

**PLAN 3  
DRAFT PLANNING SCHEME AMENDMENT 01/18  
& PLANNING APPLICATION  
P18-034, 121 HIGH STREET, CAMPBELL TOWN**

**ATTACHMENTS:**

- Application
- Draft Amendment
- Draft Permit

~~1-169~~  
**PLANNING APPLICATION**

**Proposal**

**Description of proposal:** .....

...S43A application to rezone land at 121 High Street, Campbell Town to General Business and change of use permit for Service Industry (laundromat).....

.....  
.....  
.....

*(attach additional sheets if necessary)*

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

**Site address:** ...121 High Street , Campbell Town.....

.....

CT no: ...161145/1.....

Estimated cost of project                      \$...10000.....                      *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property?    Yes /  
If yes – main building is used as ..... Currently vacant but previously used as a hairdresser.....

.....  
If variation to Planning Scheme provisions requested, justification to be provided:

.....Please refer to supporting report.....

.....  
.....  
.....  
.....

*(attach additional sheets if necessary)*


Is any signage required? .....

*(if yes, provide details)*

# PLANNING APPLICATION

## Applicant / owner details

Applicant: .....Commercial Project Delivery obo Rob and Debbie

Thomas.....  
**Signature of Applicant:** ..  ..... **Date:** 13.2.2018.....

### Applicant's Details:

Postal address: 1/47A Brisbane St, Launceston.....  
.....

Phone: ..... Mobile: 0408397393.....

E-mail: ..... chloe ..... @ cpdelivery.com.au.....

**Name of Owner/s of subject site:** Charles Knowles and Graeme Parish as representatives of Diane Flood (as per certificate of title)

(If the subject site is Crown land, owned by the Council or administered by the Council or the Crown, the application must be signed by **either** the responsible Minister of the Crown (or the Minister's delegate) **or** by the General Manager of the Council, **and** must be accompanied by written permission of that Minister or general manger to the making of the application.)

Owner's postal address: .....


Owner's email address: .....

*As the owner of the land, I consent to the application being submitted,*

**Signed:** ..... **Date:** .....

**OR**

*As the applicant, I declare that I have notified the owner of the application*

**Signed:** .....  ..... **Date:** 13.2.18.....

### Right of Way:

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

**Name of Owner/s of ROW:** .....

ROW Owner's Postal Address: .....

*As the applicant, I have notified the owner of the ROW of the application*

**Signed:** ..... **Date:** .....  
(attach extra page if required)

### Office use only:

Paid \$..... Date: ..... Receipt No: ..... (Code 01)

Ref: P1...../ ..... Discretionary / Permitted / No Permit Required

**December 4, 2017**

Northern Midlands Council  
Attn: Paul Godier, Senior Planner  
PO Box 156  
Longford, TAS, 7301

Dear Paul

**S43A Application – 121 High Street, Campbell Town**

We confirm that as the trustees of the Estate of Diane Flood, we consent to the application being made for a planning scheme amendment to rezone 121 High Street Campbell Town to General Business and change the use to Service Industry (laundromat).

Yours faithfully,

  
Charles Knowles

  
Graeme Parish



## **121 High Street, Campbell Town**

Submission to the Northern Midlands Council  
in support of a section 43A request to amend  
the Northern Midlands Interim Planning  
Scheme 2013

February 2018



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**NOTE**

References to provisions of the *Land Use Planning and Approvals Act 1993* (the Act) are references to the **former provisions** of the Act as defined in Schedule 6 – Savings and transitional provisions of the *Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme) Act 2015*. Parts 2A and 3 of the **former provisions** remain in force until a Local Provisions Schedule comes into effect for the municipal area.



# 1. Introduction

## 1.1 Purpose of the Report

Commercial Project Delivery 'CPD' acts on behalf of the Thomas Family Trust to request a combined rezoning amendment to the Northern Midlands Interim Scheme 2013 (the Scheme) pursuant to section 43A of the *Land Use Planning and Approvals Act 1993* (the Act).

The proposed rezoning seeks to extend the General Business Zone to land known at 121 High Street Campbell Town. This is effectively an extension of the General Business Zone which applies to land immediately to the north of the site.

The amendment is required to enable a development application to be considered by The Northern Midlands Council to allow the Thomas Family Trust to use the existing building on site for the purposes of a laundromat (Service Industry). The purpose of this submission is to establish the rationale of the amendment and analysis against the relevant sections of the Act.

## 1.2 Applicant

The applicant is Commercial Project Delivery obo Thomas Family Trust. The contact is:

Chloe Lyne  
 Planning and Development Consultant  
 Commercial Project Delivery  
 1/47A Brisbane St  
 Launceston TAS 7250  
 0408 397 393

## 1.3 Structure of the Report

The planning submission has been prepared to:

- provide the rationale for the draft amendment;
- provide a full description of the proposed use and development;
- detail the site and the surrounding uses;
- demonstrate that the application can further the objectives set out in Schedule 1 of the Act;
- determine that the proposal is in accordance with the State Policies;
- establish that the proposal is in accordance with the Northern Regional Land Use Strategy 2016 (Version 5.0);

- demonstrate that the proposal is outside of the area regulated by the *Gas Pipelines Act 2000*;
- make evident that this proposal does not conflict with uses on adjoining land; and
- establish that the use and development complies with applicable provisions of the relevant zone, codes and specific area plan of the Scheme.

#### 1.4 **Planning Overview**

Element	Overview
Address	121 High Street, Campbell Town
CT	161145/1
PID	3083577
Land Area	366m <sup>2</sup> +/-
Planning Instrument	Northern Midlands Interim Planning Scheme 2013
Legislative Instrument	Land Use Planning and Approvals Act 1995
Zone	10.0 – General Residential
Proposed Use	Service Industry (Laundromat)
Use Status	Prohibited

#### 1.5 **Statutory References**

##### 1.5.1 **Name of Planning Instrument**

The subject of the proposed amendment is the **Northern Midlands Interim Planning Scheme 2013** (hence forth referred to as the interim planning scheme).

##### 1.5.2 **Name of Planning Authority**

The Planning Authority is the **Northern Midlands Council** ('Council')



## 2. Subject Site

### 2.1 Description of Subject Site and Surrounding Area

The subject site is a rectangular shaped lot with an area of 366m<sup>2</sup>, accessed via a crossover onto High Street Campbell Town. The site has a frontage to High Street of 12.12 metres and a depth of 30 metres. The site rises away from High Street and is developed with an existing commercial style building with a shopfront that is currently used as a hairdresser. Car parking is provided to the rear of the building and access is along the southern side of the building.

The site is located on the southern end of the Campbell Town's main commercial strip centred on High Street. Immediately adjacent to the north is an existing commercial premise with three tenancies and currently being utilised as a bottleshop and pharmacy. Immediately to the south and east, the land is used for residential purposes whilst land opposite the site on High Street contains retail premises.



Figure 1: Aerial Plan

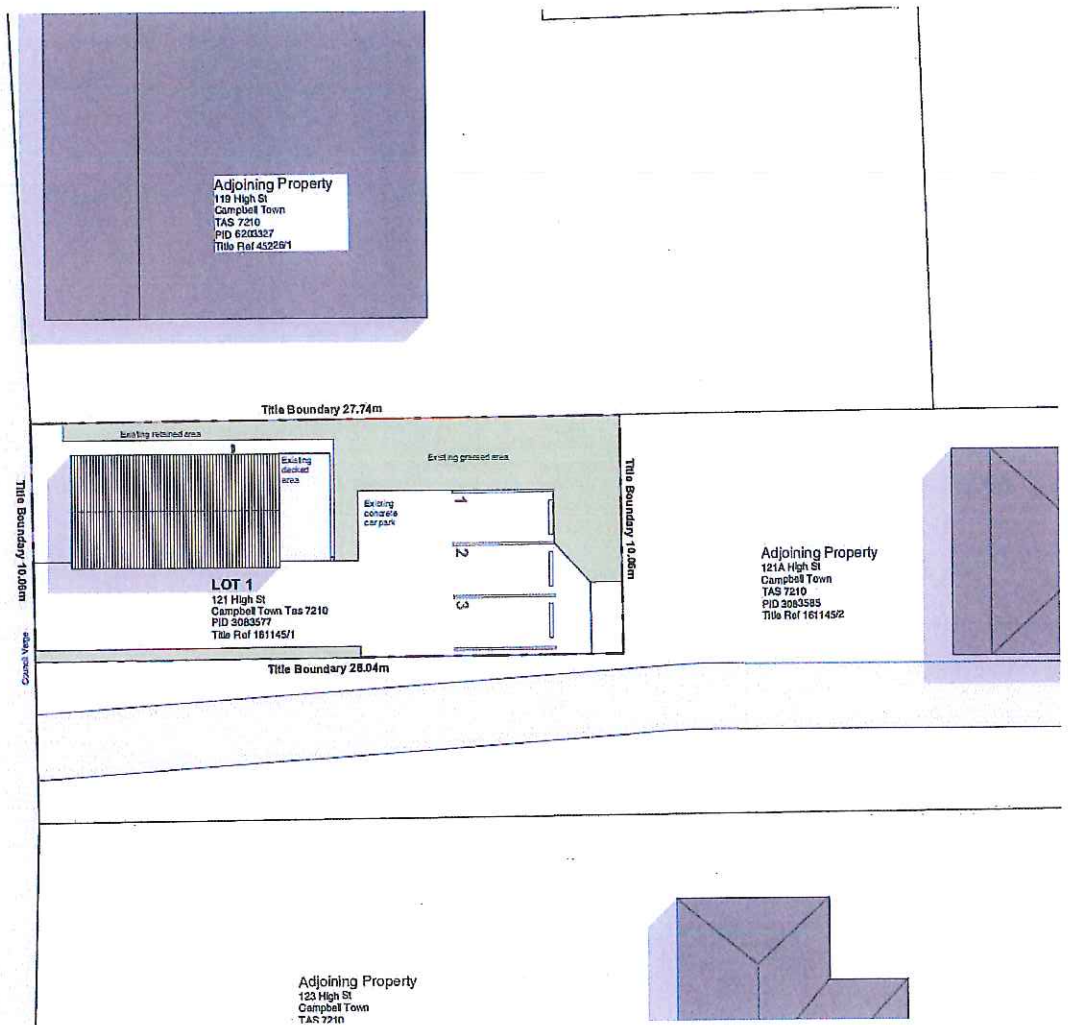


Figure 2: Site Plan





**Photo 1: View of site from High Street**

## **2.2 Title Information**

The proposed amendment and development application relates to the following titles:

<b>Address</b>	<b>Owner(s)</b>	<b>Title Reference</b>	<b>Existing Land Area</b>
121 High Street, Campbell Town	Charles Lesley Knowles & Graeme Raymond Parish	161145/1	366m <sup>2</sup>

A copy of the relevant certificate of title and schedule of easements is contained at **Appendix A**.

## **2.3 Zone and Overlay Controls**

The site is contained within the General Residential Zone and is also within the Heritage Precinct and Urban Growth Boundary (refer Figures 3 and 4). The site is bound by General Business Zoned land to the north and on the opposite side of High Street to the west. The land to the south and east is zoned General Residential. High Street itself is zoned Utilities.



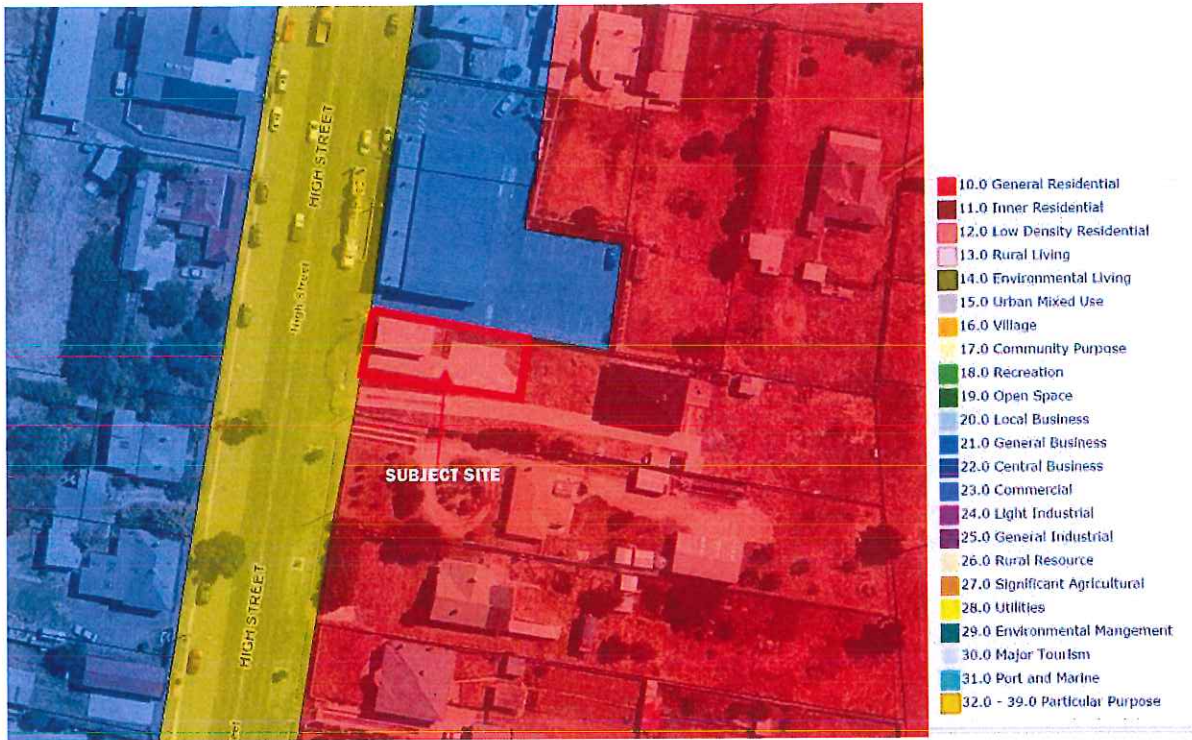


Figure 3: Zoning Plan

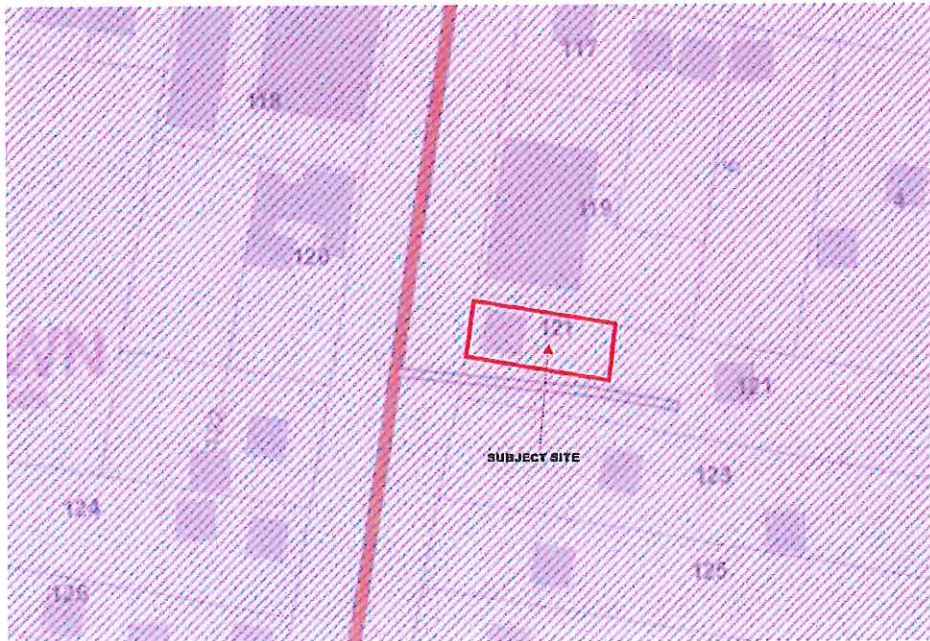


Figure 4: Overlay Plan

### 2.3.1 Servicing

The site is connected to full reticulated services.

