

PLAN 1

PLANNING APPLICATION P17-336

12A WILLIAM STREET, PERTH

ATTACHMENTS

- A Application & plans, correspondence with applicant
- B Representations & applicant's response

PLANNING APPLICATION Proposal

Description of proposal: New Dwelling at 12a William street

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 12a William st, Perth

.....

CT no: 2/178310

Estimated cost of project \$ 28,000 *(Include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes / No
If yes - main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

Refer Design response attached

.....
.....
.....
.....

(attach additional sheets if necessary)

Is any signage required? No
(if yes, provide details)

PLANNING APPLICATION

Applicant / owner details

Applicant: Drew den Hartog (Prime Design)

Signature of Applicant: [Signature] Date: 21/02/17

Applicant's Details:

Postal address: 10 Goodman Court, Invermay, 7248

Phone: 6332 3790 Mobile:

E-mail: info @ primedesigntas.com.au

Name of Owner/s of subject site: W.M. & P.L. MCEWAN
(as per certificate of title)

(If the subject site is Crown land, owned by the Council or administered by the Council or the Crown, the application must be signed by either the responsible Minister of the Crown (or the Minister's delegate) or by the General Manager of the Council, and must be accompanied by written permission of that Minister or general manger to the making of the application.)

Owner's postal address:

Owner's email address:

As the owner of the land, I consent to the application being submitted,

Signed: Date:

OR

As the applicant, I declare that I have notified the owner of the application

Signed: [Signature] Date: 20/01/18

Right of Way:

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Name of Owner/s of ROW:

ROW Owner's Postal Address:

As the applicant, I have notified the owner of the ROW of the application

Signed: Date:
(attach extra page if required)

Office use only:

Paid \$..... Date: Receipt No: (Code 01)

Ref: P1..... / Discretionary / Permitted / No Permit Required

SEARCH OF TORRENS TITLE

VOLUME 173310	FOLIO 2
EDITION 2	DATE OF ISSUE 15-Nov-2017

SEARCH DATE : 30-Nov-2017

SEARCH TIME : 02.13 PM

DESCRIPTION OF LAND

Town of PERTH
 Lot 2 on Sealed Plan 173310
 Derivation : Part of 1A-0R-35P Gtd. to Charles Lansdell
 Prior CT 156079/3

SCHEDULE 1


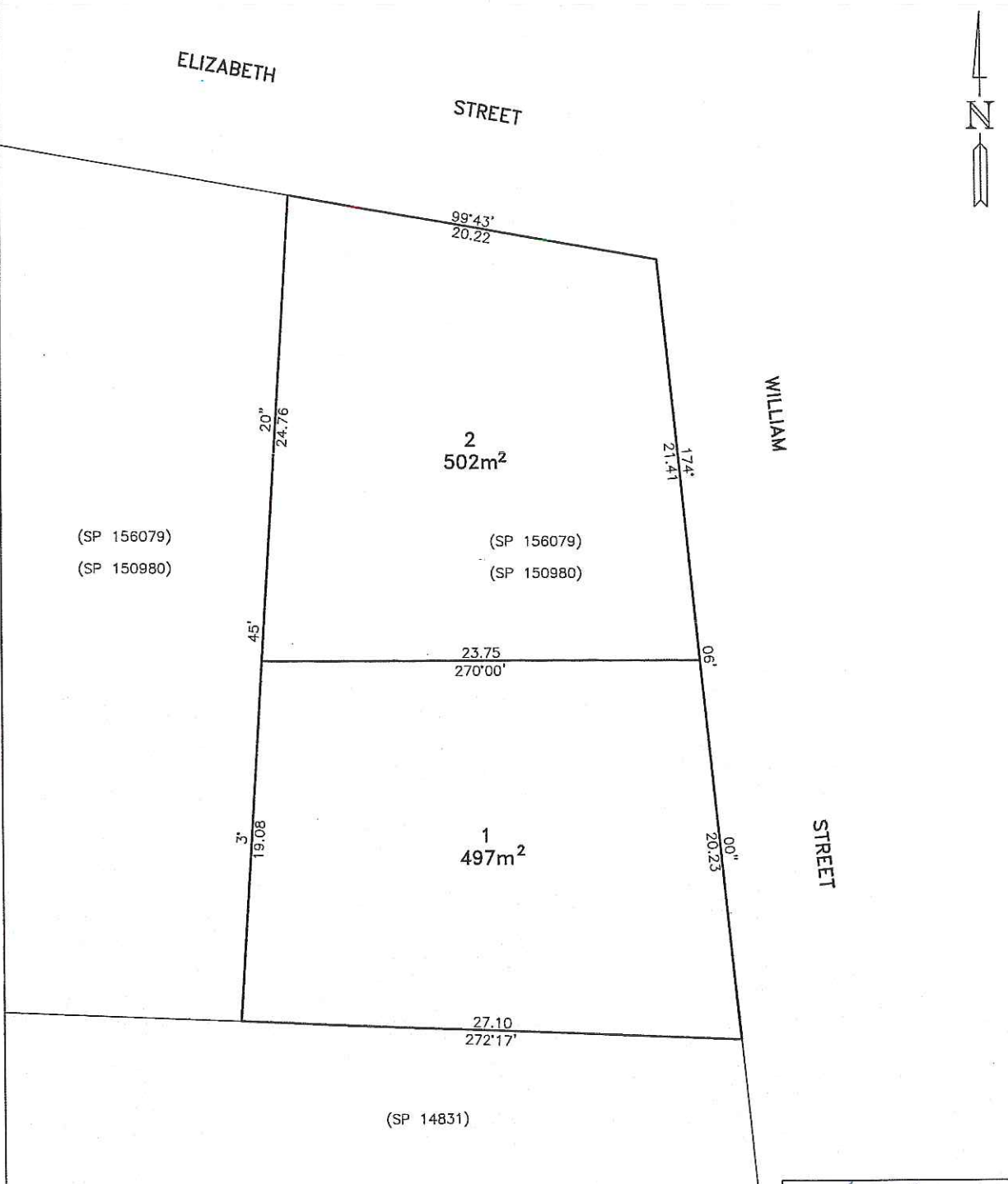
M662302 TRANSFER to WILLIAM MARCUS MCEWAN and PETA LOUISE
 MCEWAN Registered 15-Nov-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP173310 FENCING PROVISION in Schedule of Easements
 SP150980 & SP156079 FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER JOHN ALFRED STAGG</p> <p>FOLIO REFERENCE 156079-3</p> <p>GRANTEE PART OF 1A-OR-35P GTD TO CHAS LANSDELL CHARLES</p>	<p>PLAN OF SURVEY</p>  <p>LOCATION</p> <p>SCALE 1 : 200</p>	<p>REGISTERED NUMBER SP173310</p> <p>COHEN & ASSOCIATES PTY LTD, LAUNCESTON</p> <p>BY SURVEYOR: S.P. VERBEETEN TOWN OF PERTH SECTION C</p> <p>LENGTHS IN METRES</p>		
<p>MAPSHEET MUNICIPAL CODE No 123</p>		<p>LAST UPI No</p>	<p>LAST PLAN No SP 156079</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>
				
<p>COUNCIL DELEGATE</p>				<p>31-7-2017 DATE</p>

77-47 (7086) 8/1/2016 15:44



21 December 2017

Northern Midlands Council
13 Smith Street
Longford, Tasmania 7301

Dear Erin,

Re: Proposed new single dwelling at 12a William Street, Perth

10.4.2 Setbacks and Building Envelope for all dwellings

A1 Does not comply, as Elizabeth Street is the primary frontage

P1

- a) If you refer to our locality plan (PD17322 - 02), you will see that 7 & 9 Elizabeth street both are very close to their primary frontage. So, our dwelling will fit with the street as they align with those residences.
- b) Due to the nature of the road and the amount of traffic that drives on it, the impact will be minimal on the residence.

A2 Complies

A3 Does not comply, does not fit within primary frontage.

P1

- a) To not cause reasonable loss of amenity.
 - i. Does not affect any properties in reduction of sunlight. As it fits within the envelope adjacent to the primary frontage
 - ii. Does not affect private open space of neighbouring residence. At 12a William Street, it would have always been impacted by the existing residence that was on this site. This house has been moved up the site, thus reduce the impact.



