Ross**

We are the owners of \_\_\_\_\_ referred to as the \_\_\_\_\_ to the rear/eastern boundary fence line of 33 Church Street, Ross.

While we have no objections to the Development Proposal per se, we do require clarification to references made on the Landscape Concept Plan completed by Lange design landscape architecture, page 16 of the Development Proposal.

The Number Legend reference no. 27 states "*..... path into the adjoining allotment if future access is required*" and again in reference no. 28 "*..... for future pathway connection works if required*". As we own the adjoining allotment, and intend to construct our residential property there in the coming year as previously discussed with your Planning Department, we require clarification as to why these references have been made to a possible future access to our private property.

**Concept as per endorsed Master Plan by JMG**

Regards,

Mr Des Jennings  
General Manager  
Northern Midlands Council

Planning Application P17-287  
Ross Village Green

Dear Mr Jennings, Mr Godier and Councillors

A group of Ross residents, listed below, met to discuss the above planning application and wish to make representation to Council based on our mutual concerns. We appreciate the work that has gone into this plan but believe it falls short in some areas.

The outcome of the lengthy and detailed community consultation process for the Ross Village Green was to opt for Concept 1. The Council accepted this option. The plan for the Village Green now before Council only partly reflects the original concept. There are many added features that were never asked for or desired by the Ross community.

The proposed structures for the Green have been designed to complement an existing barn and another outbuilding at the rear of the site. This is not 'achieving consistency with the existing streetscape and common built forms that create the character of the streetscape' as stated in the plan. The character of Church Street is represented by the Georgian Thistle Inn, the Man O Ross Hotel, Bakery 31, Convenience Store/Newsagency and Mechanics Workshop yet none of these buildings have been taken into consideration. The barn on the northern boundary of the park does not complement any of the buildings in Church Street. The shed structure on the eastern boundary is on private land and may be demolished in the near future. **Buildings are deliberately located away from the streetscape & designed in accordance with prevalent secondary structures**

The **large 9x5 metre shelter** is way too large and **enclosed on three sides** which does not reflect the shelter design in Concept 1 which was situated away from the boundary with private residences and open on three sides. The shelter as per the plan is an open invitation for anti-social behaviour at night and unacceptable noise levels impacting on private residences. The play area is situated 8 metres from a private residence and would be more suited to the area in the north-east corner. **Shelter is articulated & not enclosed (open all sides exc. Toilet area) & in accordance with endorsed JMG Master Plan**

The stone terraced seating is lovely but the bandstand with removable walls is not in keeping with the streetscape and would detract from the ambience of a restful and green park which is all that was ever wanted by our community. **Stage area is low-level with visually permeable (see-through) screens**

We understand that the entire plan is not able to be progressed at this time due to funding constraints but to approve it in its entirety would mean that the features which are of a concern would be implemented in the future.

**Opportunities for future streetscape treatment / development have been preserved**

All we have ever asked for is a Village Green that reflects the character of Ross as a Georgian village. The above plan with trees, grass, paths and an unimposing entrance without the large structures and extra details, except for the carved sheep, would be wonderful. It would also be a considerable cost saving to Council. Thank you for your time and consideration in this matter.

Kind Regards



View of Council owned land beyond the Ross Bridge next to the Uniting Church

Re: Representation  
Ross Village Green  
33 Church Street  
Ref. No. P17-287

Monday 27 November 2017

Dear General Manager,

I write to offer representation on the planning application for the Ross Village Green.

I have one worry with this plan: **does it need a chimney?** Maybe this is for a barbecue. **No - deleted**

My main concern is with the process of getting to this stage in the planning, without undertaking a thorough assessment of the available public land in Ross, and consulting the whole Ross community about this, both ratepayers and residents. As a consequence, the most exciting opportunity of all for a public park in Ross, is being missed. This is not good.

#### CONSULTATION

I am concerned that the Ross community was not asked if they wanted the Council to buy more land in Ross for a new public park.

I am told by elected councillors that the Ross Local District Committee is a consultative committee only, however, in practice this is not the case. The suggestion for buying land for a new town park came from the Ross Committee, who did not consult the Ross community about this recommendation to the Council. Did the Council come back to the Ross Community and ask us if we wanted the Council to buy more land in Ross for a new town park?

The first chance we had to comment on the matter, was after the land had been purchased and consultants engaged to draw up the first round of plans. The impression was that it was a done deal. We were not asked at the beginning, and so we have no idea if our views hold any consequence along the way.

## A BLUNDER IN PROGRESS

I fear that the Council is in the process of making a monster blunder with the new town park, and should slam the planning breaks on and look at all the public parkland in Ross, to identify the best outcome for the future of Ross, value for the community, improvement of heritage values, and adding to the visitor experience in Ross. Should the Council examine what Ross really needs?