### **2.3.2 Access and Road Network**

Vehicular access to the subject site is provided via an existing crossover from High Street which is the main thoroughfare through the town.

## **2.4 Environmental Hazards and Constraints**

The following section provides an investigation into potential environmental hazards and constraints of the subject site.

### **2.4.1 Landslide Hazard**

The subject site is not identified as being subject to landslide hazard as depicted by the overlay maps within the Scheme. Accordingly, the subject site is free from landslide hazards.

### **2.4.2 Bushfire Hazard**

The subject site is not located within a bushfire prone area as defined by the Scheme. Accordingly, the subject site is free from direct bushfire hazards.

### **2.4.3 Natural and Landscape Values**

The subject site is located within an established urban area of Campbell Town and has been highly modified overtime. The land is clear of significant vegetation. The lack of vegetation also suggests that the habitat value of the land for fauna species is low. Accordingly, the subject site is free from significant flora and fauna values. The site is not contained within a designated scenic landscape area.

### **2.4.4 Site Contamination**

It is understood that site has not been utilised for any potentially contaminating uses in the past.

## **2.5 Consideration of Aboriginal Heritage**

The subject land is within an urban area and is already developed for urban purposes. For this reason, it is considered that any Aboriginal Heritage Values that the site may have had would already be degraded. The subject land is not listed in Table E13.3 Places of Archaeological Significance.

## **2.6 Consideration of European Cultural Heritage**

The site is not listed on the Tasmanian Heritage Register or locally at Council level. The site is located within a Heritage Precinct under the Interim Planning Scheme.



### **3. Proposed Interim Planning Scheme Amendment**

#### **3.1 Proposed Rezoning**

It is proposed to rezone the land at 121 High Street, Campbell Town from General Residential to General Business. The Heritage Precinct Overlay is proposed to remain.

#### **3.2 Rationale for the Amendment**

The existing building on the subject site is currently being utilised as a hairdressing salon, which is classified as 'General retail and hire' under the Interim Planning Scheme and a prohibited use within the General Residential Zone unless for a local shop. The hairdressing salon previously operates under existing use rights. The site is held by a deceased Estate and the Thomas's have a contract of sale across the property. They propose to change the use of the building to a laundromat.

The existing building on site is not a residential building and under the current residential zone, the options for its future use are limited. Given the site is located directly adjacent to existing commercial premises within the General Business Zone, the extension of that zone across the site is a logical expansion of the zone. It is noted that land on the opposite (western) side of High Street from the site is also located within the General Business Zone, which extends to the Esplanade on that western side. The proposed rezoning represents a logical expansion of the General Business Zone within Campbell Town without impact on any retail hierarchy and allows for the reuse of the existing building on site for the purposes of a laundromat.

## 4. Planning Scheme Amendment Assessment

### 4.1 Requirements of the Act

Pursuant to Section 32(1) of the Act, a draft amendment of a planning scheme, and an amendment of a planning scheme, in the opinion of the relevant decision-maker within the meaning of section 20(2A)–

(a)....

(b)....

(c).....

(d)....

*(e) must, as far as practicable, avoid the potential for land use conflicts with use and development permissible under the planning scheme applying to the adjacent area; and*

*(ea) must not conflict with the requirements of section 300; and*

*(f) must have regard to the impact that the use and development permissible under the amendment will have on the use and development of the region as an entity in environmental, economic and social terms.*

*(2) The provisions of section 20(2), (3), (4), (5), (6), (7), (8) and (9) apply to the amendment of a planning scheme in the same manner as they apply to planning schemes.*

Section 300 of the Act requires that an amendment to an interim planning scheme is as far as practicable, consistent with the regional land use strategy. Section 300 also sets a number of requirements relating to the insertion of a local provision and its relationship to a common provision.

In addition to these requirements, Section 20(1) is also relevant as a planning scheme amendment is also the making of a planning scheme:

*(1) A relevant decision-maker, in preparing, accepting, declaring or making a relevant scheme, or giving approval in relation to the making or approving of a relevant scheme, must, in the opinion of the relevant decision-maker–*

*(a) seek to further the objectives set out in Schedule 1 within the area covered by the scheme;*  
and

*(b) prepare the scheme in accordance with State Policies made under section 11 of the State Policies and Projects Act 1993; and*

*(c)....*

(d) have regard to the strategic plan of a council referred to in Division 2 of Part 7 of the Local Government Act 1993 as adopted by the council at the time the planning scheme is prepared; and

(e) have regard to the safety requirements set out in the standards prescribed under the Gas Pipelines Act 2000.

The following sections address the matters that are covered by the above mentioned legislative requirements.

## **4.2 Strategic Plan**

The Northern Midlands Council Strategic Plan 2017-2027 seeks to provide direction to the range of operations Council undertakes in their role as the major provider of services and facilities for the Northern Midlands Municipality. The two key areas within the strategic plan that are relevant to the proposed rezoning amendment are 'Progress' and 'People and Place'.

### **4.2.1 Progress**

The key mission statement within this section is:

*Economic Health and Wealth – Grow and Prosper*

*Our Economic growth builds capacity and economic sustainability. We support diverse, innovative, independent business and industry. We thrive with strong collaborative regional partnerships.'*

The proposed amendment seeks to expand on the General Business Zone within the Campbell Town township in order to deliver a service (being a laundromat) that is otherwise not provided for within the town. Council's Strategic Plan espouses support for new and expanded small business whilst ensuring streetscapes and aesthetic amenity. The proposed rezoning to allow an existing commercial building to continue to be utilised for such purposes directly supports this strategy. The residential zoning across the subject site limits the potential reuse of what is essentially a commercial style building and the small lot size means conversion to residential use would be problematic and would ultimately change the streetscape more so than retaining the building as a commercial premise.

### **4.2.2 People and Place**

The key mission statement within this section is:

*Culture and Society – A Vibrant Future that Respects the Past*

*Diverse towns and villages services a rural-based industry. Connectivity challenges are innovatively managed to unite disparate communities. Equitable delivery of quality assets, programs and services supports sustainability.*

The proposed amendment which is sought to allow the existing building to be adapted for use as a laundromat will build on the diversity of the Campbell Town township without impact on the heritage streetscape. The addition of a laundromat within the township will promote equality and a sense of community, both of which are desired outcomes of the Strategic Plan.



### **4.3 Northern Regional Land Use Strategy 2016 (Version 5.0)**

The Northern Regional Land Use Strategy (NRLUS) provides overall direction on future use and development for the Northern Region. As required through Section 32(1)(ea) the proposed amendment must as far as practicable be consistent with the Regional Land Use Strategy.

The high-level nature of this document and the minor scale of the proposed amendment means that there is little direct correlation between the two.

#### **4.3.1 Overview of the RLUS**

The Northern Tasmania Regional Land Use Strategy (NRLUS) is a key policy framework that has been established to guide land use, development, and infrastructure investment decisions across the region. A primary objective of the RLUS is to integrate land use planning and policy with environmental, social, economic, conservation and resource management policies in order to:

- manage the region's development in response to ongoing socio-economic and physical environmental change; and
- protect and enhance the region's quality of life (liveability), productivity and sustainability for existing and future communities across the Region.

#### **4.3.2 Structure of the Strategy**

The NRLUS acknowledges that complex interactions exist between environmental, economic and social spheres when making land use planning decisions. As such, the RLUS adopts a comprehensive, integrated and long-term approach to land use planning and recognises that synergies among policy areas.

Accordingly, the NRLUS is broken up into a number of policy groupings on which to build and execute the policies necessary to shape and guide future land use planning decisions. The policy groupings are as follows:

1. Regional Settlement Network;
2. Regional Activity Centres Network;
3. Regional Infrastructure Network;
4. Regional Economic Development;
5. Social Infrastructure and Community; and
6. Regional Environment.

Of the policy groupings, the proposed rezoning from General Residential to General Business needs to address the Regional Settlement Network and the Regional Activity Centres Network.

**4.3.3 Regional Settlement Network**

The desired regional outcome in relation to the regional settlement network is to reinforce the Urban Growth boundary (around Launceston) and to support growth as proportionate in the defined network of settlements.

The Table on Pg43-44 of the NRLUS describes Campbell Town as being a District Centre which is defined as a 'significant regional settlement area where residents of and visitors to the regional can access a wide range of services, education and employment opportunities, although employment is strongly related to surrounding productive resources, important centres to surrounding sub-region.

The specific Regional Policy and Action relevant to the proposed amendment is as follows:

<p><b>RSN-P2</b> Ensure existing settlements can support local and regional economies, concentrate investment in the improvement of services and infrastructure and enhance the quality of life in those urban and rural settlements.</p> <p><b>RSN-P3</b> Recognise the isolated relationship of the Furneaux Group of islands to the settlement system of the region, and that settlement and activity centre planning will be dependent on local strategies to support sustainable outcomes.</p>	<p><b>RSN-A3</b> Ensure the long term future supply of urban residential land matches existing and planned infrastructure capacity being delivered by Ben Lomond Water, specifically in parallel with existing water and sewerage capacity and required augmentation to meet urban development growth and capacity – both residential and industrial.</p> <p><b>RSN-A4</b> Ensure a diverse housing choice that is affordable and accessible in the right locations reflecting the changes in the population and its composition, especially ageing populations and single lone persons and to enable people to remain within their communities as their housing needs change, including ageing in home options.</p> <p><b>RSN-A5</b> Encourage urban residential expansion in-and-around the region's activity centre network to maximise proximity to employment, services and the use of existing infrastructure, including supporting greater public transport use and services.</p> <p><b>RSN-A6</b> Ensure all Rural and Environmental Living occurs outside the urban growth boundary areas.</p> <p><b>RSN-A7</b> Identify</p> <ul style="list-style-type: none"> <li>• areas with existing mixed land use patterns; and/or</li> <li>▪ brownfield areas;</li> </ul> <p>adjacent to activity centres for mixed use redevelopment, and ensure that the zoning provides flexibility for uses that support the activity centre and the role of the settlement.</p>
---	---

**Response:**

It is submitted that the rezoning a of a 366 m<sup>2</sup> parcel of land from General Residential to General Business will not have any bearing on the role of Campbell Town in the regional settlement network nor will it impact provision of infrastructure or services. The proposed rezoning will therefore not preclude the attainment of this objective.



**4.3.4 Regional Activity Centres Network 4.8**

The NRLUS identifies a Regional Activity Centre Network comprising of the following:

Order in Hierarchy	Role	Places
1	Principal Activity Centre	Launceston CBD
2	Major Activity Centres	Mowbray and Kings Meadows
3	Suburban Activity Centres	Prospect, Lilydale, Legana Shopping Centre, Prospect Vale Market Place, Riverside
4.	District Service Centres	George Town, Longford, Scottsdale, St Helens, Westbury, Deloraine
5.	Neighbourhood or Rural Town Centres	Wellington Street, Newnham, Norwood, Youngtown, St Leonards  Beaconsfield, Exeter, Bridport, St Marys, <b>Campbell Town</b> , Perth, Evandale
6	Local or Minor Centres	
7	Specialist Centres	

The Strategy has a core focus on ensuring that the planning of the activity centres be cognisant of their function and role, the residential growth within their primary and secondary catchments over time and the availability of land.

The NRLUS is somewhat conflicting in that it identifies Campbell Town as both a District Service Centre and as a Rural Town Centre. The Regional Activity Centres Table identifies the role of a Rural Town Centre as being *'to serve the daily needs of surrounding community and provide a focus for day to day life within a community.'* In terms of commercial and retail, a Rural Town Centre should provide *'an independent supermarket or DDS as anchor tenant, surrounded by a small range of speciality shops providing for daily and weekly shopping needs for time poor customers. In rural context often tourism related businesses.'*

The specific Regional Policies and Actions in relation to the Activity Centre networks relevant to the proposed amendment are:

Policy	Action
<b>RAC-P1</b> Maintain and consolidate the Regional Activity Centres Network to ensure future urban development consolidates and reinforces the spatial hierarchy of existing centres through reuse and redeveloping existing buildings and land to integrate a mix of land uses including the coordinated provision of residential development, retail, commercial, business, administration, social and community facilities, public and active transport provision and associated infrastructure.	<b>RAC-A1</b> Integrate the Regional Activity Centres Network into government policy and strategies (i.e. strategic plans, corporate plans, planning schemes and capital works programs.  <b>RAC-A2</b> Ensure that zoning and land use provisions under Planning Schemes minimise the potential for decentralisation of functions outside of the Regional Activity Centres Network and reinforces the spatial hierarchy, role and function of centres.

**Response:**

The proposed rezoning to include an additional 366m<sup>2</sup> within the General Business Zone of Campbell Town will not undermine the Regional Activity Centres network. The site is adjacent to the existing retail strip along the main street of the town and indeed has been utilised for commercial purposes (hairdresser for a number of years). The addition of 366m<sup>2</sup> of General Business Zoned land will not alter the role or function of Campbell Town in the activity centres network by virtue of the very small scale of the rezoning.

**RAC-P4** Promote and support the role of lower order activity centres, particularly neighbourhood and rural town centres, in revitalising and strengthening the local community and sustaining a viable population base for regional and rural communities and the development of new neighbourhood and local centres where this is warranted by local population growth within the Urban Growth Boundary Areas.

**RAC-A5** Ensure the lower order activity centres are sustained through a local residential strategy or development plan that strengthens their role and function by maintaining and consolidating retail attractions, local employment opportunities and public amenities and services to create vibrant and sustainable regional and rural communities.

**Response:**

The proposed rezoning to allow for development of a laundromat within the existing building will strengthen the service offering within Campbell Town and improve on the vibrancy and sense of community that Campbell Town offers.