Existing Residence, has since been demolished



- iii. N/A, no adjacent vacant lot
- b) The separation suits other lots when compared with 7 & 9 Elizabeth Street with their proximity to the primary frontage (Refer Locality plan, PD17322 - 02)

10.4.4 Sunlight and overshadowing for all dwellings

A1 Complies

Kind regards

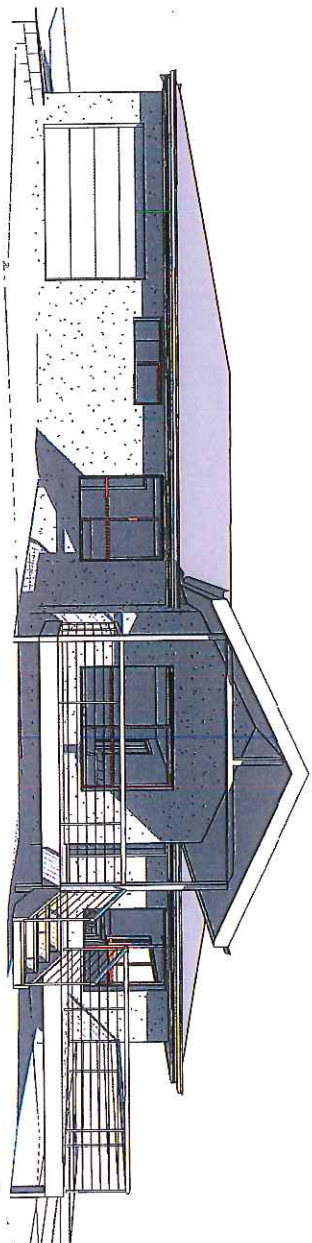
Drew den Hartog

PROPOSED NEW RESIDENCE 12a WILLIAM STREET, PERTH

M. & P. McEWAN

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	LOCALITY PLAN
03	FLOOR PLAN
04	DOOR AND WINDOW SCHEDULES
05	ELEVATIONS
06	ELEVATIONS
07	ROOF PLAN
08	PERSPECTIVES
09	ELECTRICAL/REFLECTED CEILING PLAN
10a	SHADOW DIAGRAM - 21st JUNE @ 10AM
10b	SHADOW DIAGRAMS - 21st JUNE @ 12PM
10c	SHADOW DIAGRAMS - 21st JUNE @ 3PM



FLOOR AREA	FLOOR AREA	FLOOR AREA	FLOOR AREA
157.57	m ²	(16.94	SQUARES)
24.02	m ²	(2.59	SQUARES)
29.68	m ²	(3.19	SQUARES)
211.27			22.72

PLANNING



Hotondo Homes John Dykman
68 Pomona Road, Riverside 7250
Ph: 03 6327 2219

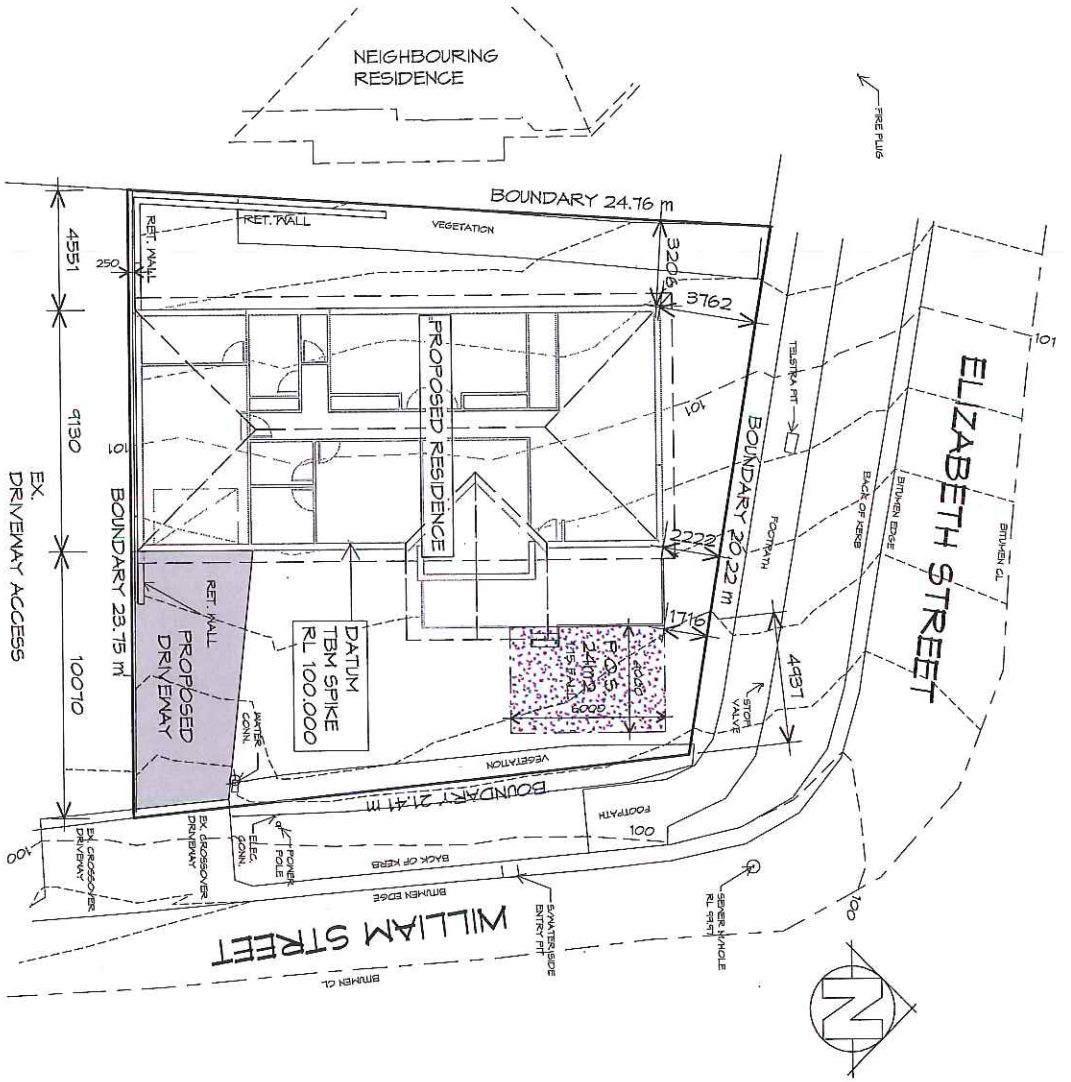
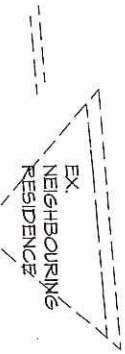



10 Goodman Court, Invermay Launceston 7248
Ph: 03 6332 3790 Ft-03 6332 3798
info@primedesign.com.au primedesign.com.au
Accredited Building Practitioner: Frank Gaskus -No CC246A

JANUARY 2018

Hotondo Homes John Dykman
 68 Pomona Road, Riverside 7250
 Ph: 03 6327 2219

SITE PLAN
 1 : 200

10 Goodman Court, Invermay Tasmania 7248,
 P + 03 6332 3790 F + 03 63323789
 info@primedesign.com.au primedesign.com.au
 Accredited building practitioner: Frank Carless No CC246A

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC, ALL
- S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT
- ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH
- A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE
- CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR
- STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE
- ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S.
- 2041
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT
- BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO
- CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS
- DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY
- ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY
- DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING
- CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND
- PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3954, READ IN CONJUNCTION
- WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY
 VERTICAL DATUM IS ARBITRARY

WARNINGS:

- THE DETAIL SHOWN / RECORDED
- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND
- UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES. PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.2m

Client name:	M. & P. MCEWAN	Date:	24-01-2018	Scale:	1 : 200
Drafted by:	S.S.W.	Project/Drawing No.:	PD17322-01	Revision:	04
Project:	PROPOSED NEW RESIDENCE 12A WILLIAM STREET, PERTH	Drawing:	SITE PLAN		



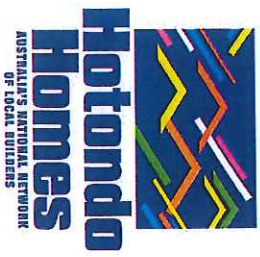
PROPOSED NEW RESIDENCE
12a WILLIAM STREET, PERTH

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

LOCALITY PLAN

1 : 1000



Hotondo Homes John Dykman
68 Pomona Road, Riverside 7250
Ph: 03 6327 2219



10 Goodman Court, Invermay Tasmania 7248,
p+ 03 6322 3790 f+ 03 63323789
info@primedesign.com.au primedesign.com.au
Accredited building practitioner: Frank Gestus No CC2461

Project:
PROPOSED NEW RESIDENCE
12a WILLIAM STREET,
PERTH

Drawing:
LOCALITY PLAN

Client name:
M. & P. McEWAN
Drafted by:
D.D.H.