## HERITAGE PARKLAND

On a map below I have marked in yellow reserve land in Ross surrounding the Ross Bridge, the Uniting Church and the Convict Female Factory. On a second map I have placed circles over those three sites, marking the three main heritage attractions in Ross. The central circle is Council owned land, with views to the Ross Bridge, across the Macquarie River, and overlooking the Convict Garden, where food was grown for the convicts.

This is the land that would best be developed as Heritage Parkland in Ross. As the Uniting Church grounds are open to the public, as is the church, this land may be included in the development of Heritage Parklands.

The land already includes historic buildings, including the stables, the water reservoir, and the Uniting Church.

If the reserve lands around the river are considered as an extension of the Heritage Parklands, then there will be water features all along the Macquarie River, and the greatest icon of all in the midst of it, with the Ross Bridge and its 186 sandstone carvings.

The Heritage Parkland, on the hill overlooking the bridge, could be the site for interpretation of the bridge, which does not yet exist. This could also be the future location of a statue of Daniel Herbert, and examples of the carvings on the bridge.

## NATIONAL HERITAGE LISTINGS

A plan for the development of a Heritage Parkland and features around the river to complement the Ross Bridge and improve the visitor experience, would add strength to a new National Heritage List application with the Ross Bridge. When in charge of a heritage icon like the Ross Bridge, it pays to show pride in its value, by improving the surrounding environment along the river.

The prospect of a National Heritage List application of all the convict sites in Ross is being mooted at present, so improving the surrounding environment of the convict sites will be a good step in this direction.

## CONCLUSION

This planning blunder I see in progress could have been avoided, if a Development Plan had been made for Ross in 2012, when one was made for 5 other towns in the Northern Midlands.

If the Council sees the relevance of supporting the heritage in Ross, then there is a question of where the funding should best be directed.

The current decision to pursue a new town park in Ross, which has nothing to do with the history, heritage, or tourism of the town, is based on the opinion of a few members of the Ross Committee. I suggest that opinion was faulty, as it was not based on consultation with the Ross community, and

did not take into account all the available public land in Ross, or focus on the support needs of the heritage and tourist experience in Ross.

If Ross is to have good planned progress, a public car park will be needed. I suggest that a shift in focus to developing a Heritage Parkland in Ross, which would require a funding priority, would liberate 33 Church Street for other valid uses, such as a public car park in Ross.

**Irresponsible heritage practice & inappropriate use**

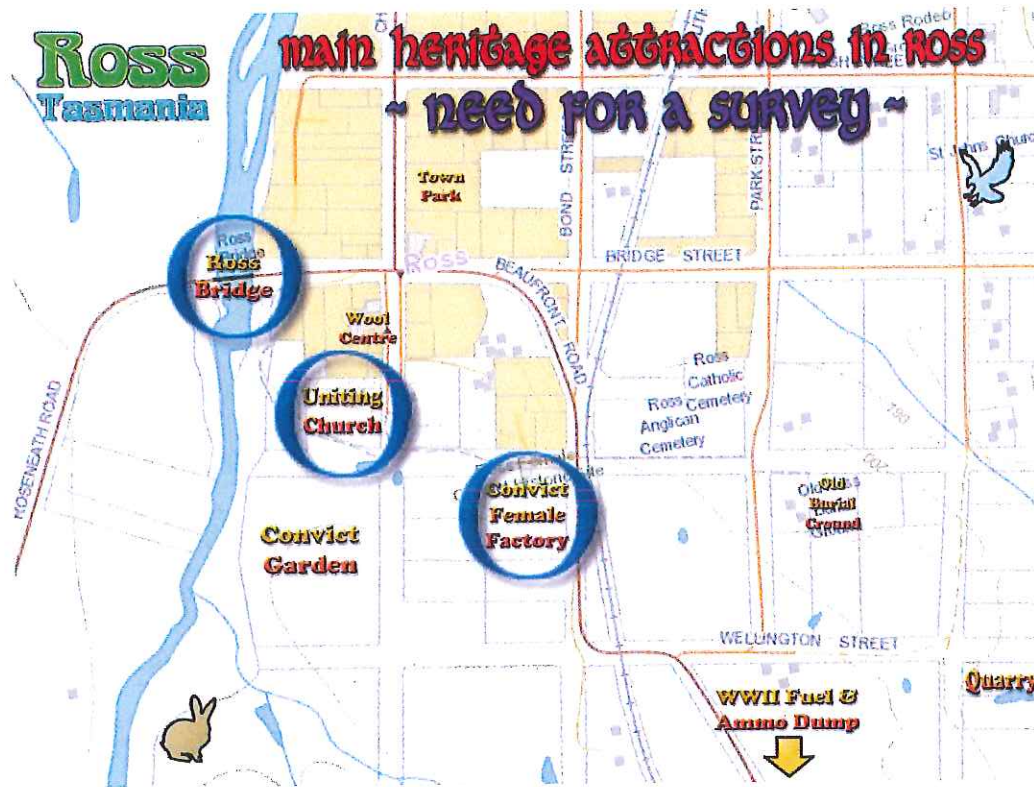
The Council may have a stark choice to make now, between exciting development opportunities with Heritage Parklands, and what could end up becoming an expensive white elephant. Or, being next to the local pub, a pink elephant.