**4.4 Campbell Town Development Plan**

The 2012 Campbell Town Development Plan provides a broad framework to guide Council when it considers rezoning proposals in Campbell Town and is therefore relevant to consider in the context of the proposed rezoning of 121 High Street.

The Development Plan identifies an 'extreme' excess of zoned residential land set against a declining residential population. The Strategy advised that Council should avoid rezoning additional land Residential and that consideration should be given to 'back zoning' some residential land. The subject site is not located within any of the 13 residential zoned, vacant sites that were investigated to determine priorities for development. It is submitted that the rezoning of a 366m<sup>2</sup> parcel of land to from General Residential to General Business will not impact on housing affordability or availability within the township as it is evident that there is ample supply.

The Development Plan notes that Campbell Town has a linear style of shopping centre along High Street and that this is a good model for the town that should be retained. The proposed rezoning of the site to General Business will continue this linear model and does not propose and out of centre rezoning. As such it is submitted that the proposed rezoning retains the desired form of shopping/commercial centre for the town.

**4.5 Interim Planning Scheme 2013 – Planning Scheme Objectives**

The following sections outlines the relevant parts of the Objectives to the Interim Planning Scheme and how the proposed rezoning furthers them.



#### 4.5.1 2.2.2.2 Commercial Land

a) Provide commercial areas which best serve the needs of each town, the area generally and the commercial sector.

b) Provide commercial areas such that location and size have regard to the existing retail structure, the hierarchy of centres, the relationship between consumer demand and provision of services, and the density and distribution of population around the commercial centre.

#### **Response:**

The proposed minor increase in the area of land to zoned General Business will not alter the structure of the retail area within Campbell Town nor the relative ranking of the town in the hierarchy of centres.

#### 4.5.2 District Centre 3.2.8

*Campbell Town's highway position and centrality to the Midlands district, and its existing concentration of business, community, health and education services provide a basis for Campbell Town to consolidate its role at the principal service centre in the central Midlands.*

*The challenge will be to stabilise and increase Campbell Town's population and reinforce the town as a focus for service delivery. This will require policy support from state and local government when positioning future community facilities for the midlands area, which will then influence commercial investment decisions.*

*This may require further partnerships with state agencies to integrate improved delivery of services to the Midlands through Campbell Town, and ensure capacity to meet the needs of the town and its role in the district.*

#### **Response:**

The proposed rezoning is consistent with the status of Campbell Town as a district centre. The rezoning to include what is essentially a commercial building within the existing linear shopping/service strip within the town within a zone type that enables its adaptive reuse will assist in the ongoing revitalisation of the township.

#### 4.5.3 Commercial Strategy 3.4

##### 3.4.2 District Centre

*Strategic Plan 4.11 District Centre Objective*

- *Enable Campbell Town to better fulfil its role at the recognised district service centre of the Northern Midlands.*

*Strategy*

- *Reinforce business and government recognition of Campbell Town as the logical focus for service provision for the Midlands region.*
- *Prepare a land use structure plan to guide future development of the town*
- *Ensure there is timely provision for expansion of commercial and community services as needed.*



- *Seek State Government partnerships for improved service and infrastructure delivery.*

**Response:**

The proposed rezoning to include an additional 366m<sup>2</sup> parcel of land that is developed with a commercial style building within the General Business Zone will allow for further expansion of the services that are offered in the town and therefore assist with cementing the town in its recognised role as district service centre of the Northern Midlands.

**4.5.4 Settlement Strategy 3.6**

**3.6.1.4 Campbell Town**

*Campbell Town will be supported as the District Centre for the Midlands to arrest population loss and strengthen services to the district.*

**Response:**

The proposed rezoning of General Residential land to General Business will not have any impact on the supply/demand of residential land within the township. Whilst the site is currently zoned General Residential, it is developed with a commercial building that has a shopfront and was previously used as a hairdressing salon. The proposed rezoning will allow the building to be reused for the purposes of a laundromat, a service offering that is currently lacking within the township and which will support the residential population through strengthening of the provision of services. Therefore the proposal is directly in alignment with the settlement strategy for Campbell Town.

**4.5.5 Land Supply Strategy 3.7**

**3.7.3 Urban Growth Boundaries**

The site is contained within the Campbell Town Urban Growth Boundary.

#### 4.6 Objectives of the RMPS

An assessment of the Proposed Amendment against the objectives of the Resource Management and Planning System of Tasmania is outlined below.

Objective	Response
<i>Part 1</i>	
<i>(a) to promote the sustainable development of natural and physical resources and the maintenance of ecological processes and genetic diversity</i>	It is considered that the proposed rezoning amendment promotes the sustainable development of Campbell Town's physical resources by allowing an existing building on the site to be used for a range of purposes that it is suitable for. The proposed amendment will increase the scope of activities that are permissible on the site which in turn increase the useability of the site. The subject site does not contain any threatened flora or fauna species and does not contribute to significant ecological processes within the locality.
<i>(b) to provide for the fair, orderly and sustainable use and development of air, land and water</i>	The proposed rezoning amendment represents an orderly and sustainable use of land within a township that has an excess supply of residentially zoned land. The subject site is adjacent to and opposite commercial premises within the General Business Zone and the proposed rezoning represents a logical expansion of the zone.  The site is connected to full reticulated services.
<i>(c) to encourage public involvement in resource management and planning</i>	If initiated, the Draft Amendment will be placed on public exhibition for a formal comment period prescribed by Section 38 of the Act.
<i>(d) to facilitate economic development in accordance with the objectives set out in paragraphs (a), (b) an (c)</i>	The proposed rezoning amendment provides an opportunity for an existing commercial building to be used for commercial purposes and therefore has sound economic basis. The proposed use of the site as Service Industry has been bound to be consistent with all relevant standards in the Interim Planning Scheme.

Objective	Response
<i>(e) to promote the sharing of responsibility for resource management and planning between the different spheres of Government, the community and industry in the State</i>	The proposal represents a process of shared responsibility between State government, local government, the land development industry and the community. All relevant bodies will be consulted as part of the planning approval process.
<i>Part 2</i>	
<i>(a) to require sound strategic planning and co-ordinated action by State and local government</i>	<p>As stated, the proposed rezoning amendment represents a logical expansion of the General Business Zone and the area of the land in question is very small and therefore will have no discernible impact on supply/demand of either residential or commercial land within the township.</p> <p>As addressed in sections 4.3-4.5 of this report, the proposed amendment is in accordance with the directions under the Northern Regional Land Use Strategy, the Campbell Town Development Plan and the Northern Midlands Interim Planning Scheme 2013.</p>
<i>(b) to establish a system of planning instruments to be the principal way of setting objectives, policies and controls for the use, development and protection of land</i>	The application seeks to utilise the combined rezoning and amendment process allowed for under section 43A of the Land Use Planning and Approvals Act 1993.
<i>(c) to ensure that the effects on the environment are considered and provide for explicit consideration of social and economic effects when decisions are made about the use and development of land</i>	<p>The proposal will not impact significantly on the environment. The proposal has considered the effect on the environment by promoting infill development within an existing urban area and on serviced land thereby avoiding development pressures in less appropriate areas.</p> <p>Accordingly, it is considered that the proposed rezoning will provide for the efficient and sensible extension of the uses that will be permissible on the site without compromising environmental or ecological values within the municipality.</p>
<i>(d) to require land use and development planning and policy to be easily integrated with environmental, social, economic, conservation and</i>	The proposal furthers the State and municipal objectives of sustainable economic development of land in a manner which does not compromise environmental, social, conservation and resource management values.



Objective	Response
<i>resource management policies at State, regional and municipal levels</i>	
<i>(e) to provide for the consolidation of approvals for land use or development and related matters, and to co-ordinate planning approvals with related approvals</i>	The combined permit and amendment process enables a proposed amendment to a planning scheme to be considered with an application for use and development on land that would not ordinarily be allowed if the planning scheme was not amended as requested. Accordingly, section 43A of the Act provides for a consolidated and coordinated approval process.
<i>(f) to promote the health and wellbeing of all Tasmanians and visitors to Tasmania by ensuring a pleasant, efficient and safe working, living and recreational environment for all Tasmanians and visitors to Tasmania</i>	The proposed amendment will not impact the residential amenity of neighbouring residential properties. This is protected by the standards relating to amenity in the General Business Zone.
<i>(g) to conserve those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value</i>	There are no known local historic or aboriginal heritage values applicable to the site. Notwithstanding this, the provisions of the <i>Aboriginal Heritage Act 1976</i> will apply to any development of the subject site.
<i>(h) to protect public infrastructure and other assets and enable the orderly provision and co-ordination of public utilities and other facilities for the benefit of the community.</i>	The proposed rezoning amendment will not impact on the attainment of this objective.
<i>(i) to provide a planning framework which fully considers land capability.</i>	The site is not currently zoned for agricultural purposes so consideration of this objective is not applicable.

## 4.7 State Policies

### 4.7.1 State Coastal Policy 1996

The subject land is not located within one kilometre of the coast, and therefore the State Coastal Policy 1996 does not apply.

### 4.7.2 State Policy on the Protection of Agricultural Land 2009

Assessment against the State Policy on the Protection of Agricultural Land has not been provided given the site is already zoned for non-agricultural purposes (Light Industrial).



#### 4.7.3 State Policy on Water Quality Management 1997

The site is not adjacent to any watercourses and therefore the State Policy on Water Quality Management 1997 is not applicable.

#### 4.7.4 National Environment Protection Measures

National Environmental Protection Measures (NEPMs) are developed under *the National Environment Protection Council (Tasmania) Act 1995* and outline objectives and protections for aspects of the environment. Section 12A of the *State Policies and Projects Act 1993* provides NEPMs with the status of a State Policy.

Seven NEPMs have been made to date that deal with:

- Ambient air quality;
- Air Toxins;
- Assessment of Site Contamination;
- Diesel Vehicle Emissions;
- Movement of Controlled Waste Between States and Territories;
- National Pollutant Inventory; and
- Used Packaging Materials.

None of these NEPMs are considered relevant to this application.

#### 4.8 Provisions relating to use, development, protection or conservation of land and potential land use conflict

All required provisions relating to the sustainable development of the land are provided for through the normal planning scheme requirements. In particular, the range of codes dealing with land hazards and values will continue to apply to future applications for a permit.

The table below outlines the differences in the allowable land uses in both the existing (General Residential) and proposed (General Business) zones.

General Residential Zone (existing)	General Business Zone (proposed)
<i>No permit required</i>	
Residential (single dwelling)	Natural and cultural values management
Natural and cultural values management	Passive recreation
Passive recreation	
<i>Permitted</i>	

General Residential Zone (existing)	General Business Zone (proposed)
Residential (caretakers dwelling or home-based business)  Utilities	Bulky goods sales Business and Professional services Food services General retail and hire Hotel industry Research and development Utilities Visitor accommodation Vehicle fuel sales and service
<i>Discretionary</i>	
Business and professional services (medical centre)  Educational and occasional care  Food services (if a café or takeaway food premises)  General retail and hire (if a local shop)  Community meeting and entertainment (if not a cinema or function centre)  Residential (if a boarding house, communal residence, hostel, residential aged care facility, retirement village)  Visitor Accommodation	Emergency services Community meeting and entertainment Recycling and waste disposal Educational and occasional care Manufacturing and processing Residential Service industry (must incorporate a shopfront for customer service) Sport and Recreation Storage Transport depot and distribution Tourist operation Vehicle parking Utilities.

It is evident from the above table that the range of uses permissible on the site will expand as a result of the proposed rezoning. However, given the small size of the site many of the uses are unlikely to occur. The General Business Zone has use standards which will apply to future uses on the site which seek to protect the amenity of surrounding properties. As noted previously, the site adjoins existing commercial properties to the north and the land on the opposite side of High Street is already zoned General Business. As such, the amenity of the adjoining dwellings to the east and south is already that which is expected in a commercial area and on a major highway.

Any future application for use and development would be subject to the same number of codes as currently applies including the Heritage Code.

#### **4.9 Gas Pipelines Act 2000**

The subject land is not affected by the Gas Pipeline. This requirement is therefore not applicable.

#### **4.10 Regional Impact**

The proposed amendment is considered to be consistent with the Northern Tasmania Regional Land Use Strategy, as discussed in Section 3.4 above. This demonstrates that the future development facilitated by the proposed amendment is consistent with the desired environmental, economic and social outcomes for the Northern Region.

#### **4.11 Other requirements of Section 20**

The proposed amendment is also consistent with the other requirements under Section 20(2), (3), (4), (5), (6), (7), (8) and (9) of the Act. In particular, the proposed amendment does not:

- prevent the continuance or completion of any lawful use or development;
- prevent the reconstruction or restoration of buildings or works unintentionally destroyed or damaged;
- extend or transfer a use from one part of a parcel of land to another part; and
- affect forestry operations, mineral exploration, fishing or marine farming.



## 5. Development Application

### 5.1 Proposed Use

Approval is sought use the site for the purposes of a laundromat (service industry).

The broad use classification for the proposed use is 'Service Industry' which is defined as follows in Table 8.2 of the Planning Scheme.

*"use of land for cleaning, washing, servicing, or repairing articles, machinery, household appliances or vehicles. Examples include a car wash, commercial laundry, electrical repairs, motor repairs and panel beating."*

There are no external building works proposed, however there will be works to the inside of the building to enable the change of use from hairdresser to laundromat. It is proposed to install 4 commercial top loader washing machines and three commercial driers. The proposed internal configuration is shown in the proposal plans included as **Appendix B**.

The laundromat will be open 7.00am – 8.00pm and there will be no permanent employees on site. Rather, staff will intermittently visit the premises to clean and service machines.

### 5.2 Signage

It is proposed to retain the two existing signs on the building, one being located on the parapet and another a projecting horizontal sign. The parapet sign will be replaced by one with slightly larger dimension being 3m (w) x 0.95 (h).

### 5.3 Approval Status

The use of land for 'Service industry' is discretionary within the General Business zone provided it incorporates a shopfront for customer service.

In addition to requiring a discretionary permit for the Service Industry use, the application requires a permit as it does not comply with the acceptable solutions identified below. It relies on an assessment against the associated performance criteria:

- 21.3.1 Amenity (P2)
- E15.5.3 Design and siting of signage (P43)

### 5.4 General Business Zone Provisions

#### 5.4.1 Zone Purpose

21.1	Zone Purpose
21.1.1.1	To provide for business, community, food, professional and retail facilities serving a town or group of suburbs.
21.1.1.2	To create through good urban design: <ul style="list-style-type: none"> <li>a) an attractive and safe environment; and</li> </ul>

- b) activity at pedestrian levels with active road frontages offering interest and engagement for shoppers and;*
- c) appropriate provision for car parking, pedestrian access and traffic circulation.*

The Zone Purpose statements are relevant to the exercise of the general discretion which applies to the 'Service Industry' use class in accordance with Clause 8.10.2 of the Interim Planning Scheme. They are considered individually below:

24.1.1.1. Consistent. The proposed laundromat facility is considered to be consistent with the purpose statement on the basis that it provides a business service that is not otherwise offered in Campbell Town and enables adaptive reuse of an existing building.