Approved By:
S.S.W.
Date:
24-01-2018
Project/Drawing No:
PD17322-02

Scale:
As Indicated
Revision:
04

STAIRS		
NO RISERS	RISER HT	TREAD DEPTH
2	175	250
4	175	250

GOING NON SLIP TO COMPLY NCC 2016

HANDRAIL
HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY NCC 2016

- SMOKE ALARMS**
- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED. TO BE INTERCONNECTED BETWEEN FLOORS WHERE APPLICABLE.
 - SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH NCC 2016 VOL.2

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SANITARY COMPARTMENTS
MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY WITH NCC 2016

FLOOR AREA	151.57	m2	(16.94	SQUARES)
ALFRESCO / DECK AREA	24.02	m2	(2.58	SQUARES)
GARAGE AREA	24.68	m2	(3.14	SQUARES)
	211.27			22.72	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

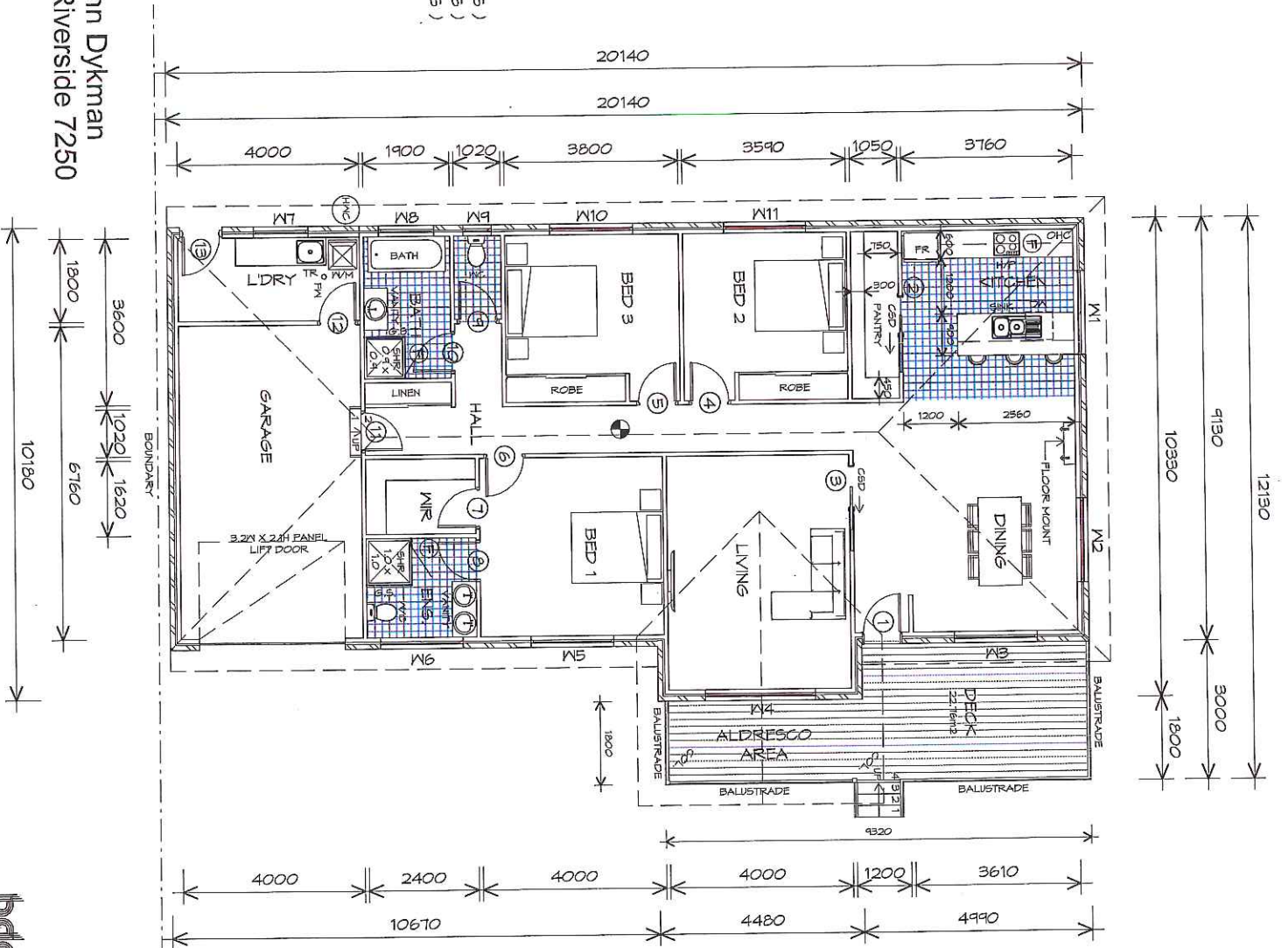


Hotondo Homes
AUSTRALIA'S NATIONAL NETWORK OF LOCAL BUILDERS

Hotondo Homes John Dykman
68 Pomona Road, Riverside 7250
Ph: 03 6327 2219

FLOOR PLAN

1 : 100



LEGEND

- ⊕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- ⊙ 240V SMOKE ALARM
- ⊖ CAVITY SLIDING DOOR
- ⊙/⊖ SLIDING DOOR
- ⊙ FM FLOOR WASTE
- COL. COLLUMN
- ⊙ S. GLASS SCREEN

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Prime Design

10 Goodman Court, Invermay Tasmania 7248,
p + 03 6332 3790 f + 03 63323789
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED NEW RESIDENCE
12A WILLIAM STREET,
PERTH

Client name:
M. & P. MCEWAN

Drawing:
FLOOR PLAN

Drafted by: **D.D.H.**
Date: **24-01-2018**
Scale: **1 : 100**



Approved by: **S.S.W.**
Project/Drawing no: **PD17322-03**
Revision: **04**



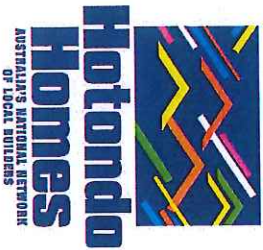
Accredited building practitioner: Frank Geakus - No CC246A

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	420	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	1810	AWNING WINDOW	
W2	1200	1810	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	1800	2410	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	600	1810	AWNING WINDOW	OPAQUE
W8	1000	1210	AWNING WINDOW	OPAQUE
W9	1000	610	AWNING WINDOW	OPAQUE
W10	1800	1810	AWNING WINDOW	
W11	1800	1810	AWNING WINDOW	

ALUMINIUM AWNING WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT ??? BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

1-77



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68 Pomona Road, Riverside 7250
Ph: 03 6327 2219



10 Goodman Court, Invermay Tasmania 7248,
p+ 03 6332 3790 f+ 03 63323789
info@primedesign.com.au primedesign.com.au
Accredited building practitioner: Frank Gestus No CC246A

Project:
PROPOSED NEW RESIDENCE
12a WILLIAM STREET,
PERTH

Client name:
M. & P. McEWAN
Drafted by:
D.D.H.
Approved By:
S.S.W.

Drawing:
DOOR AND WINDOW
SCHEDULES

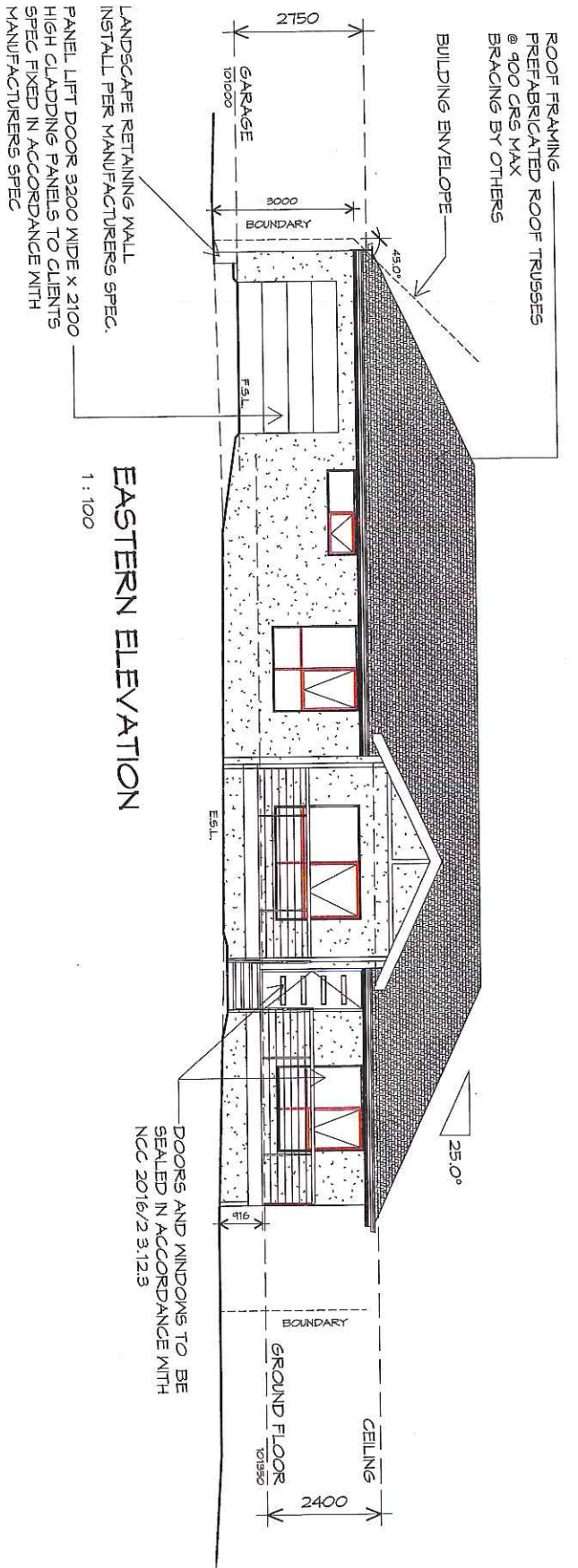
Date:
24-01-2018
Project/Drawing No:
PD17322-04
Scale:
1 : 100