Yours sincerely,

This map shows the location of Council owned land, and with the Uniting Church Land, could become very exciting Heritage Parkland in Ross.



This map shows the main heritage attractions in Ross, which places the suggested Heritage Parkland in the heart of the main heritage action in Ross.



This photo shows the old stables on the Council owned land in Ross, which could be developed as Heritage Parkland.



This is the view across the Council owned land, with a view to the Ross Bridge, where interpretation of the Ross Bridge could be located, including a statue of Daniel Herbert.



This is the view from the Council owned land in Ross, over the Macquarie River and across the Convict Garden, where walking trails can be developed on public land.





Subject: Ross Village Green  
Written representation: Application P17-287

To the General Manager  
Northern Midlands Council

I have concerns with the proposed design plan for the Ross Village Green proposal on several counts. My major points are as follows:

### 1. The Design Statement

... *“achieving consistency with the existing streetscape and common built forms that create the character of the streetscape.”*

The historic Georgian property, “Thistle Inn”, is the dominate view from all parts of the proposed Green but it isn’t listed along with the Man O’ Ross Hotel, Bakery 31, Convenience Store/Newsagency and Mechanic’s Workshop (F2.4.3), yet it represents the true character of Church Street and the early building style of the town.

The proposed structures for the Green have instead been designed to complement an existing barn and other outbuildings at the rear of the site which are not *“Georgian”* and are not part of the streetscape. These buildings may be demolished in the future and **would eventually be hidden by the larger trees.**

**New buildings within the site will eventually be concealed / diffused by vegetation**

### 2. Materials (F2.5.6)

I understand that proposed materials are *“intended to interpret traditional construction methods rather than replication”* and include concrete blockwork and concrete plinth material (with colours and additives), but Ross is a sandstone village and is surrounded by sandstone quarries.

Only the *“replica brick fireplace/ruin”* would be in a traditional material - *“traditional brick”*.

**Blockwork to replicate sandstone colour / texture & is not visible from street, plinth elements coloured accordingly**

3. *“Large multi-purpose ‘Georgian’ style shelter”* and *“connecting ‘ruin’ style play environment”*.

These are larger structures than required, designed for groups of active people, and are placed close to private house boundaries where noise would be unwelcome.

**Structures are articulated to reduce bulk & located in accordance with endorsed JMG Master Plan**

### 4. “Bandstand with removeable walls”

This is a jarring shape on the Green, particularly with the “barn-style steel and timber walls”.

**Stage area is low-level & translucent - not barn-styled**

### 5. “Tree trunk play area”

I feel this is not necessary (there is an excellent playground by the camping ground), it is unattractive and not conducive with the park-like qualities we seek.

**As per endorsed JMG Master Plan**

### Summary

I feel strongly that the barn design concept for the structures is an unsuitable choice for Ross’ main street. We may be in a rural setting but the original properties in Church Street are not barns. They are proud Georgian and Victorian properties – some architecturally formal, some modest and unadorned.

The proposed structures for the Green are too large and over designed, and there are too many incongruent features altogether.

The proposed structures will not complement Ross, or make architectural sense in the future.

1-228

The proposed design does not give Ross residents the simpler features and facilities they asked for. Please just give us the grass, paths, lots of trees, an entrance arbour, perhaps a barbecue - and the sheep would be really fun.

Regards

25 November 2017

Please find here my response to planning application P17-287 for the Ross Village Green

I would like to say that the concept of the Ross Village Green is a good one and the provisional plan, minus its abundance of **Disney like features**, would be **???** exactly what the Ross community would like to see, but the devil is in the detail.

The **fake chimneys and the fake ruin** are not heritage buildings and do not in **Deleted** any way harmonise with the Ross village setting. The constructed play areas in the plan are situated near residential housing which is a mistake and they are not needed anyway as Ross already has a children's playground.