24.1.1.2. Consistent. The proposed development will not alter the façade of the existing building which currently provides an active shopfront.

**5.4.2 Local Area Objectives**

**Local Area Objectives**

*To consolidate growth within the existing urban land use framework of the towns of Campbell Town, Longford and Perth.*

*To manage development in the general business zone so as to conserve and enhance the quality of the Heritage Precincts in the Campbell Town, Longford and Perth town centres.*

*To ensure developments within the street reservations contribute positively to the context of the Heritage Precincts in each settlement.*

The proposed change of use application for use and development of the site as a laundromat (Service Industry) will not preclude the attainment of the Local Area Objectives. The existing shopfront façade of the building will remain unchanged and therefore there will be no impact on the quality of the Heritage Precinct within Campbell Town.

**5.4.3 Use Standards**

**21.3.1 Amenity**

**Objective**

*To ensure that the use of land is not detrimental to the amenity of the surrounding area in terms of noise, emissions, operating hours or transport.*

**Acceptable Solution**

A1

*Commercial vehicles (except for visitor accommodation and recreation) must only operate between 6.00am and 10.00pm Monday to Sunday.*

**Performance Criteria**

P1

*Commercial vehicles (except for visitor accommodation and recreation) must not cause or be likely to cause an environmental nuisance*



*through emissions including noise and traffic movement, odour, dust and illumination.*

A2

*Noise levels at the boundary of the site with any adjoining land must not exceed:*

- a) 50dB(A) day time and;*
- b) 40dB(A) night time; and*
- c) 4dB(A) above background for intrusive noise.*

P2

*Noise must not cause unreasonable loss of amenity to nearby sensitive uses.*

#### **Complies with A1 and P2**

Commercial vehicles will only operate between the hours of 6.00am and 10.00pm Monday to Sunday and therefore comply with A1.

An acoustic assessment has not been undertaken but it is submitted that given the operating hours of 7.00am to 8.00pm and the nature of the use, that there will not be any noise generated that causes unreasonable loss of amenity to nearby sensitive uses.

#### **5.4.4 Development Standards**

The development standards are not applicable as no external building development or subdivision is proposed.

### **5.5 Codes**

#### **5.5.1 Bushfire Prone Areas Code E1.0**

Not applicable because the subject site is not located within a bushfire prone area.

#### **5.5.2 Potentially Contaminated Land E2.0**

The site is not listed as potentially contaminated on Council's register nor is any development proposed.

#### **5.5.3 Landslide Code E3.0**

Not applicable because the subject site is not mapped as or otherwise known to be subject to a landslip hazard.

#### **5.5.4 Road and Railway Assets Code E4.0**

It is submitted that the Road and Railway Assets Code is not applicable to the proposed change of use as there will be no intensification of the existing access and no new accesses are required.



### 5.5.5 **Flood Prone Areas Code E5.0**

Not applicable because the subject site is not mapped as being subject to a flood risk and is otherwise known to not be subject to flooding at a 1% annual exceedance probability due to the existence of the levee to the rear.

### 5.5.6 **Car Parking and Sustainable Transport Code E6.0**

#### Code Purpose

- |        |  |
|--------|--|
| E6.1.1 | <ul style="list-style-type: none"> <li>a) <i>ensure that an appropriate level of car parking facilities are provided to service new land use and development having regard to the operations on the land and the nature of the locality; and</i></li> <li>b) <i>ensure that cycling, walking and public transport are encouraged as a means of transport in urban areas;</i></li> <li>c) <i>ensure access for cars and cyclists and delivery of people and goods is safe and adequate;</i></li> <li>d) <i>ensure that parking does not adversely impact on the amenity of a locality and achieves high standards of urban design; and</i></li> <li>e) <i>ensure that the design of car and bicycle parking space and access meet appropriate design standards;</i></li> <li>f) <i>provide for the implementation of parking precinct plans.</i></li> </ul> |
|--------|--|

#### Use Standards

##### **E6.6.1 Car Parking Numbers**

##### **Objective**

*To ensure that an appropriate level of car parking is provided to service use.*

##### **Acceptable Solution**

##### **Performance Criteria**

A1 The number of car parking spaces must not be less than the requirements of;

a) Table E6.1; or

b) a parking precinct plan contained in Table E6.6 Precinct Parking Plans (except for dwellings in the General Residential Zone.

P1 The number of car parking spaces provided must have regard to:

a) the provisions of any relevant location specific car parking plan; and

b) the availability of public car parking spaces within reasonable walking distance; and

c) any reduction in demand due to sharing of spaces by multiple uses either because of variations in peak demand or by efficiencies gained by consolidation; and

d) the availability and frequency of public transport within reasonable walking distance of the site; and

e) site constraints such as existing buildings, slope, drainage, vegetation and landscaping; and

f) the availability, accessibility and safety of on-road parking, having regard to the nature of the roads, traffic management and other uses in the vicinity; and

g) an empirical assessment of the car parking demand; and

h) the effect on streetscape, amenity and vehicle, pedestrian and cycle safety and convenience; and

i) the recommendations of a traffic impact assessment prepared for the proposal; and

j) any heritage values of the site; and



*for residential buildings and multiple dwellings, whether parking is adequate to meet the needs of residents having regard to:*

*(i) the size of the dwelling and the number of bedrooms;*

*(ii) the pattern of parking in the locality;*

*(iii) any existing structure on the land*

**Complies with A1.**

The Table E6.1 requires provision of 1 space per 80m<sup>2</sup> or 2 spaces per 3 employees whichever is greater. The building has a floor area of 50m<sup>2</sup> therefore one space is required to be provided for the floor area. There will be no permanent employees on site, however an employee will intermittently visit the site to clean and service the laundromat. Therefore, a maximum of two spaces are required and three are provided for on site.

**Clauses E6.6.2-E6.6.4 are not applicable to this development.**

No bicycle parking is required to be provided and the proposed use does not generate a requirement for more than 20 car parking spaces therefore neither taxi bays or motorcycle parking are required to be provided.

**Development Standards**

**Clauses E6.7.1 to E6.7.6 are not applicable to this development.**

**Clauses E6.8.1 – E6.8.5 are not applicable to this development.**



**5.5.7 Scenic Management Code E7.0**

Not applicable because the subject site is not mapped as being within a scenic management tourist road corridor or local scenic management area.

**5.5.8 Biodiversity Code E8.0**

Not applicable because the subject site is not mapped as being within an area identified as priority habitat and because the application does not involve removal of native vegetation.

**5.5.9 Water Quality Code E9.0**

Not applicable because the existing development is connected to reticulated sewer and stormwater.

**5.5.10 Recreation and Open Space Code E10.0**

Not applicable because the application does not involve a subdivision.

**5.5.11 Environmental Impacts and Attenuation Code E11.0**

Not applicable because the application does not involve a sensitive use or an activity listed in Tables E11.1 or E11.2 with the potential to create environmental harm or nuisance.

**5.5.12 Airports Impact Management Code E12.0**

Not applicable because the subject site is not mapped as being within aircraft noise exposure forecast contours and is not within prescribed airspace.

**5.5.13 Local Historic Heritage Code E13.0**

The Local Historic Heritage Code is applicable as the site is located within a Heritage Precinct. However, the application meets exemption E13.3.1 as the only proposed works will be internal and the site is not listed individually.

**5.5.14 Coastal Code E14.0**

Not applicable because the subject site is not located in a coastal environment.

**5.5.15 Signs Code E15.0**

**Code Purpose**

E15.1	a) <i>The purpose of this Code is to regulate the construction or putting up for display of a sign or hoarding.</i>
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**E15.5 Standards for Use or Development**

**E15.5.1 Third Party Signage**

**Objective**

*To ensure that signs relate to the site on which they are located.*

**Acceptable Solution**

*A1 Must only advertise goods and services available from the site*

**Performance Criteria**

*P1 Shall be a Billboard Sign and consistent with the desired future character statements, if any.*

**Complies with A1** – no third party signage is proposed.

**E15.5.2 Heritage Precincts**

**Objective**

*To ensure that the design and siting of signs complement or enhance the streetscape of Heritage Precincts.*

**Above Awning Signs**

**Acceptable Solution**

*A1 No Acceptable Solution*

**Performance Criteria**

*P1 If within Heritage Precincts Specific Area Plan, shall be consistent with Character Statements.*

**Not applicable** – Above awning sign not proposed.

**E15.5.3 Design and siting of signage**

**Objective**

*To ensure that the design and siting of signs complement or enhance the characteristics of the natural and built environment in which they are located.*

**Sky/Apex/Parapet Signs**

**Acceptable Solution**

*A43 No Acceptable Solution*

**Performance Criteria**

*P43 A sky/apex/parapet sign located in the:*

- Local Business Zone; or*
- General Business Zone*

*Must demonstrate that:*

- a) no other form of permitted signage will meet the needs of the proprietor; and*



**A44**

A sky/apex/parapet sign must:

- a) only be used for advertising goods or services available on the same site as the sign; and
- b) not be placed on the roofs of buildings that exceed 7.5m in height above the ground; and
- c) have a maximum height (sign structure) of 1.5m; and
- d) have a maximum length of 3m; and
- e) have a maximum distance between the top of the sign and the roof or parapet of 2.3m; and
- f) not project horizontally beyond the walls of the building; and
- g) be limited to one apex/parapet sign per site; and
- h) not be moving, rotating or flashing; and
- i) only be illuminated through the use of internal lighting, neon, or external spot-lighting sensitively designed to minimize glare and overspill of light.

- b) the sign does not dominate the streetscape and reflects the prevailing character of the area, in terms of shape, proportions and colours; and
- c) it does not conflict with the Zone Purpose as outlined in Part D of this planning scheme

**P44**

No performance criteria

**Complies with P43 and A44**

The subject site is located within the General Business Zone and the proposed sign replaces an existing parapet sign of slightly smaller dimensions. Given the sign is replacing an existing one in the same location and the design of the building makes it difficult to locate a sign in any other location that will have visual prominence from the street, it is submitted that a) and b) are met. The proposed sign will further the zone purpose statements by providing visual interest to shoppers and indicate the location of a business/service not currently available elsewhere within the town ship.

The proposed sign will advertise the laundromat, and will be on a building with a roof height less than 7.5 metres. The sign will have a maximum height of 0.95 metres and length of 3 metres. The distance between the sign and the roof or parapet is less than 2.3m and the sign will not project horizontal beyond the wall of the building. There will be one parapet sign on the site only and it will not be moving, rotating or flashing.



## 6. Conclusion

The proposed combined rezoning amendment and change of use application has been assessed against all relevant strategic plans, strategies and the objectives of the RMPS. The amendment effectively allows for an existing commercial building to undergo an appropriate change of use and is submitted as an appropriate adaptive reuse. No external development of the site is required or proposed. Some minor internal building works are required but these do not trigger any planning approvals.

The only two discretions triggered in relation to development is that Clause 21.3.1 Amenity (P2) in relation to noise and *E15.5.3 Design and siting of signage in relation to the type of sign on the building (for which there is no acceptable solution).*

With respect to Amenity, whilst it is likely the Acceptable Solution would be met, an acoustic assessment has not been obtained and therefore the application must rely on the performance criteria. Given the proposed operating hours and the low-key nature of the use, it is submitted that there will be no detrimental impacts in terms of noise or fumes to adjoining residential uses.

With respect to signage, the proposed sign is replacing one in the same location of a slightly smaller size and it is the only feasible location on the building that provides visual prominence to High Street.

Based on all the supporting information provided in this report, it is submitted that there is sufficient justification to support the case for the proposed site specific ordinance amendment,

**Appendix A. Title Information**

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
161145	1
EDITION	DATE OF ISSUE
3	22-Sep-2015

SEARCH DATE : 23-Nov-2017

SEARCH TIME : 02.43 PM

DESCRIPTION OF LAND

Town of CAMPBELL TOWN

Lot 1 on Sealed Plan 161145

Derivation : Part of 2A-3R-9Ps. - Sec. D. - Gtd. to W.  
Morrison.

Prior CT 16020/1

SCHEDULE 1

E6537 CHARLES LESLEY KNOWLES and GRAEME RAYMOND PARISH as  
personal representatives of Diane Beryl Flood  
Registered 22-Sep-2015 at noon


SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP161145 FENCING COVENANT in Schedule of Easements  
19/5636 CONVEYANCE Made Subject to Boundary Fences Condition

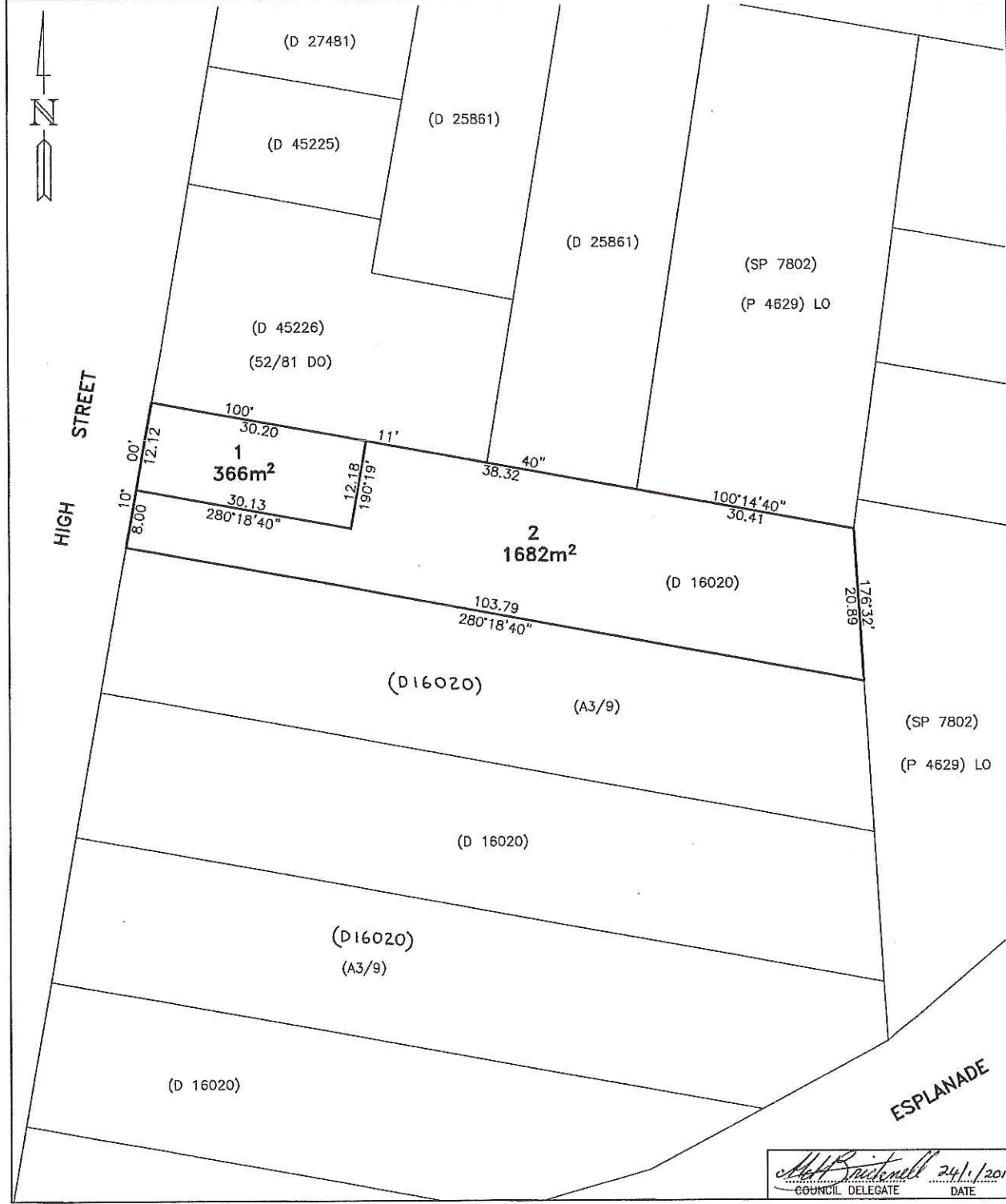
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