Revision:
04

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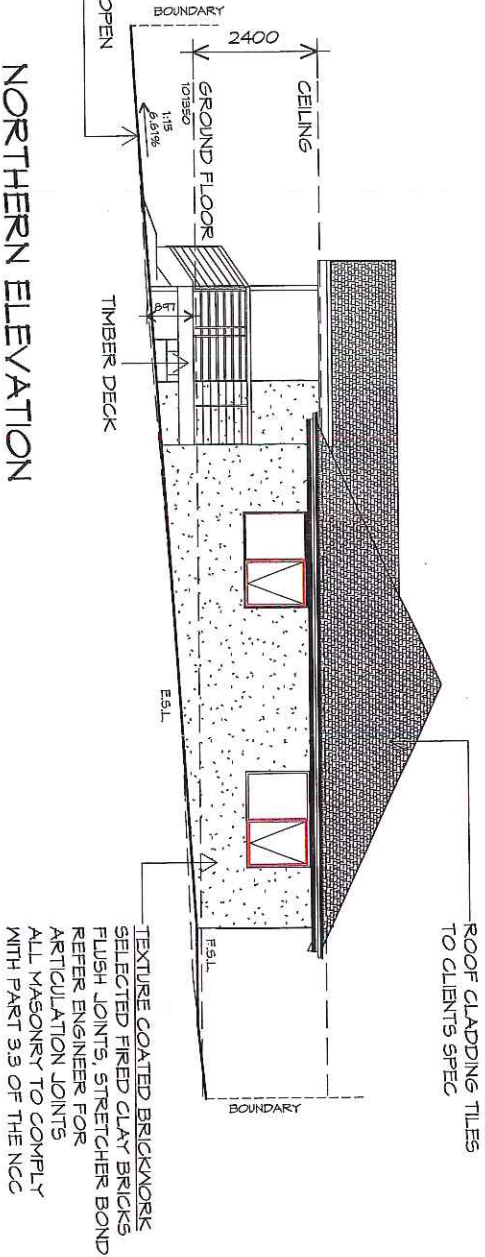
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P5



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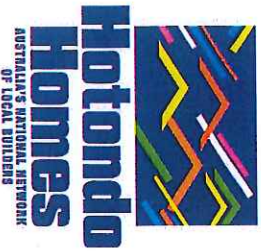
NOTE: DO NOT SCALE OFF DRAWINGS



ROOF CLADDING TILES
TO CLIENTS SPEC

TEXTURE COATED BRICKWORK
SELECTED FIRED CLAY BRICKS
FLUSH JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH PART 3.3 OF THE NCC

NORTHERN ELEVATION
1 : 100



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Ph: 03 6327 2219



10 Goodman Court, Invermay Tasmania 7248,
P+ 03 6332 3790 F+ 03 63323789
Info@primedesign.com.au primedesign.com.au

Project:
PROPOSED NEW RESIDENCE
12A WILLIAM STREET,
PERTH

Client name:
M. & P. MCEWMAN
Drawing:
ELEVATIONS

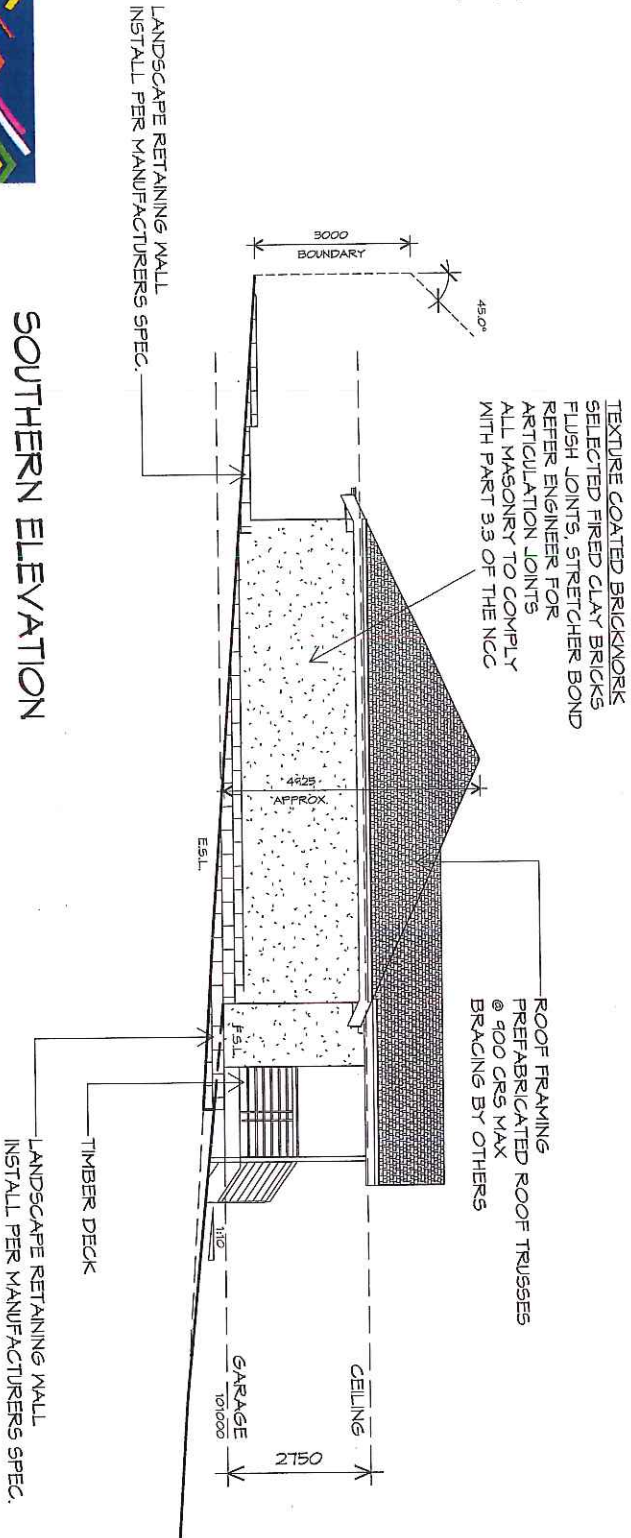
Drafted by:	D.D.H.	Approved by:	S.S.W.
Date:	24-01-2018	Scale:	1 : 100
Project/Drawing no.:	PD17322-05	Revision:	04



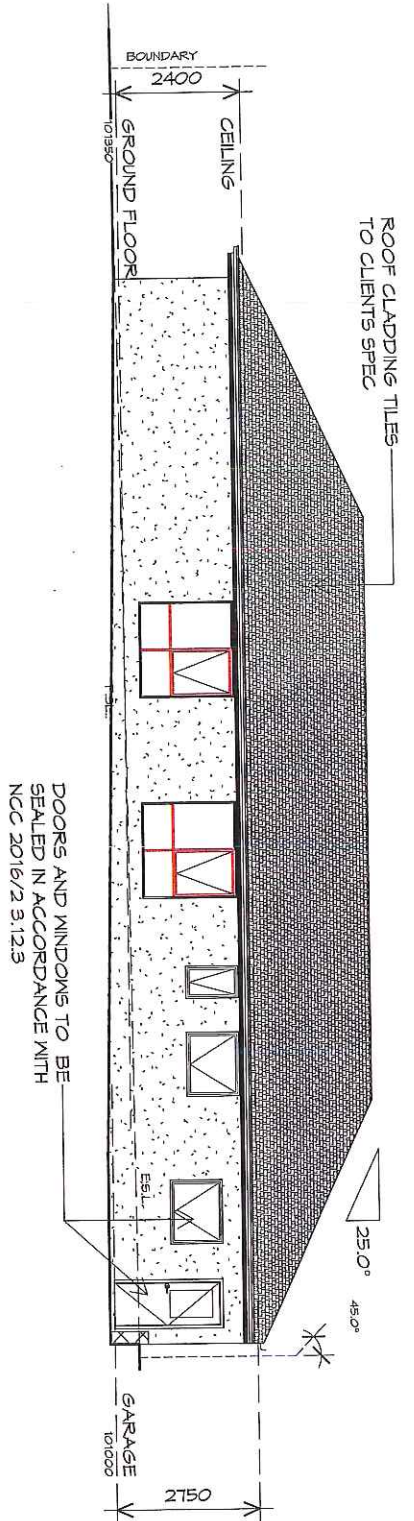
Accredited building practitioner: Frank Gesskus No CC246A

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 68 Pomona Road, Riverside 7250
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SOUTHERN ELEVATION
 1 : 100