**In accordance with endorsed JMG Master Plan**

The consultants state that the buildings are designed to complement a few old sheds, those old sheds are not Ross, the main street of Ross is a Georgian neo classical street scape of sandstone buildings not ruins, not chimneys, not old derelict barns. **Ross contains an abundance of simplistic gabled structures. The proposal is intended to be recessive & subservient to the landscaped street treatment.**

I have been told 75% of respondents to the original survey conducted by council, to establish what the people of Ross wanted, chose a village green, we need to define what exactly a village green is:

*A village green is a common open area within a village or other settlement. Traditionally, a village green was often common grassland at the centre of an agricultural or other rural settlement, and was used for grazing. Some also have a pond, often originally for watering stock such as cattle.*

Village green - Wikipedia

I carried out a survey on Facebook: what do people think a village green is, what follows are some of the comments:

*A green area in the middle of a village with seats to sit on and rest relax meet other villagers with trees and flower beds.* **Tick**

*An open green place where people can enjoy the character of their community and share in the care of it.* **Tick**

*... where the town cricket team used to play. It was also used for fetes, fairs and festivals.*      **Tick**

*An open space with grass to sit and run around on and trees to enjoy the shade of.*      **Tick**

*A grassy common area.*      **Tick**

*An area of green in the middle of town where people sit and relax, kids play, where outdoor events take place.*      **Tick**

As Ross Village Green was known as the Pub Paddock originally, is central to the town and has often been grazed by cattle, sheep and horses it fits the description of a village green very well. The consultants design however does not conform to the idea of a village green. The consultants in fact **have designed a suburban recreation park for young families with lots of children**, in Ross however we tend not to have young families with lots of children and the visitors to Ross tend to be couples or older family groups from Australia, China and the rest of the world.      **The proposal is intended to suit all ages, play areas are peripheral & not the focus of the site**

More importantly the plan goes against the guidelines for a development in the heritage area of Ross, to put it in a nutshell the consultants plan completely fails to harmonise with its location.      **In accordance with endorsed JMG Master Plan**

The Westbury Village Green should have been the consultants starting point, it has lawns, trees, picnic benches and the odd interpretive sign and not much more, however it is a beautiful place to sit, picnic and simply enjoy the space.

Overall the plan is too busy and cluttered and smothered in non-heritage barnacles. I believe the bare bones of the plan are fine but the plethora of miscellaneous structures should be dropped. Why over complicate a simple and delightful concept?

**Structures are intended to be simplistic, skeletal & visually non-intrusive, providing an anonymous yet functional backdrop to the proposed significant vegetation treatments rather than dominating the proposal or streetscape.**

Re. Planning Application P17-287  
Ross Village Green.

(Via email only)  
Northern Midlands Council General Manager,  
Dear Mr Jennings

The initial community consultation for the Ross Village Green was a great success with the community sending the Council a resounding 'KISS' as to how we wanted our park to look and feel. Everyone including myself, who attended and gave input were part owners of the initial concept plan.

The current plan now before the council, still contains the simple basic original ideas of the community, but somehow, someone has put their own interpretation on the drawing board which seems to have added a lot of extra infrastructure, **the chimney folly just for one, which adds no purpose but extra cost** and; it's not what we wanted!  
**To be deleted from proposal**

I hope the Council accepts the plan, but please, can a bit more thought go into what is really required which will save money and give the community, who turned out in numbers when we were asked to design our park, what we originally asked for, which was a simple park with grass, trees, paths, picnic tables, seating, a shelter with BBQ and small amenities block.

24/11/2017

To whom it may concern

I'm very concerned about the new plan for the village green. Why do you need to waste money on barn like structures when they aren't needed or look a part of Ross? What really upsets me is we had a community meeting several times asking the people that live in Ross what they would like at the village green and they came up with a wonderful first design which nearly everyone was happy with. Now you have gone against a lot of what we as a community want, eg: we don't want another playground because Ross already has a terrific one. We do need another BBQ because the one near the river is not big enough to cook much on, and it will give the locals somewhere else to have one. I personally use the BBQ down at the river a lot and when I am planning on having one I call some of the locals to come and join in and it always ends up with about 10 of us there. A BBQ in the village green would be used not only by tourists but most importantly by locals. We want a simple grass, path, trees, and the sheep sculptures are all the children really need to play on. The amphitheatre is perfect. We don't need a big grandstand. **Simple is what we all wanted**, it feels like we as a community haven't been listened to.

**This simplistic proposal is in accordance with the endorsed Master Plan by JMG & is intended to provide functional support to the primary landscaping components utilising simplistic gabled roof forms & visually unintrusive colours / materials with historic relevance.**