<p>OWNER RANDALL GLENN RUSSELL</p> <p>FOLIO REFERENCE 16020-1</p> <p>GRANTEE PART OF 2a-3r-9p GTD TO WILLIAM MORRISON</p>	<p align="center"><b>PLAN OF SURVEY</b></p>  <p>COHEN &amp; ASSOCIATES PTY LTD, LAUNCESTON</p> <p>BY SURVEYOR: J.R. DAVEY</p> <p>LOCATION <b>TOWN OF CAMPBELL TOWN SECTION D</b></p> <p>SCALE 1 : 500      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP161145</b></p> <p><del>APPROVED</del> EFFECTIVE FROM <b>10 FEB 2011</b></p> <p><i>Alice Lawa</i> Recorder of Titles</p>
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<p>MAPSHEET MUNICIPAL CODE No 123 (5435-21)</p>	<p>LAST UPI No 4301093</p>	<p>LAST PLAN No D 16020</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>
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*Matt Mitchell* 24/1/2011  
COUNCIL DELEGATE      DATE

95/49 (6162) 19/11/2010 16:26

**Appendix B. Development Plans**



A | 1 Princes St | Launceston | Tas 7250  
W | info@mgadesign.com.au  
P | 0418192018  
Accreditation No. | CC5426 T

1-213

# TRANSMITTAL

Date: 13/02/2018

**Project Name** | Proposed Laundromat  
**Project Number** | 1777

Please advise if documents are not received as per this advice

Drawing No.	Layout Name	Stage	Revision	Status	Issued By	Approved by
<b>DA Issue</b>						
	Transmittal Document		02	Issued		
A01	Location Plan		02	Issued		
A02	Site Plan		02	Issued		
A03	Existing Ground Floor Plan		02	Issued		
A04	Ground Floor Demolition Plan		02	Issued		
A05	Ground Floor Sketch Plan		02	Issued		
A06	Existing Elevations		01	Issued		
A07	Proposed Elevations		01	Issued		



# Proposed Laundromat Alteration

## 121 High St Campbell Town Tas 7210

### Client: Debbie Thomas

#### Project details

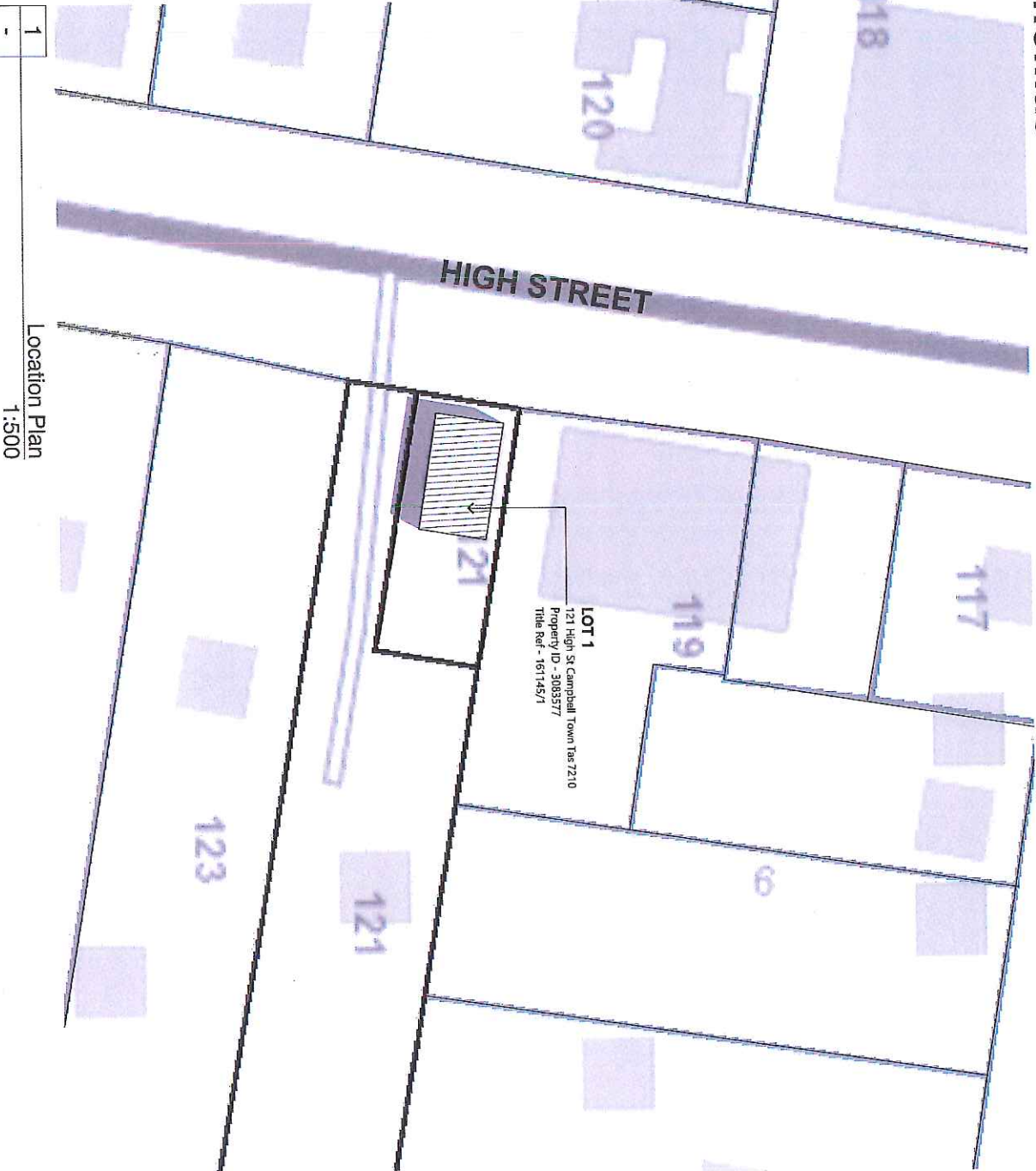
Council	Launceston City Council
Zone	L02 General Residential
Planning Overlay	101 HER Heritage Precincts 101 LURB Urban Growth Boundary
PID	3083577
Title File	161145
Title Volume	7
Climate Zone	TBA
Design Wind Speed	N/A
Soil Class	TBA
BAL Rating	TBA
Energy Rating	TBA
Corrosive Environment	Low
Other	

#### Area Schedule

Name	Area m <sup>2</sup>	Area sq
Site Area	331.0m <sup>2</sup>	35.6sq
Ex Building Area	50.2m <sup>2</sup>	5.4sq

#### Architectural

A01	Location Plan
A02	Site Plan
A03	Existing Ground Floor Plan
A04	Ground Floor Demolition Plan
A05	Ground Floor Plan
A06	Existing Elevations
A07	Proposed Elevations



Location Plan  
1:500



All 1 Prince St Launceston Tas 7250  
 All 1 Prince St Launceston Tas 7250  
 P 1041302018  
 Accreditation No. | CC5428 T

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#### General Notes:

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 Locations of structure, fittings, and services on this drawing are Building Contractor to check drawings for co-ordination between structure, fabric, fixtures and fittings.  
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 The designer is to be notified of any discrepancies with the drawings.

SI	01	Issued for Client review and comment	12/09/2017
SI	02	Issue for Development Application	12/02/2017
Stage Rev	Description	Date	

#### Proposed Name

Project No.	1177
Project Address	121 High St Campbell Town Tas 7210
Client	Debbie Thomas
Property ID	3083577
Title Reference	161145/1
Drawn	SC
e-file	

#### Location Plan

Status	DA
Print date	Tuesday, 13 February 2018
Original file	AS
Drawing title/Stage/Revision	A01-DA02





A11 Princess St | Launceston | Tas 7250  
 W | info@mgaengineers.com.au  
 P | 0418192018  
 Accreditation No. | CCF426 T

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 A land surveyor is recommended for all set-out.  
 The designer is to be notified of any discrepancies with the drawings.

**Legend Notes**

This drawing should be strictly read in conjunction with civil & hydraulic engineering drawings.  
 10.000 Existing Levels  
 10.000 New Levels, RL Reduced Level

**Soil & Water Management Strategies**

Downpipes to be connected into water tank as soon as the roof is installed.  
 Install AS drain prior to footing excavation. Refer to ground Floor Drainage Plan for location.  
 Expanded metal placed up slope of AS drain. To be removed when concrete is poured and used as fill on site for any low points. Install a sediment fence on the down slope side of material.  
 Construction vehicles to be parked on the street or the driveway once completed, to prevent run-off onto existing street.  
 Footings to be installed on compacted bedding (existing fill) installed prior to footing construction. Min. 1 in 300 uniform fill.

**Protection Work (Section 121 of the Building Act)**

If excavation is to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner, the excavation, adjoining owner to be notified using Form 9 (Building and Protection Work Notice) by the Building Surveyor.

**Site Plan Legend**

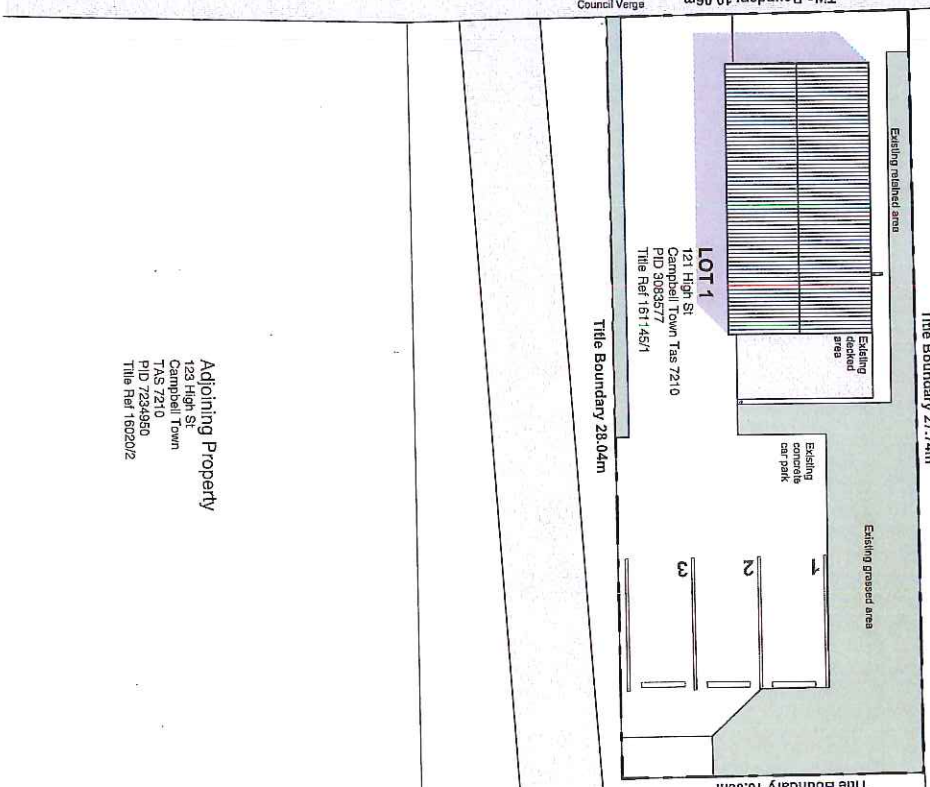
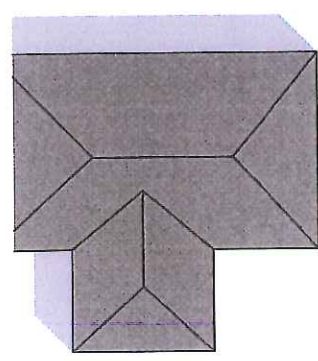
New buildings / shelters & covered ways Typ. rooled areas.

SR	DT	Issued for Client review and comment	13/02/2018
DA	O2	Issue for Development Application	12/02/2018
Stage Rev	Description		Date

**Proposed Name**  
**Proposed Laundromat**

Project No.	1777
Project Address	121 High St Campbell Town Tas 7210
Client	Debbie Thomas
Property ID	3083577
Title Reference	161145/1
Drafter	SC
Designer	SC

**Site Plan**



**Adjoining Property**  
 129 High St  
 Campbell Town  
 TAS 7210  
 PID 7234980  
 Title Ref 16020/2

**LOT 1**  
 121 High St  
 Campbell Town Tas 7210  
 PID 3083577  
 Title Ref 161145/1

**Adjoining Property**  
 119 High St  
 Campbell Town  
 TAS 7210  
 PID 6203327  
 Title Ref 45226/1

**Adjoining Property**  
 121A High St  
 Campbell Town  
 TAS 7210  
 PID 3083585  
 Title Ref 161145/2

Title Boundary 10.06m  
 Council Verge

Title Boundary 27.74m

Title Boundary 28.04m

Title Boundary 10.06m

1-215

HIGH STREET





**MG&A design**  
 A1 PO Box 7898 | Launceston | Tas 7250  
 P1 1100@mgadesign.com.au  
 Accreditation No. | OC5426 T

**General Notes:**  
 All building works to comply with National Construction Codes - Building & Plumbing Codes of Australia, Australian Standards, Building Acts & Regulations and Council bylaws. Refer to architectural drawings for notes.  
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 The designer is to be notified of any discrepancies with the drawings.