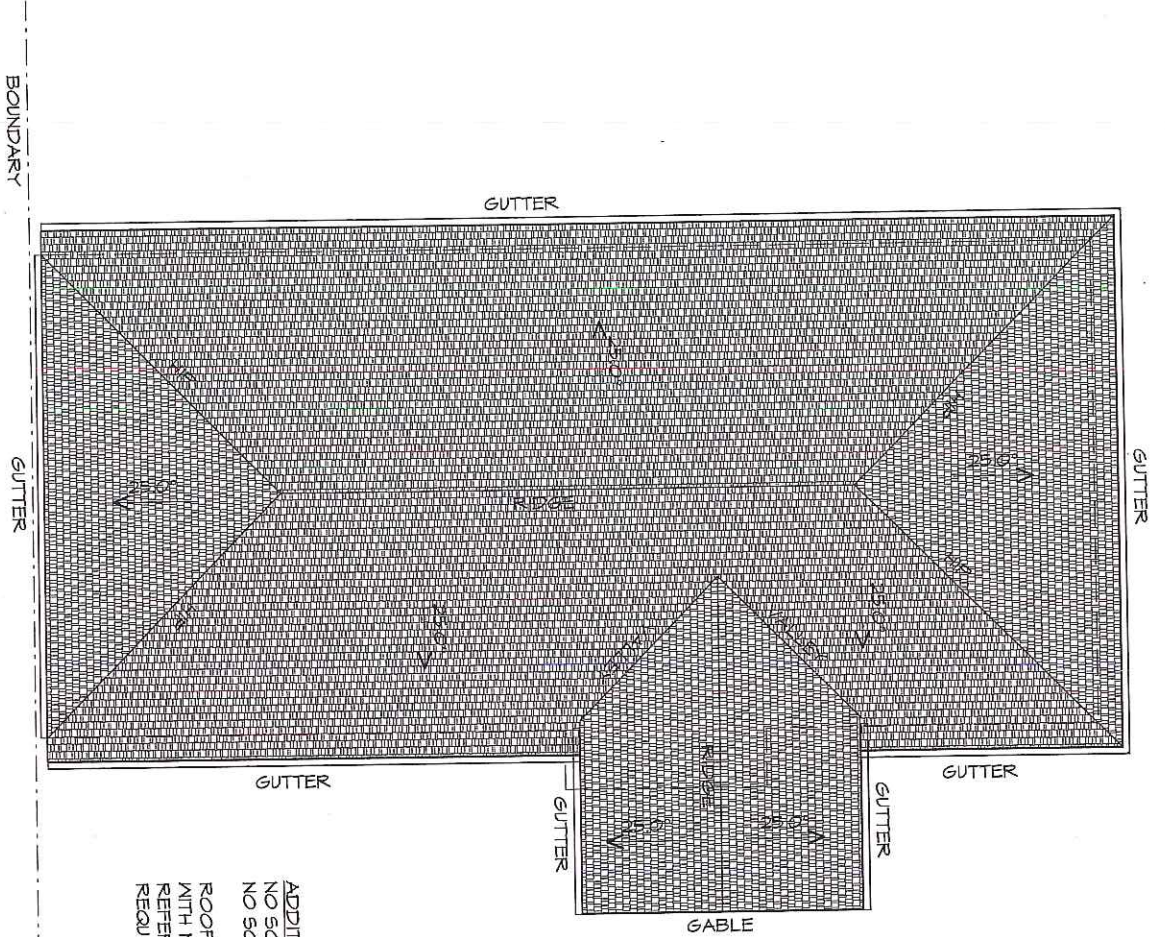


WESTERN ELEVATION
 1 : 100



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 68 Pomona Road, Riverside 7250
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ROOF PLAN
 1 : 100



ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.
 ROOF TILES TO BE INSTALLED IN ACCORDANCE
 WITH NCC 2016 3.5.1.2
 REFER TO TABLE 3.5.1.1b FOR SARKING
 REQUIREMENTS FOR TILED ROOFS

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 NCC 2016 PART 3.5.2.4.
 WITH FALL NO LESS THAN
 1:100 FOR BOX GUTTERS
 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P.S.
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH NCC CLAUSE 3.5.2.5 REQUIREMENTS.
 SPACING BETWEEN DOWNSPIPES MUST NOT
 BE MORE THAN 12m & WITHIN 12m FROM A
 VALLEY GUTTER.

Client name:
M. & P. McEWAN

Drawing:
ROOF PLAN

Project:
**PROPOSED NEW RESIDENCE
 12a WILLIAM STREET,
 PERTH**

10 Goodman Court, Invermay Tasmania 7248,
 pt 03 6332 3790 Ft 03 63323789
 info@primedesigns.com.au primedesigns.com.au



Drafted by:
D.D.H.

Date:
24-01-2018

Approved by:
S.S.W.

Scale:
1 : 100

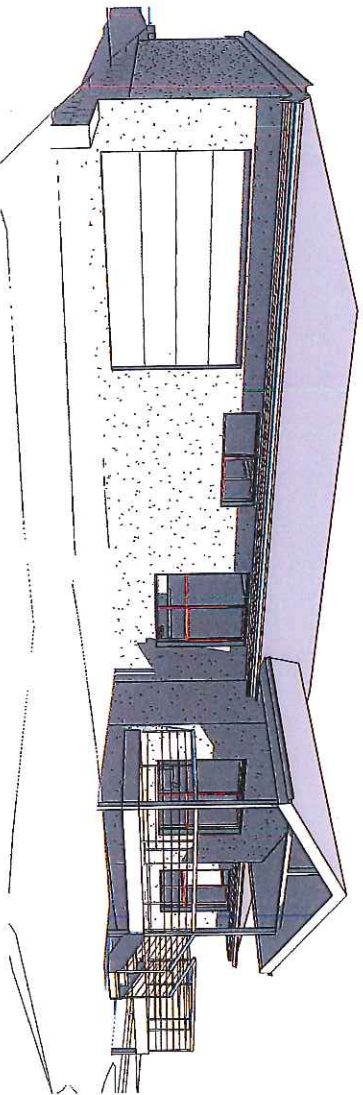
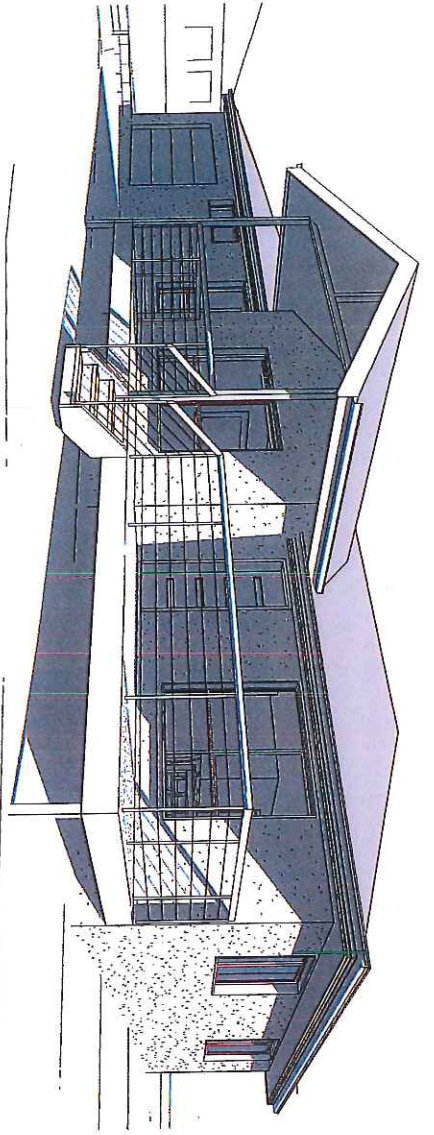
Project/Drawing no.:
PD17322- 07

Revision:
04



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NOTE: DO NOT SCALE OFF DRAWINGS



1-81

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10 Goodman Court, Invermay Tasmania 7248,
 p+ 03 6332 3790 f+ 03 63323789
 info@primedesign.com.au primedesign.com.au

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Client name:
M. & P. MCEWAN

Drawing:
PERSPECTIVES

Drafted by: **S.S.W.**
 Approved by: **S.S.W.**

Date: **24-01-2018** Scale: **1 : 100**

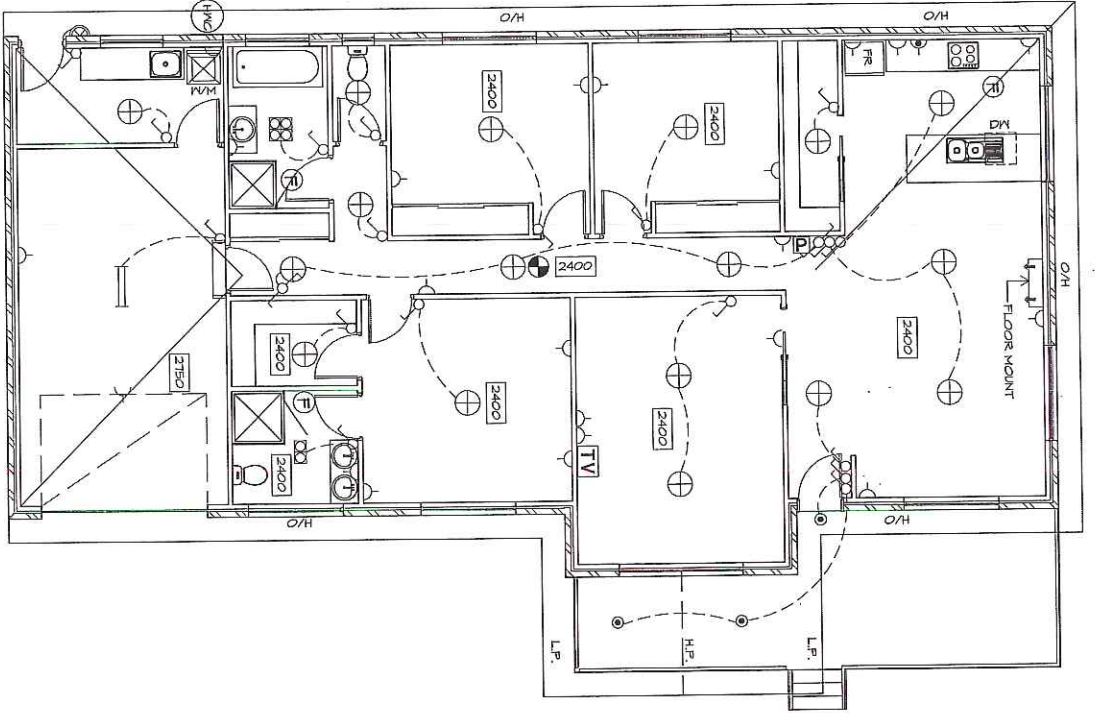
Project/Drawing no: **PD17322-08** Revision: **04**