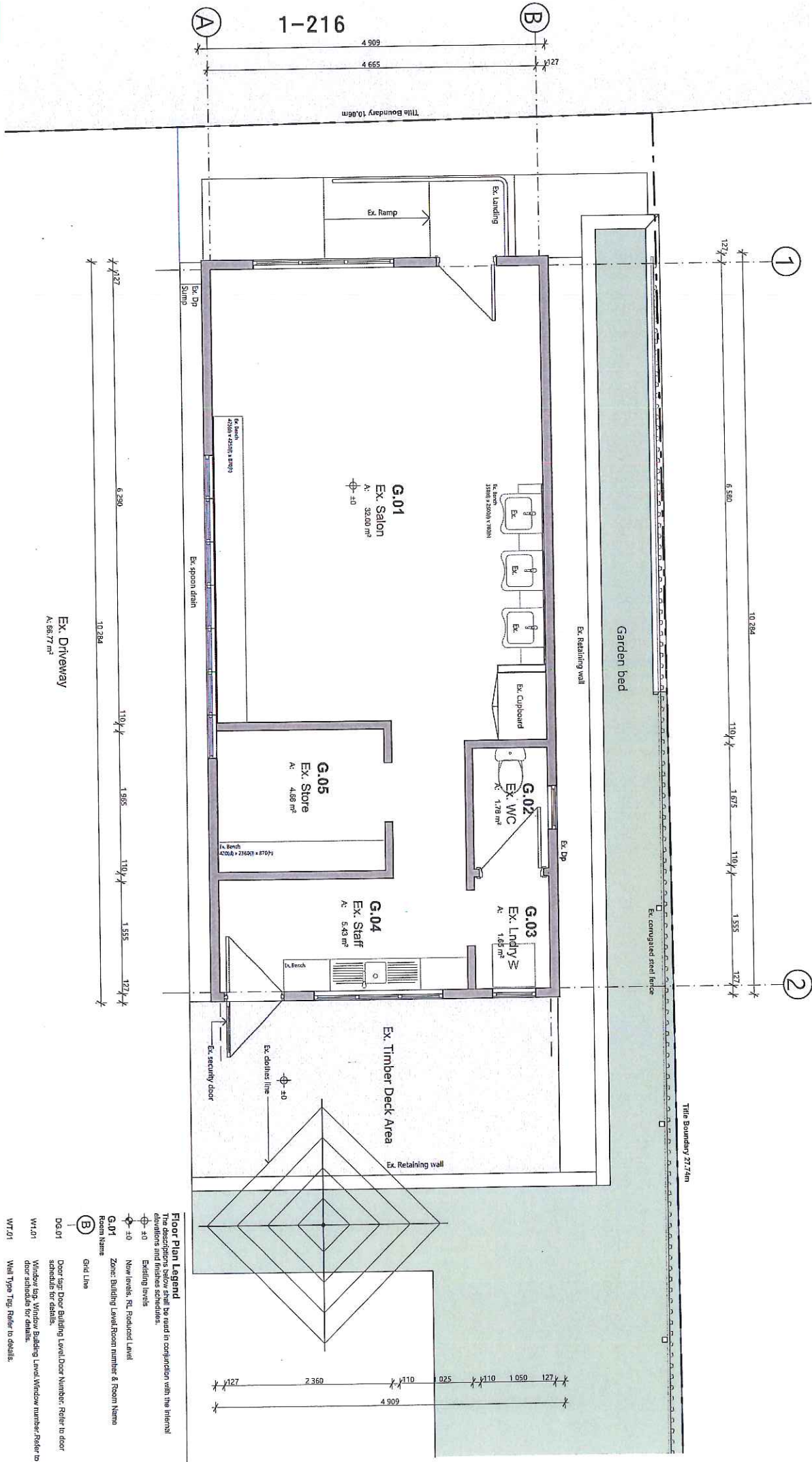
SR	01	Issued for client review and comment	12/02/2018
DA	02	Issue for Development Application	12/02/2018
Stage	Rev	Description	Date

Project Name		Proposed Laundromat
Project No.	1777	
Project Address	121 High St Campbell Town, Tas 7210	
Client	Doble Thomas	
Property ID	3092577	
Title Reference	161145/1	
Drawn	DA02	

Existing Ground Floor Plan	
Status	DA
Print date	Tuesday, 13 February 2018
Original size	A3
Drawing by	Stages/Revision

**A03-DA02**

**Existing Ground Floor Plan**  
 1.50

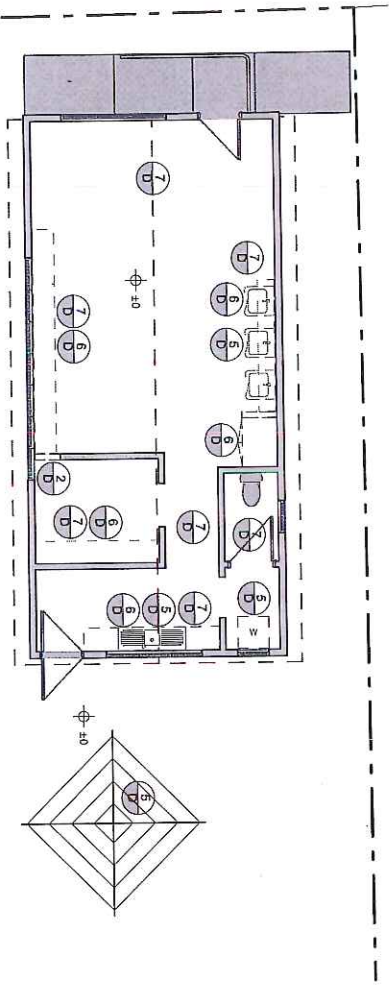


**Floor Plan Legend**  
 The descriptions below shall be read in conjunction with the internal elevations and finishes schedules.  
 -10 Existing levels  
 +10 New levels, RL Reduced Level  
 G.01 Zone: Building Level Room number & Room Name  
 Room Name  
 Solid Line  
 DE.01 Door tag/Door Building Level/Door Number. Refer to door schedule for details.  
 WT.01 Window tag/Window Building Level/Window number/Refer to door schedule for details.  
 WT.01 Wall Type Tag. Refer to details.  
 DP Downpipe  
 Existing walls, thickness and composition varied. Confirm on site.





Ground Floor Demolition Plan  
1:100



**Demolition Legend**

**Site Demolition Notes**  
General note: Demolition shall be read in conjunction with specifications, mechanical & electrical drawings.  
Demolition: Demolition of building's structure for all identified works details including connection and disconnection of power to existing remaining buildings & demolished buildings.  
Punching: All pipe capping shall be documented on as constructed documentation at conclusion of demolition works.  
All remaining services to be removed and capped or at site connection point where required. Services shall be documented for records.  
Misc. Services: Services shall be documented for records.  
Over and above: Over and above to remove all demolished items from site premises allowing for carriage, travel and disposal fees. Contractor should recycle all demolished items where possible & provide further evidence of recycling within their tender submission of what items will be recycled, where they will be recycled and how they will be recycled. Evidence may be weighed on the contractor's site to cover this evidence.  
Schedule of Demolition Categories:

- 1 Wall - Demolish & remove existing wall including framing, lintels, sills, sills, sills & the like to the existing structure. Allow to disconnect all redundant mechanical, electrical, hydraulic etc. connections, cap & seal below behind finished surface level. Make good as required.
- 2 Part Wall - Demolish & remove part existing wall including framing, lintels, sills, sills & the like to the extent shown dotted to form new opening. Allow to make good to all adjacent surfaces as required to suit new works. Allow to disconnect all redundant mechanical, electrical, hydraulic etc. connections, cap & seal below behind finished surface level. Make good as required.
- 3 Doors - Demolish & remove or relocate existing door including frames, reveals, hardware, locks, hinges & the like. Allow to make good to all adjacent affected surfaces as required in preparation for new works.
- 4 Windows - Demolish & remove existing window including frames, reveals, furnishings, glazing & the like. Allow to make good to all adjacent affected surfaces as required in preparation for new works.
- 5 Fixtures & Fittings - Demolish & remove existing fixture & fittings shown dotted. Allow to cap & seal all service connections below behind finished surface level.
- 6 Allow to patch, repair & ensure smooth & level finish in preparation for new works.  
Joinery - Demolish & remove existing joinery unit including drawers, cabinets, associated services connections below behind finished surface level. Allow to patch, repair & ensure smooth & level finish in preparation for new works.
- 7 Floor Finishes - Demolish & remove existing floor finish throughout back to existing structure below. Contractor shall ensure smooth & level finish as required for installation of new floor finishes.

**Demolition Legend**

The architect shall carry out the required demolition of the existing building nominated on this plan in strict accordance with the documentation & ASS01 - the demolition of structures. Demolition works shall be undertaken in a safe & environmentally acceptable manner. The Contractor shall make all allowances as required for demolition, removal & reconnection of all services to be demolished. All demolition works shall be undertaken in accordance with the following instructions:  
Remove & disconnect all redundant mechanical, electrical, hydraulic services & the like as shown on the drawings. All services to be removed shall be disconnected at the point of installation of new services. Allow to make good to all adjacent surfaces as required. Make good to all penetrations where items removed. Infill shall match existing surface. Existing floor coverings to be removed in locations nominated. Contractor to ensure all layers removed back to original structure. Ensure existing slab structure to be supported. Allow to make good to existing slab structure to ensure smooth, flat & level surfaces in preparation for new works.  
Any equipment to be demolished or removed during works shall be disposed or reinstalled for reuse or for clients future instruction. All demolition works to be read & undertaken in conjunction with all consultant documentation. All salvaged items are to be stored ready for re-use or for clients future instruction.

- Existing Wall Retained
- Retain existing wall to make good to all existing lintels as required for new works. Allow to re-configure services within as required.
- Part of Wall to be Demolished & Replaced
- Demolish & remove existing wall (or section of) to extent shown dotted. Allow to make good to all floors, ceilings & adjacent remaining walls where affected by demolition & removal. Clean, rectify & finish within the demolished wall (or allow to rectify as required for new design).
- Door to be Demolished or Relocated
- Demolish & remove or relocate existing door, frame & all other associated hardware including locks, hinges, stops & catches. Make good to opening in preparation for new works.
- Door to be Relocated
- Retain, protect & make good to existing door. Ensure all hardware is in good working order as required to suit new works.
- Window to be Demolished
- Demolish & remove existing window, frame furnishings & glazing. Make good to existing opening as required to suit new works.
- Window to be Relocated
- Retain, protect & make good to existing window. Ensure all glazing & hardware is in good working order as required to suit new works.

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P/ (08) 920715  
Accreditation No. | CCS426 T

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Use greatest dimensions in reference to coded dimensions.  
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Locations of structure, fittings, and services on the drawing are indicative. Contractor to check drawings for co-ordination between structure, fabric, fixtures and fittings.  
A land surveyor's recommendation for all set-out.  
The designer is to be notified of any discrepancies with the drawings.

Rev	Description	Date
01	Issued for Client review and comment	12/02/2017
02	Issued for Development Application	12/02/2017

Project Name: Proposed Laundromat

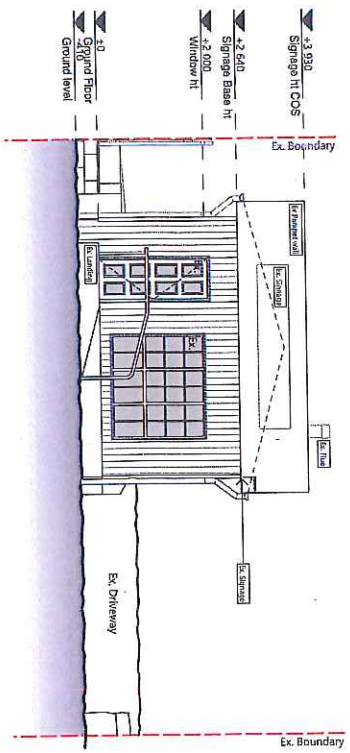
Project No.	1777
Project Address	1211 High St Campbell Town Tas
Client	Debbie Thomas
Proposey ID	3036577
Title Reference	1611451
Drawn	SC

Ground Floor Demolition Plan

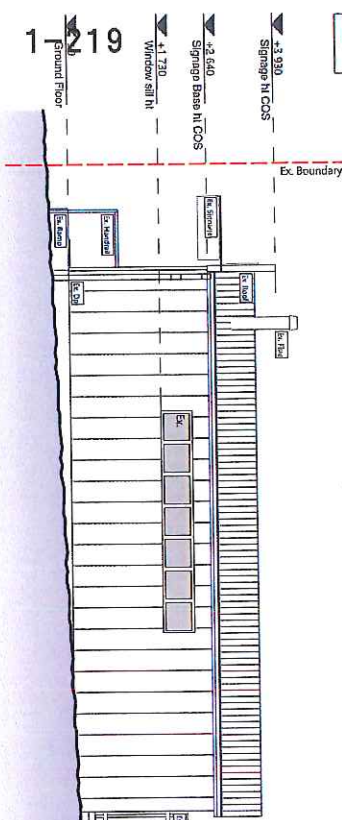
Status: DA  
Print date: Tuesday, 13 February 2018  
Original size: A3  
Drawing No./Stage/Revision: A04-DA02



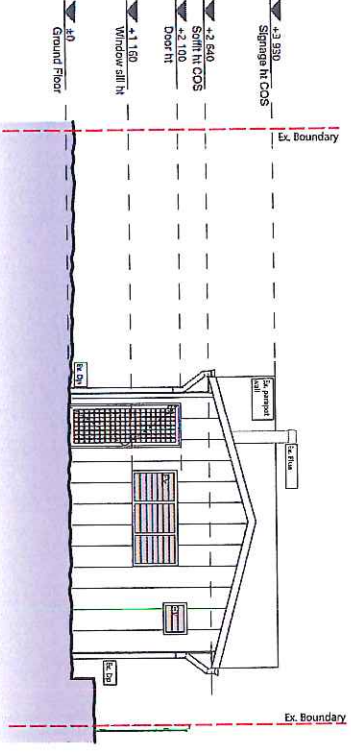




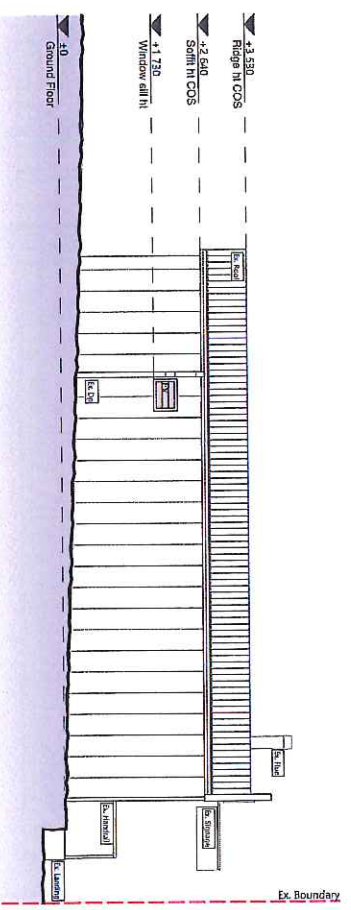
E01 ELEVATION  
1:100



E02 ELEVATION  
1:100



E04 ELEVATION  
1:100



E03 ELEVATION  
1:100



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Use signora dimensions in preference to split dimensions.  
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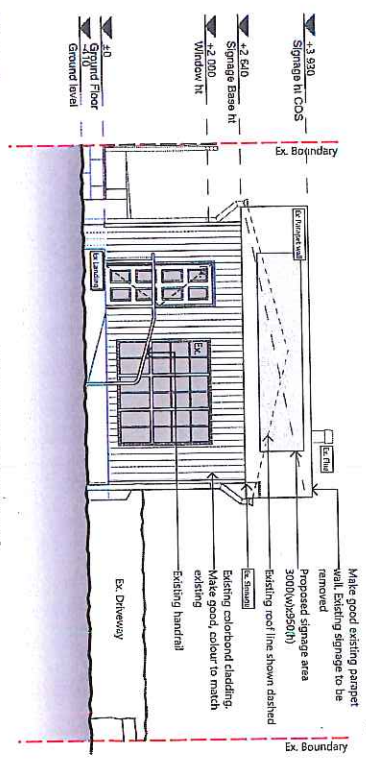
DA 01 Issue to Development Application 12/02/2018  
Stage Rev Description Date  
Project Name  
**Proposed Laundromat**