Accredited building practitioner: Frank Gaskue - No CC246A



Hotondo Homes John Dykman
 68 Pomona Road, Riverside 7250
 Ph: 03 6327 2219



ELECTRICAL/REFLECTED CEILING PLAN
1 : 100

Hotondo Homes John Dykman
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ELECTRICAL INDEX

LIGHTING

- ⊕ CEILING LIGHT OUTLET
- ☀ WEATHER PROOF CEILING LIGHT
- ☀ TWO LIGHT TASTIC
- ☀ EXHAUST FAN
- ☀ FOUR LIGHT TASTIC
- ☀ EXHAUST FAN, EXHAUST TO OUTSIDE
- LED. DOWN LIGHT
- ▬ TWIN TUBE FLORESCENT LIGHT
- HANGING PENDANT
- ▽ WEATHERPROOF WALL LIGHT
- ▽ WALL LIGHT
- ▽ SECURITY LIGHT
- ▲ STAIR LIGHT
- ☉ WATERPROOF CEILING POOL LIGHT

OTHER

- ⊕ 240V SMOKE ALARM
- ▭ SWITCH BOX
- ⊕ EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- ⊕ MI-FI
- ▭ DATA RACK
- ▭ ILLUMINATED RUNNING MAN EXIT SIGN
- ▭ PATCH PANEL

HEATING

- HP HEAT PUMP, FLOOR MOUNTED
- HP HEAT PUMP, OUTDOOR UNIT
- PH PANEL HEATER
- CO HEAT PUMP, CEILING OUTLET
- RA HEAT PUMP, RETURN AIR
- CU HEAT PUMP, CEILING UNIT

SWITCH TYPE

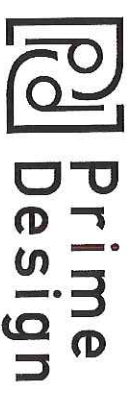
- ⊕ ONE-WAY SWITCH
- ⊕ TWO-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ MOTION SENSOR

WALL OUTLETS

- ⊕ GENERAL PURPOSE OUTLET (DOUBLE)
- ⊕ WEATHER PROOF OUTLET
- ⊕ HOTPLATE SAFETY CUT-OFF
- ⊕ DATA (CAT 6)
- ⊕ T.V. OUTLET
- ⊕ PHONE OUTLET

CEILING

- XXXX DENOTES CEILING HEIGHT
- HP HIGH POINT
- LP LOW POINT



10 Goodman Court, Invermay Tasmania 7248,
p + 03 6332 3790 f+ 03 63323789
info@primedesigntas.com.au primedesigntas.com.au
Project:
PROPOSED NEW RESIDENCE
12a WILLIAM STREET,
PERTH

Client name:
M. & P. MCEWAN

Drawing:
ELECTRICAL/REFLECTED
CEILING PLAN

Drafted by:
D.D.H.

Date:
24-01-2018

Project/Drawing no:
PD17322-09

Scale:
1 : 100

Approved by:
S.S.W.

Revision:
04

PLANNING

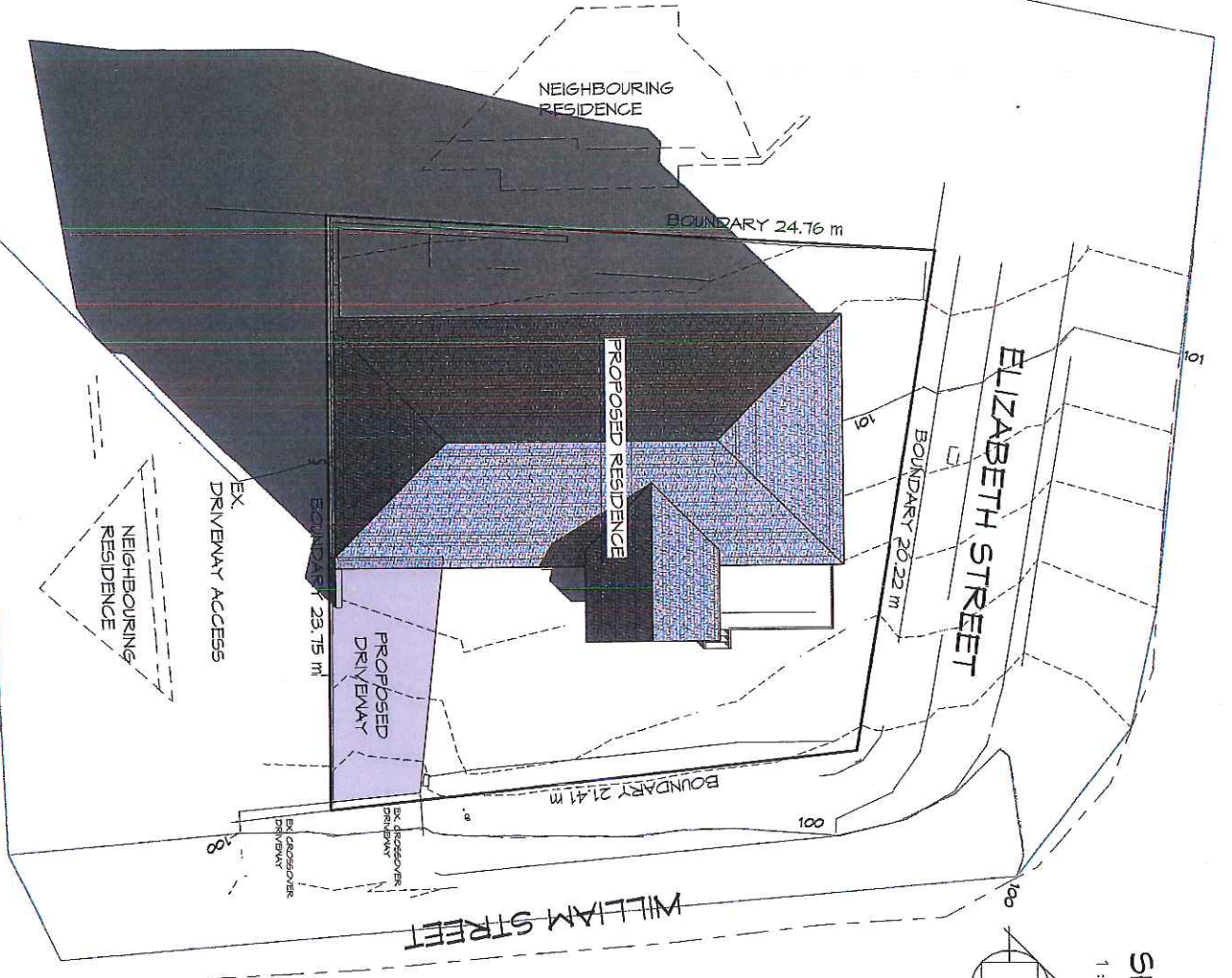
NOTE: DO NOT SCALE OFF DRAWINGS



Accredited building practitioner: Frank Geeskus - No CC246A



Hotondo Homes John Dykman
 68 Pomona Road, Riverside 7250
 Ph: 03 6327 2219



SHADOW DIAGRAM - 21st JUNE @ 10AM
 1 : 200

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248
 P+ 03 6332 3790 F+ 03 63323789
 info@primedesigntas.com.au primedesigntas.com.au

Project:
 PROPOSED NEW RESIDENCE
 12a WILLIAM STREET,
 PERTH

Client name:
 M. & P. McEWAN

Drawing:
 SHADOW DIAGRAM - 21st JUNE
 @ 10AM

Drafted by:	Approved by:
Author	Approver
Date:	Scale:
24-01-2018	1 : 200
Project/Drawing no:	Revision:
PD17322- 10a	04

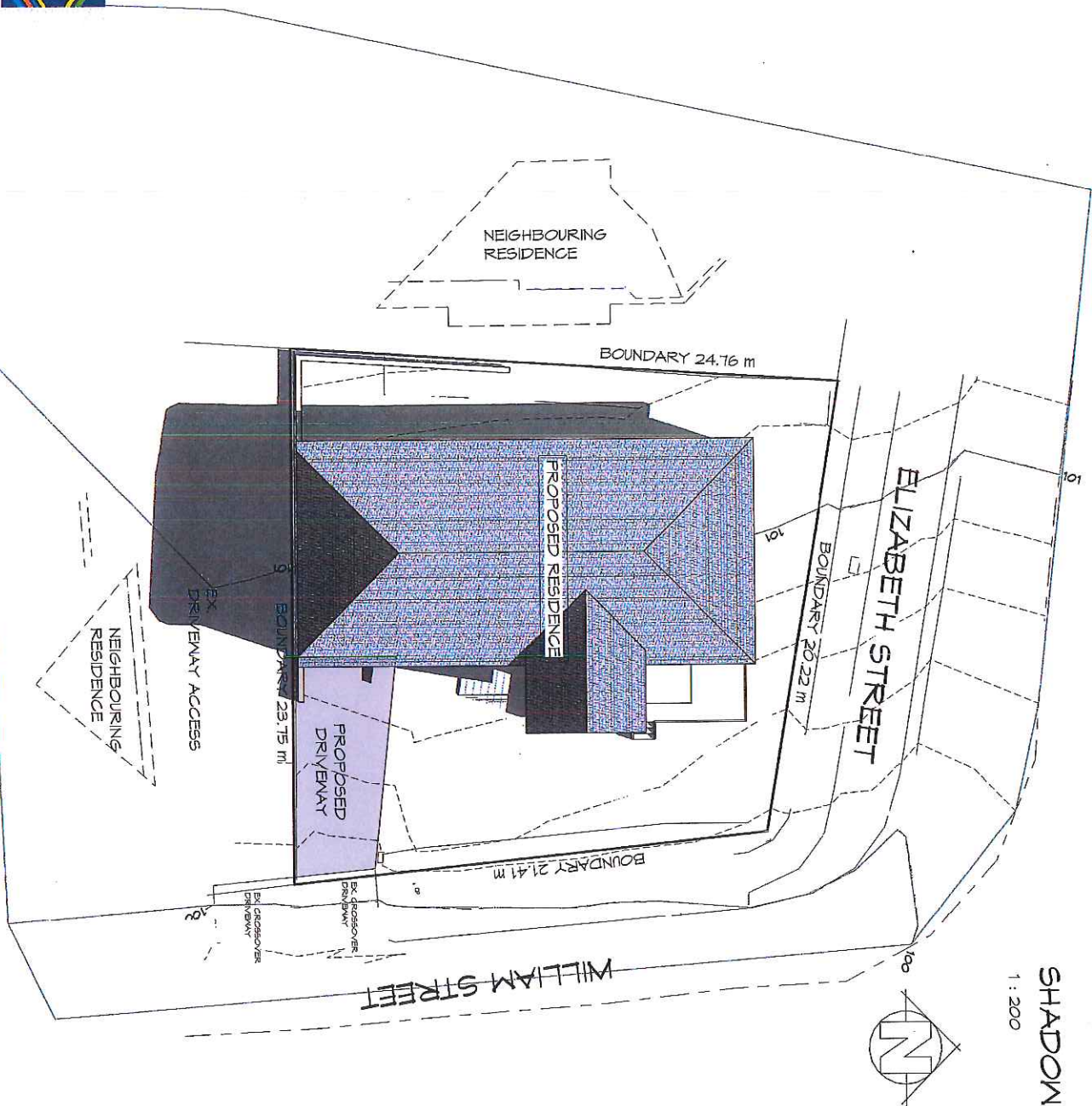


Accredited building practitioner: Frank Gaskus -No CC246A





Hotondo Homes John Dykman
 68 Pomona Road, Riverside 7250
 Ph: 03 6327 2219



SHADOW DIAGRAM - 21st JUNE @ 12PM
 1 : 200

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
 p+ 03 6332 3790 f+ 03 63323789
 info@primedesign.com.au primedesign.com.au

Project:
 PROPOSED NEW RESIDENCE
 12a WILLIAM STREET,
 PERTH

Client name:
 M. & P. McEWAN

Drawing:
 SHADOW DIAGRAMS - 21st JUNE
 @ 12PM

Drafted by: M. & P. McEWAN
 Author: Approved by:

Date: 24-01-2018 1 : 200
 Scale:

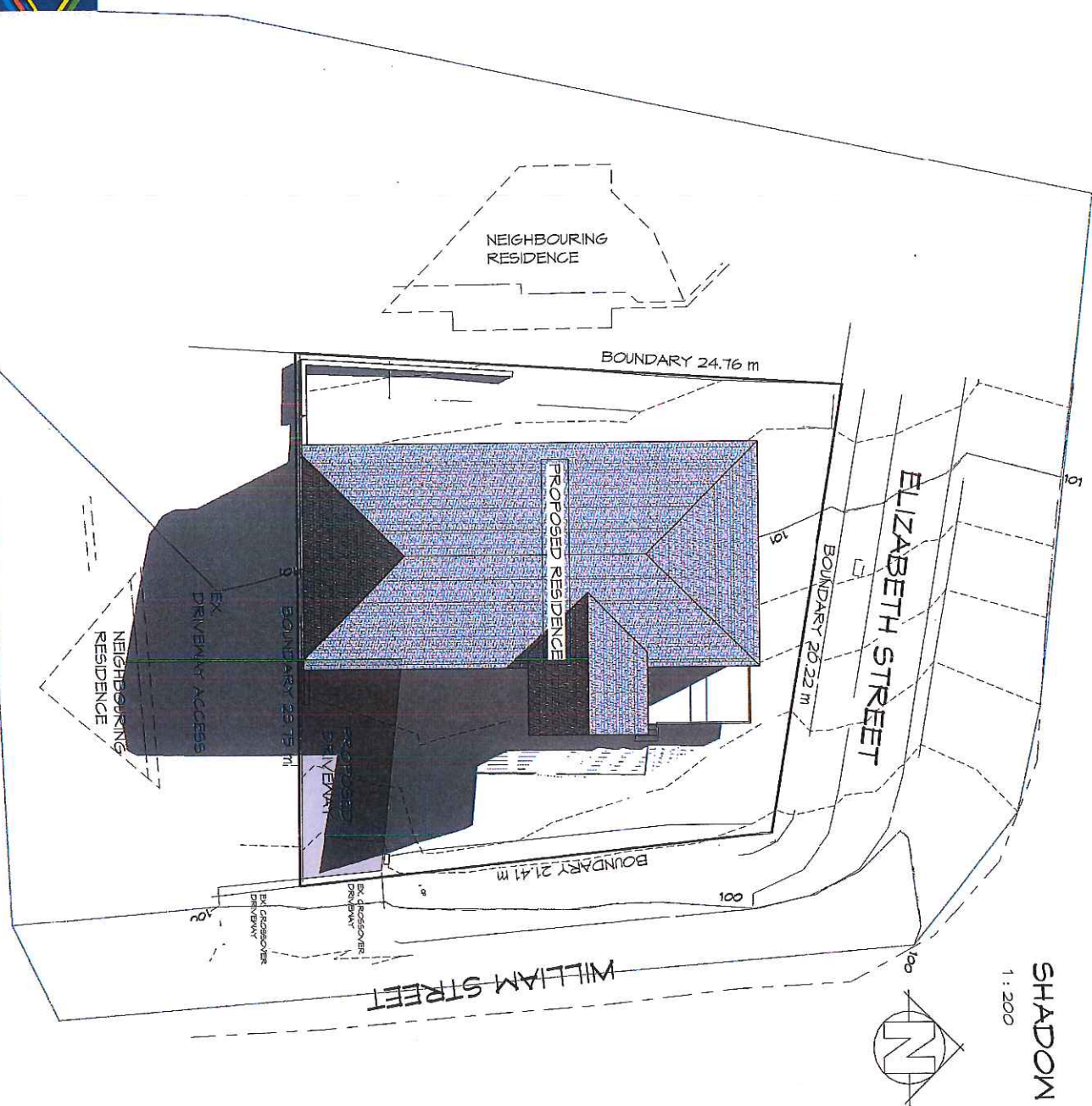
Project/Drawing no: PD17322- 10b Revision: 04



Accredited building practitioner: Frank Geeskus - No CC246/...



Hotondo Homes John Dykman
 68 Pomona Road, Riverside 7250
 Ph: 03 6327 2219



SHADOW DIAGRAM - 21st JUNE @ 3PM
 1 : 200

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
 p+ 03 6332 3790 f+ 03 63323789
 info@primedesigntas.com.au primedesigntas.com.au
 Project:
 PROPOSED NEW RESIDENCE
 12a WILLIAM STREET,
 PERTH

Client name:
 M. & P. McEWAN
 Drawing:
 SHADOW DIAGRAMS - 21st JUNE
 @ 3PM

Drafted by: Approved by:
 Author Approver
 Date: 24-01-2018 Scale: 1 : 200
 Project/Drawing no.: PD17322-10c Revision: 04



**Prime
Design**

your build, your way

24 January 2018

Northern Midlands Council
13 Smith Street
Longford, Tasmania 7301

Dear Erin,

Re: Proposed new single dwelling at 12a William Street, Perth

10.4.1 Residential density for multiple dwellings

A1 N/A

10.4.2 Setbacks and Building Envelope for all dwellings

A1 Does not comply, we wish to apply discretionary.

P1

a) The proposed dwelling design ensures the visual character and objectives of the area given the size of the block. If you refer to our locality plan (PD17322 - 02), as indicated the area Elizabeth street show inconsistent frontage setback. Given these precedents our proposed dwelling provides reasonably consistent variation, separation and between dwellings on adjacent sites and dwelling and its frontage. While also providing consistency in the scale, bulk and proportions given the size of the block.

We would like to point out the boundaries length for Elizabeth and William street are only a meter difference. Our proposed dwelling and its crossover access driveway is in William Street and we comply with its street setback.

b) Given Elizabeth Street is not a main road. The impact of traffic noise from high traffic volumes should be minor and minimal. The road user will most likely be residence in the Street and area. Our proposed dwelling being approx. 2.3m from frontage also has an additional setback with a footpath and council nature strip before the road. This should add additional buffer from traffic noise.