Project No. 1777  
Project Address 121 High St Campbell Town TAS  
Client Dobho Thomas  
Property ID 3209577  
Tas Registration No. 187145/1  
Drawn SC  
6-file

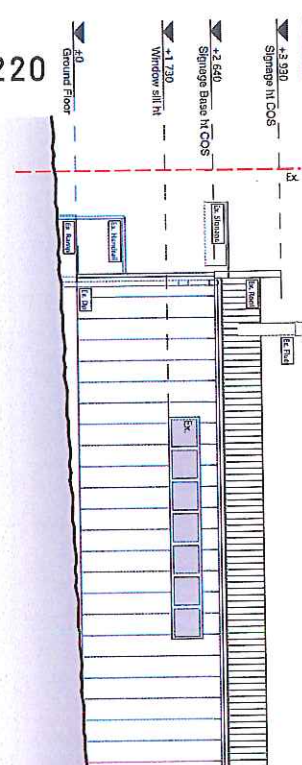
**Existing Elevations**

Status DA  
Print date Tuesday, 13 February 2018  
Original size | A3  
Drawing No./Stage/Revision  
**A06-DA01**

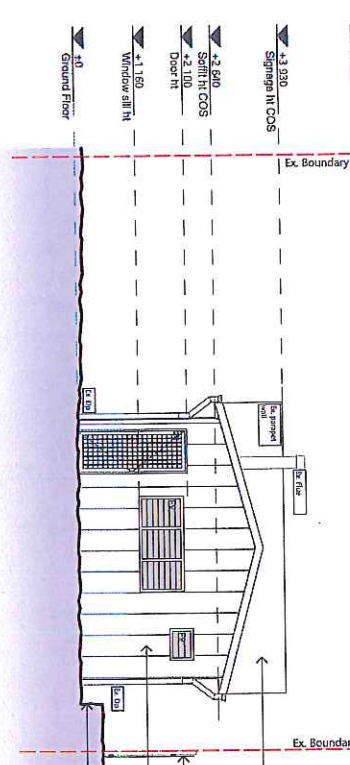




E01 ELEVATION  
1:100

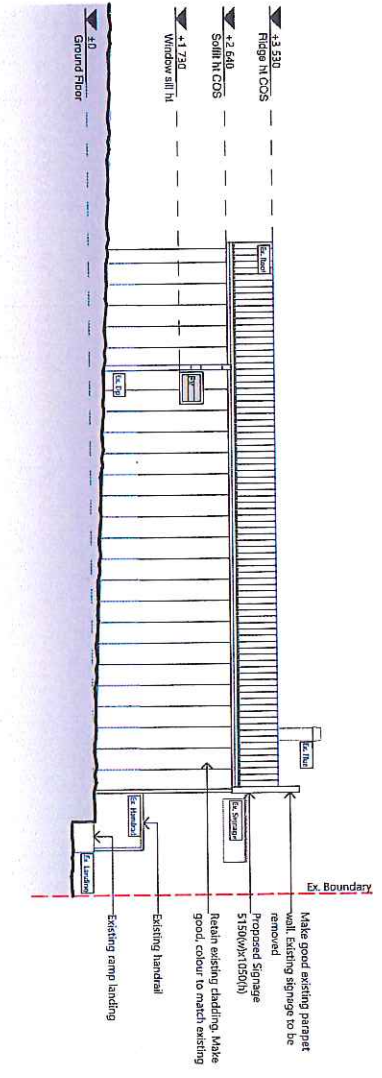


E02 ELEVATION  
1:100



E03 ELEVATION  
1:100

E04 ELEVATION  
1:100



E03 ELEVATION  
1:100

Project Name  
Proposed Laundromat

Proposed Elevations

**MGA design**  
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V1 info@mgadesign.com.au  
P1 081 652 6222  
Accreditation No. | CC5428 T

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Fabric, fixtures and fittings:  
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Stage	Rev	Description	Date
DA	01	Issue for Development Application	12/02/2018

Project No. | 1777  
Project Address | 121 High St Campbell Town Tas 7210  
Client | Debbie Thomas  
Property ID | 302327  
Title Reference | 161145/1  
SC | SC

Status | DA  
Print date | Tuesday, 13 February 2018  
Original size | A3  
Drawing No./Stage/Revision | A07-DA01

A07-DA01

**Commercial Project Delivery** ABN 51 921 459 008

PO Box 210 Newstead 7250

1/47A Brisbane Street, Launceston, 7250

T: 0408 397 393 E: [chloe@cpdelivery.com.au](mailto:chloe@cpdelivery.com.au)

**Document Status**

Author: Chloe Lyne

Version: 1

Date: 13.2.18

# **NORTHERN MIDLANDS INTERIM PLANNING SCHEME 2013**

## **INSTRUMENT OF CERTIFICATION**

The Northern Midlands Council resolved at its meeting of **19-Mar-2018** to certify that:

- Draft Amendment 01/2018 of *Northern Midlands Interim Planning Scheme 2013* to rezone the land at 121 High Street, CAMPBELL TOWN from *General Residential* to *General Business* and
- Allow the land at 121 High Street Campbell Town to be used and developed for General Retail and Hire (laundromat) including signage,

meets the requirements specified in section 32 of the *Land Use Planning and Approvals Act 1993*.

The **COMMON SEAL** of the )  
Northern Midlands Council is )  
affixed hereto, pursuant to the )  
Council's resolution of )  
**19-Mar-2018** in the presence of: )

.....  
Mayor

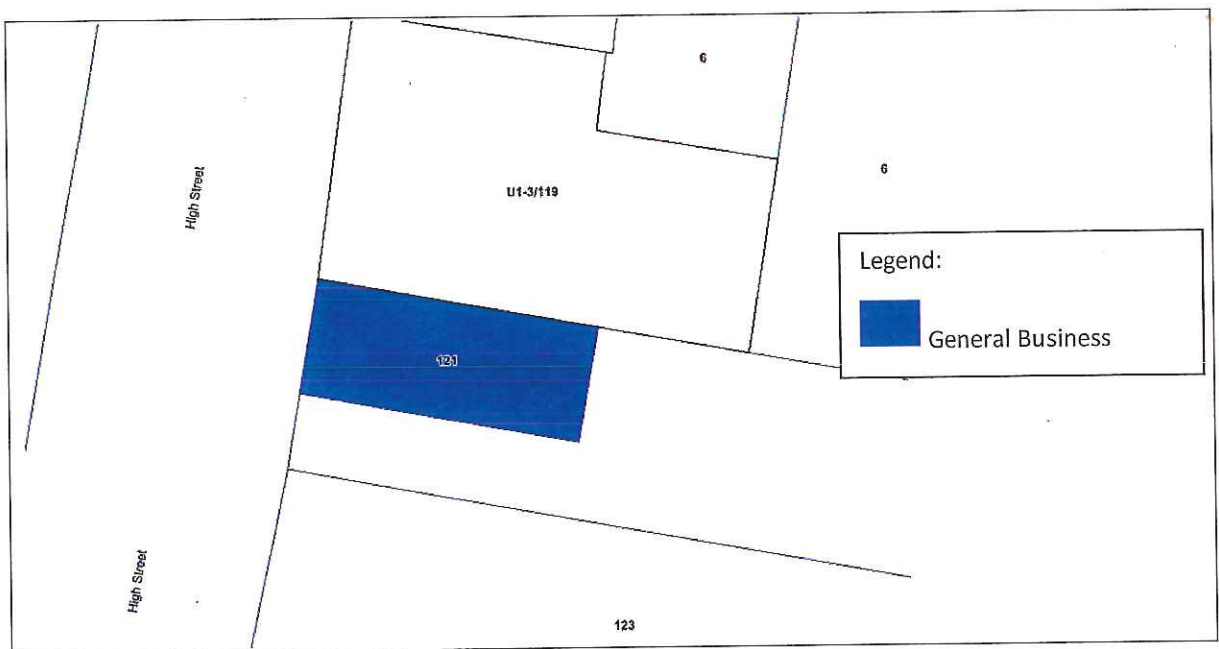
.....  
General Manager



# NORTHERN MIDLANDS INTERIM PLANNING SCHEME 2013

## AMENDMENT 01/2018

rezone the land at 121 High Street, CAMPBELL TOWN  
from *General Residential* to *General Business* and allow the land at 121 High Street Campbell  
Town to be used and developed for General Retail and Hire (laundromat) including signage



The **COMMON SEAL** of the )  
Northern Midlands Council is )  
hereunto affixed, pursuant to the )  
Council's resolution of )  
**19-Mar-2018** in the presence of: )

.....  
Mayor

.....  
General Manager

**Northern Midlands Interim  
Planning Scheme 2013**



**NORTHERN  
MIDLANDS  
COUNCIL**

**Planning Permit P18-034**

In accordance with Division 2 of the *Land Use and Planning Approvals Act 1993*, the Northern Midlands Council (Planning Authority) hereby grants a permit for –

**ADDRESS OF LAND:**

121 HIGH STREET, CAMPBELL TOWN

P/N: 302301.04 psa140  
CT 161145/1

**THIS PERMIT ALLOWS FOR:**

- A. The land at 121 High Street, CAMPBELL TOWN (CT 161145/1), to be developed and used for General Retail and Hire (laundromat) including signage (heritage precinct) (vary bicycle parking provisions), in accordance with application P18-034, and subject to the following conditions:

**1 Layout not altered**

The use and development must be in accordance with the endorsed plans:

- P1** Location Plan, A01-DA03, Rev 03, 6/03/2018
- P2** Site Plan, A02-DA03, Rev 03, 6/03/2018
- P3** Existing Ground Floor Plan, A03-DA03
- P4** Ground Floor Demolition Plan, A04-DA02, Rev 02, 12/02/2018
- P5** Ground Floor Plan, A05-DA03
- P6** Existing Elevations, A06-DA01, Rev 01, 12/02/2018
- P7** Proposed Elevations, A07-DA01, Rev 01, 12/02/2018

**2 Amended Plans Required**

Before the use commences, amended plans must be submitted. When approved, the plans will be endorsed and will then form part of the permit. The plans shall be drawn to scale with dimensions show:

- 1 taxi space;
- 1 motorbike space.

**3 Parking**

Before the use commences, the parking spaces must be line marked or provided with other clear physical means to delineate each space.

**4 Fence**

Before the use commences, a solid fence must be constructed for the length of the eastern boundary to a height of at least 1.8m

**5 Hours of operation**

The use must operate only between the hours of 7 am and 8 pm daily.

**6 Signage**

- The sign must not contain any flashing light
- The sign must not be illuminated by internal or external lights without further approval

**7 Noise**

Noise levels at the boundary of the site with any adjoining land must not exceed:

- 50dB(A) day time; and
- 40dB(A) night time; and

**8 Lighting**

Outdoor lighting must be designed, baffled and located to prevent any adverse effect on adjoining land.



DES JENNINGS  
**GENERAL MANAGER**

Date of Decision:

Date of Permit:

***THIS IS NOT A BUILDING PERMIT***

---

Notes:

- A This permit lapses after a period of two years from the date of granting of this permit if the use or development has not substantially commenced within that period.
- B The issue of this planning permit does not certify compliance with the *Building Code of Australia*, the *Disability Discrimination Act 1992* or any other applicable legislation.



# Proposed Laundromat Alteration

## 121 High St Campbell Town Tas 7210

### Client: Debbie Thomas

#### Project details

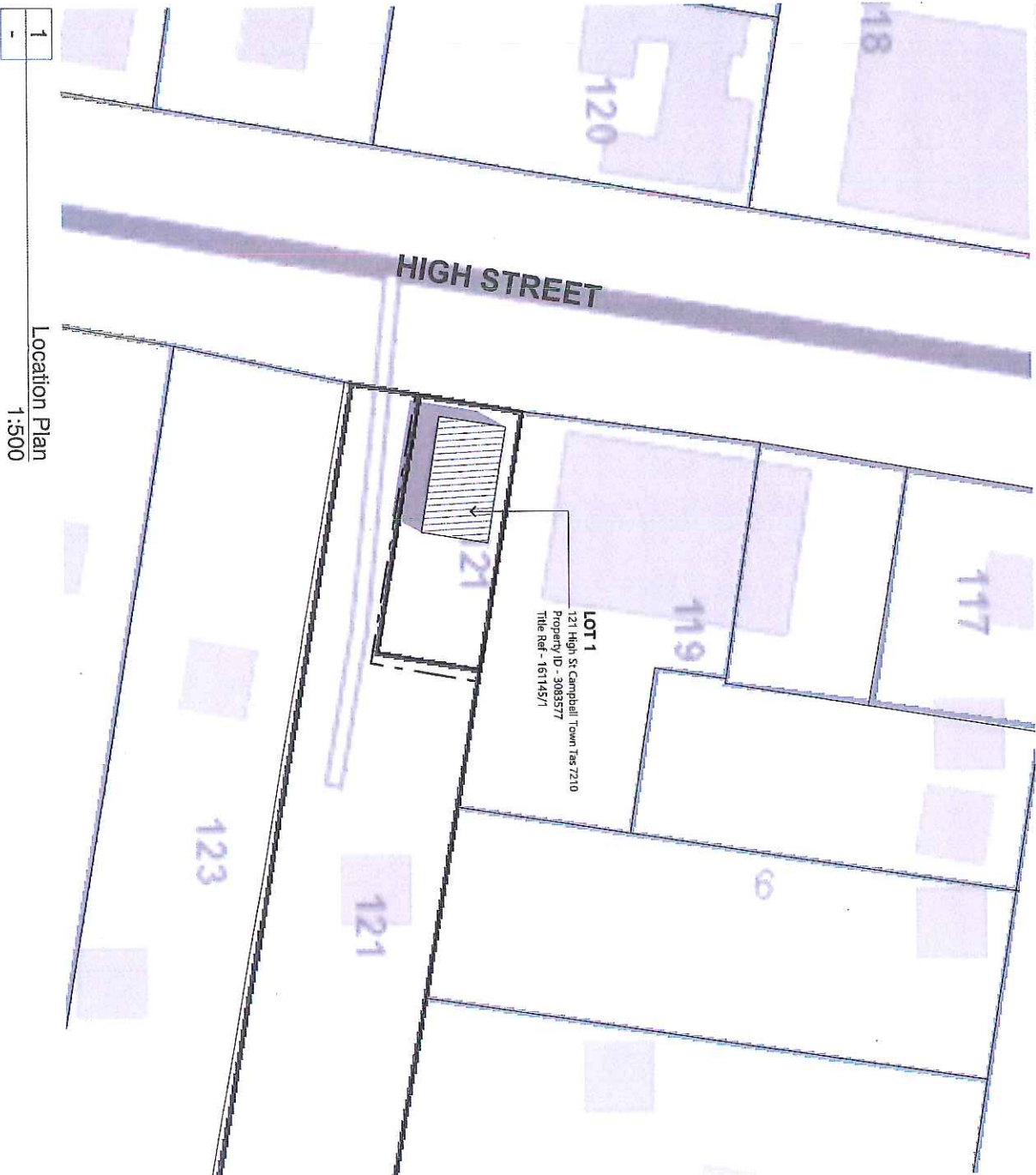
Council	Northern Midlands Council
Zone	10.0 General Residential
Planning Overlay	10.1 HER Heritage Precincts
PID	10.1 URB Urban Growth Boundary
PID	3083577
Title No	161145
Title Volume	7
Climate Zone	TBA
Design Wind Speed	N/A
Soil Class	TBA
BAL Rating	TBA
Energy Rating	TBA
Corrosive Environment	Low
Other	