A2 *Complies*

A3 Does not comply, does not fit within primary frontage.

P3

a) To not cause reasonable loss of amenity.



- i. As indicated in our plans – Shadow Diagram page, at 10am a minor overshadowing to ex. Dwelling on the western boundary, but should be minimal and our proposed dwelling is over 3.2m from the side boundary, which comply with the side setback. Ex. Rear dwelling (12b) at 12pm and 3pm overshadows the driveway access area and only minor for the main dwelling.
 - ii. Does not affect private open space of neighbouring residence. See Shadow Diagram.
 - iii. N/A, no adjacent vacant lot
 - iv. Visual impact to be very minimal as the proposed dwelling is a standard dwelling that fits within the style of the area.
- b) Separation between lots. The proposed dwelling is approx. 3.2m away from ex. Dwelling to the west. This separation complies with the setback. Existing rear dwelling (12b) – proposed dwelling 250mm off the boundary and we seek discretion, as it has been pointed the overshadowing is minor and does not impact the private open space of the rear dwelling.

10.4.3 Site coverage and private open space for all dwellings

A1

- a) Site Coverage – 42.08%; *Complies*
- b) N/A
- c) 50% of free from impervious surfaces; *Complies*

A2

- a) Private open space – 24m²; *Complies*
- b) Horizontal dimension of 4m; *Complies*
- c) Accessible from front entry and deck area off living and dining; *Complies*
- d) POS north facing; *Complies*
- e) POS north facing; *Complies*
- f) Gradient 1 in 15; *Complies*
- g) Not being used for driveway or parking; *Complies*

10.4.4 Sunlight and overshadowing for all dwellings

A1 *Complies*

A2 N/A

A3 N/A

10.4.5 Width of openings for garages and carports for all dwellings

A1 *Complies*



10.4.6 Privacy for all dwellings

A1 N/A

A2 N/A

A3 N/A

10.4.7 Frontage fences for all dwellings

A1 N/A

Kind regards

Stephen Wallen

Our ref: 113800.175; P17-336; Prime Design



**NORTHERN
MIDLANDS
COUNCIL**

14-Feb-2018

Prime Design
10 Goodman Court
INVERMAY 7248
via email: info@primedesigntas.com.au

Dear Mr Den Hartog

12A WILLIAM STREET, PERTH

Representation received to Planning Application P17-336 - Dwelling (vary building envelope - front [n] & side [s] setbacks) & retaining wall to southwest corner of lot

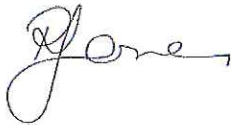
I refer to the abovementioned application and wish to advise that a representation has been received. A copy of the representation is attached. (Please note that names and addresses remain private until mediation is arranged, or a report is prepared for a Council meeting.) Your comments in response to the representation/s are invited prior to a mediation session and/or completion of assessment of the application. If you wish mediation to be conducted, you must notify Council in writing (see notes below).

If the parties cannot reach agreement through mediation, the application will be determined at a Council meeting – the next available meeting is due to be held on **19-Mar-2018**. Council meetings are held in the meeting room at the Council Offices, 13 Smith Street, Longford starting at 5pm - planning items are usually considered after the meal break, which is 6.00 to 6.40pm. Council Agendas are available on our website on Thursday in the week prior to the meeting. If the parties can reach agreement, the application can usually be determined by delegation and a permit issued within the week following notification of the agreement.

In the meantime, the Council require an extension of time to the statutory period for assessing the application. In order to allow your proposal to be considered at the next Council meeting (to be held on **19-Mar-2018**), an extension of time under s57(6A) of the *Land Use Planning and Approvals Act 1993* until **23-Mar-2018** is formally requested. If you consent to this request, please sign the attached statement and return a copy to Council before close of business on **28-Feb-2018**

If you have any queries regarding your planning application, I invite you to contact Council's Planning Section on 6397 7301, or email Planning@nmc.tas.gov.au.

Yours sincerely



Rosemary Jones
ADMINISTRATION OFFICER

Enc: Copy of representation
Extension of time

s57A of LUPAA

Section 57A of Land Use Planning & Approvals Act notes as follows regarding mediation:

(1) *In this section, "party" means any of the following persons:*

- (a) a person who made an application ...*
- (b) the planning authority ...*
- (c) any person who made a representation ...*

(2) *If the applicant for a permit under section 57 or any person who has made a representation under section 57(5) requires mediation to be conducted in relation to the application, the applicant or other person must notify, **in writing**, the planning authority.*

(3) *If the planning authority receives notification under subsection (2) or wishes mediation to be conducted in relation to an application for a permit under section 57, it must notify in writing any other party and seek the agreement of that party for mediation to be conducted in relation to the application.*

(4) *If 2 or all parties agree that mediation should be conducted in relation to an application for a permit under section 57, the parties must agree on the person who is to conduct the mediation and on any other terms or conditions in relation to the conduct of the mediation.*

(5) *If 2 or all parties agree that mediation should be conducted in relation to an application for a permit under section 57, the period within which the planning authority must make its decision in relation to the application may be extended under section 57(6A).*

Our Ref: 113800.175; P17-336

Attention: Planning Section
Northern Midlands Council
PO Box 156
LONGFORD Tas 7301

Pdf via email: Planning @nmc.tas.gov.au

PLANNING APPLICATION – EXTENSION OF TIME
Dwelling (vary building envelope - front [n] & side [s] setbacks) & retaining wall to southwest corner of lot at 12a William Street, PERTH

I agree to an extension of time for Council to make a decision in this matter until **23-Mar-2018**.

Applicant signature:

Date:

Prime Design
10 Goodman Court
INVERMAY 7248

John Stagg
 12 William Street
 Perth TAS 7301

12th February 2018

General Manager
 Northern Midlands Council
 PO Box 156
 Longford TAS 7301

RE: REFERENCE NUMBER P17 - 336 - 12A WILLIAM STREET

Dear Sir,


I reside at 12 William Street, which adjoins the proposed development, and wish to raise my objections to the proposed boundary setbacks and the visual impact the dwelling will have on William Street.

The proposed setback of 250 mm off the boundary of 12 William Street is both absurd and inconsiderate to say the least, and I ask the planning department to make the setback no less than the minimum 1.5 metres, which should result in little or no shadowing of my residence in the afternoons.

The section of William Street between Frederick and Elizabeth Streets has two of Perth's oldest and prestigious homes in Stonehouse and Beulah. When I was ready to build next door to Beulah I engaged David Denman to design a Georgian style cottage to fit in with this part of William Street. Now we have a proposed dwelling that if built will destroy the heritage values of William Street.

I would ask that my objections are considered when assessing this planning application.

Kind regards,


 John Stagg

NORTHERN MIDLANDS COUNCIL					
Location					
File No.					
Priority					
Attachments					
REC'D 12 FEB 2018					
		A			A
GM			MYR		
P&DM			CRS		
CSM			PLAN		
EDM			BLD		
WM			HLT		
HR					

Rosemary Jones

From: Drew Den Hartog <Drew@primedesigntas.com.au>
Sent: Friday, 16 February 2018 11:52 AM
To: Rosemary Jones
Cc: Alicia Joyce Campbell
Subject: RE: Email to Applicant, Representation received to Planning Application P17-336

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Sent to ECM

Hi Rosemary

Please find attached our response for the representation for 12a William Street.

Would you be able to tell me if Council in their report will be recommending the application for a permit or refusal?

Thankyou
Drew

16 February 2018

Northern Midlands Council
13 Smith Street
Longford Tasmania

To whom it may concern

In response to the representation.

- In regards to the setback, as it is a side setback, when looking into part 10.4.2 A3 and diagram 10.4.2C of the planning scheme. It can be seen that we fit into the acceptable solutions for the side setback and are not required to be 1.5 meters from the boundary.
- From the shadow diagrams prepared, it can be seen that during the 21st June that the shadows cast do not greatly affect the residence at 12 William Street. Overshadowing will be much less of an issue over the course of a year as the June shadow diagrams show the very worst of the overshadowing. .
- Where this residence is being built, it is not part of a Heritage Precinct. Therefore, we are not required to address the heritage code. In regards to the existing streetscape the new houses along Elizabeth street are typical hipped roof dwellings. Further North on William Street the houses are also a mix of typical hip and gabled roofed dwellings which have not been built in regards to 'heritage character.' The proposed new house at 12a William Street will therefore fit in with the existing streetscape of the immediate area.



Kind regards

**Drew
den Hartog**
TRAINEE BUILDING DESIGNER
B. Environmental Design

Prime Design
10 Goodman Court


Our Ref: 113800.175; P17-336

Attention: Planning Section
Northern Midlands Council
PO Box 156
LONGFORD Tas 7301

Pdf via email: Planning @nmc.tas.gov.au

PLANNING APPLICATION – EXTENSION OF TIME
Dwelling (vary building envelope - front [n] & side [s] setbacks) & retaining wall to southwest corner of lot at 12a William Street, PERTH

I agree to an extension of time for Council to make a decision in this matter until **23-Mar-2018**.

Applicant signature: 

Prime Design
10 Goodman Court
INVERMAY 7248

Date: 15/02/18