#### Area Schedule

Name	Area m <sup>2</sup>	Area sq
Site Area	366.0m <sup>2</sup>	39.4sq
Ex Building Area	50.2m <sup>2</sup>	5.4sq

#### Architectural

A01	Location Plan
A02	Site Plan
A03	Existing Ground Floor Plan
A04	Ground Floor Demolition Plan
A05	Ground Floor Plan
A06	Existing Elevations
A07	Proposed Elevations



Location Plan  
1:500

**MGA design**  
 A11 Princes St Launceston | Tas 7290  
 W | info@mga-design.com.au  
 P | 0318192018  
 Accreditation No. | CCS/28 T

**General Notes:**  
 All buildings, works to comply with National Construction Code - Building Code of Australia, Australian Standards, Building Acts & Regulations and Council bylaws. Refer to architectural drawings for notes.  
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 A land surveyor is recommended for all set-out.  
 The designer is to be notified of any discrepancies with the drawings.

Rev	Description	Date
01	Issued for Client Review and Comment	12/02/2018
02	Issue for Client Comment Application	12/02/2018
03	Issue for DA, Car Parking & Signatures/ Revised	02/03/2018

Project Name  
**Proposed Laundromat**

Project No.	1777
Project Address	121 High St Campbell Town Tas 7210
Client	Debbie Thomas
Property ID	3083577
Title Reference	161145/1
Drawn	SC
e-file	

#### Location Plan

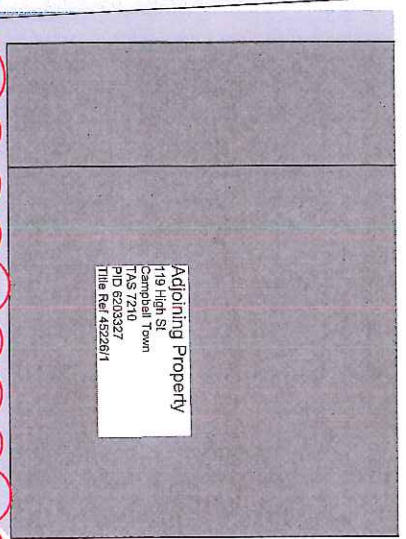
Status	DA
Print date	Tuesday, 6 March 2018
Original size	A3
Drawing	N/Sigler/Revision
Project No.	A01-DA03



HIGH STREET  
-227

1  
-

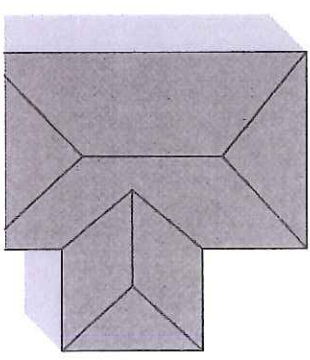
Existing Site Plan  
1:200



Adjoining Property  
119 High St  
Campbell Town  
TAS 7210  
PID 6203827  
Title Ref 45228/1

Adjacent Property  
123 High St  
Campbell Town  
TAS 7210  
PID 7234850  
Title Ref 16202/2

Adjoining Property  
121A High St  
Campbell Town  
TAS 7210  
PID 3063565  
Title Ref 161145/2



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P | 0418192018  
Accreditation No. | CCS428 T

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**General Notes:**

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Use figured dimensions in preference to scaled dimensions.  
The Building Contractor shall be responsible for the correct set-out of the building on site.  
The Building Contractor to site check dimensions and locations of all items on site prior to end during the works.  
Locations of structure, fittings and services on this drawing are indicative.  
Building Contractor to check drawings for co-ordination between services, ducts, fittings and services on this drawing.  
The designer is not responsible for any discrepancies with the drawings.

**Legend Notes**

- This drawing should be strictly read in conjunction with civil & hydraulic engineers drawings.
- ±0.000 Existing level
- ±0.000 New levels, RL Reduced Level

**Soil & Water Management Strategies**

Dormitories to be connected into water tank as soon as the roof is installed.  
Install AG drain prior to building construction. Refer to Ground Floor Drainage Plan for location.  
Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install concrete kerbs and curbs to be installed on the street of the driveway once completed, to prevent transferring debris onto Example Street.  
1000 AG drain with filter sock behind landscape retaining wall, installed prior to building construction. Min. 1 in 300 uniform fall.

**Protection Work (Section 121 of the Building Act)**

If excavation is to a level below that of the adjoining owner's footings, along the site boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to support the excavation, opposing owner's footings and maintain a guard to support the excavation (Section 121(4) of the Building Act).

**Site Plan Legend**

Symbol	Description
[Hatched Box]	New buildings / structures & covered ways / Typ. roofed areas.
[Dotted Box]	Issue for Client review and comment
[Dotted Box]	Issue for Development Application
[Dotted Box]	Issue for DA - Car Parking & Boundary Fencing
[Dotted Box]	Stage Rev Description

**Project Name**  
Proposed Laundromat

Project No.	1777
Project Address	121 High St Campbell Town Tas
Client	Dooble Thomas
Property ID	3063577
Title Reference	161145/1
Drawn	SIC
Scale	1:200

**Site Plan**

Status: DA  
Print date: Tuesday, 6 March 2018  
Original size: A3  
Drawing: N=Stage/Revision  
A02-DA03  
P2

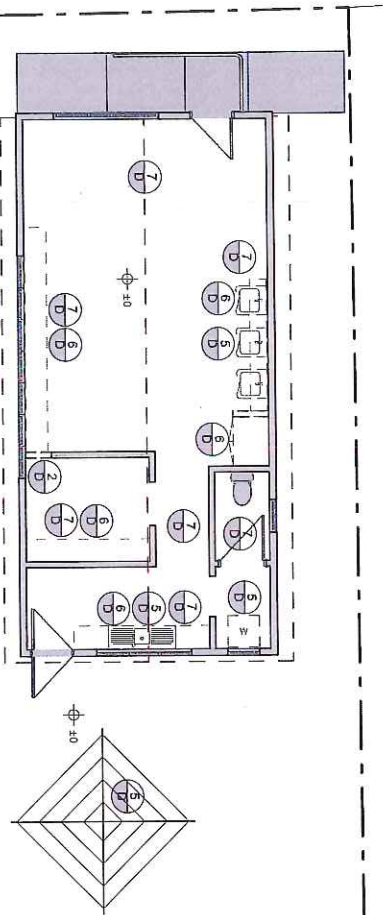






1

Ground Floor Demolition Plan  
1:100



Demolition Legend

Site Demolition Notes

General note:  
Drawing shall be read in conjunction with specifications, mechanical & electrical drawings.  
Demolition: Engineer's documents for all affected works details, including connection and  
disconnection of power to existing remaining buildings & demolished buildings.  
Punching:  
All pipe capping shall be documented on as constructed documentation at conclusion of  
works.  
All remaining services to be removed and capped off at Site connection point where required.  
Services shall be documented for records.  
Over, Allowance given to remove all demolished items from site therefore allowing for carriage,  
transport and disposal fees. Contractor should recycle all demolished items where possible &  
provide further evidence of recycling with their tender submission of what items will be  
recycled, where they will be recycled and how they will be reused. Items may be weighed  
on the contractor's tally to cover this criteria.

Schedule of Demolition Categories:

- 1 - Wall - Demolish & remove existing wall including framing, linings, sittings, 'trims  
& the like to the extent shown dashed. Allow to be removed in preparation for new works  
mechanical, electrical, hydraulic etc. connections, cap & seal below behind  
finished surface level. Make good as required.
- 2 - Part Wall - Demolish & remove part existing wall including framing, linings,  
sittings, trims & the like to the extent shown dotted to form new opening. Allow to  
make good to all adjacent surfaces as required to suit new works. Allow to  
disconnect all redundant mechanical, electrical, hydraulic etc. connections, cap &  
seal below behind finished surface level. Make good as required.
- 3 - Doors - Demolish & remove or relocate existing door including frames, reveals,  
hardware, locks, hinges & the like. Allow to make good to all adjacent affected  
surfaces as required in preparation for new works.
- 4 - Windows, glazing & the like. Allow to make good to all adjacent affected  
surfaces as required in preparation for new works.
- 5 - Frames & Fittings - Demolish & remove existing frame & fittings shown solid.  
Allow to cap & seal all service connections below/ behind finished surface level.  
Allow to patch, repair & ensure smooth & level finish in preparation for new works
- 6 - Joinery - Demolish & remove existing joinery/joint including drawers, cupboards,  
cabinets, benches, splashback & the like shown dotted. Allow to cap & seal all  
associated service connections below/ behind finished surface level. Allow to  
patch, repair & ensure smooth & level finish in preparation for new works.
- 7 - Floor Finishes - Demolish & remove existing floor finish throughout back to  
existing structure below. Contractor shall ensure smooth & level finish as required  
for installation of new floor finishes.

Demolition Legend

The contractor shall carry out the required demolition of the existing building contained on  
this plan in strict accordance with the documentation & AS2201 - the demolition of structures.  
Demolition works shall be undertaken in a safe & environmentally acceptable manner.  
Contractor shall make all allowances as required for demolition, removals & relocations to  
suit new works. All items to be demolished shown dashed. Floors & into walls as  
required.

Remove & disconnect all redundant mechanical, electrical, hydraulic services & the like as  
indicated on this plan. Allow to be removed in preparation for new works. Make good to all  
penetrations where items removed. Infill shall match existing surface. Existing floor coverings  
to be removed in locations nominated. Contractor to ensure all layers removed back to  
original structure. Ensure existing structure is clean & ready for new works. Make good to  
existing structure to be demolished. Make good to existing structure to be demolished.  
Existing slab/ structure to ensure smooth, flat & level surface in preparation for new works.  
Any equipment to be demolished or removed during works shall be repaired or replaced for  
reuse. All equipment to be removed during works shall be documented for reuse and stored  
underwritten in conjunction with all consultant documentation. All salvaged items are to be  
stored ready for re-use or for client's future instruction.

- Part of Wall to be Demolished & Replaced
- Demolish & remove existing wall (or section of) to extent shown dotted. Allow to  
make good to all adjacent surfaces as required to suit new works. Allow to  
disconnect all redundant mechanical, electrical, hydraulic etc. connections, cap &  
seal below behind finished surface level. Make good as required for new works.
- Existing Wall Relocated
- Retain existing wall. Allow to make good to all existing hinges as required for  
new works, allow to re-sit/figure services within as required.
- Open to be Demolished or Relocated
- Demolish & remove or relocate existing door, frame & all other associated  
hardware including locks, hinges, stops & catches. Make good to opening in  
preparation for new works.
- Open to be Relocated
- Retain, protect & make good to existing door. Ensure all hardware is in good  
working order as required to suit new works.
- Window to be Relocated
- Demolish & remove existing window, frame furnishings & glazing. Make good to  
existing opening as required to suit new works.
- Window to be Relocated
- Demolish & remove existing window, frame furnishings & glazing. Make good to  
existing opening as required to suit new works.

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and Council bylaws. Refer to architectural drawings for notes.  
All drawings shall be read in conjunction with the engineering drawings  
and specifications.  
Use figured dimensions in preference to scaled dimensions.  
The Building Contractor shall be responsible for the correct set-out of  
the building. Contractor to site check dimensions and locations of all items  
on site prior to and during the works.  
Locations of structure, fittings, and services on this drawing are  
indicative. Contractor to check drawings for co-ordination between  
building, structure, fittings, and services and fill in for all set-out.  
A third surveyor is recommended for all set-out.  
The designer is to be notified of any discrepancies with the drawings.

SR	01	Issued for Client review and comment	13/02/2018
SR	02	Issued for Developer's Application	12/01/2018
SR	03	Stage Rev Description	8
		Date	

Proposed Laundromat

Project No.	1777
Project Address	121 High St Campbell Town Tas
Project ID	7210
Client	Dashie Thomas
Property ID	3083577
Tiles Reference	161174591
Drawn	DA
Scale	1:100
Revision	1

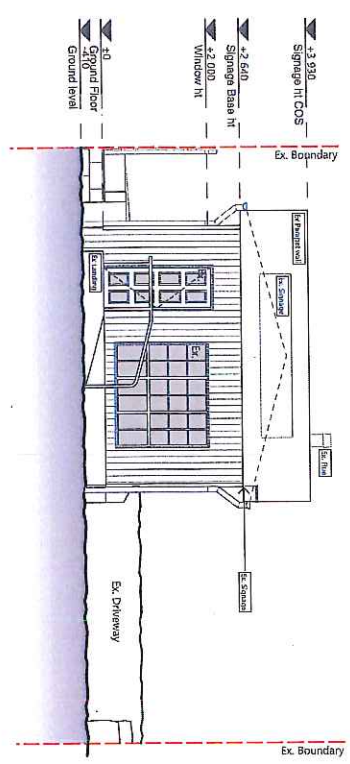
Ground Floor Demolition Plan

Status | DA  
Print date | Tuesday, 13 February 2018  
Original size | A3  
Drawing N° | Stage/Revision  
**A04-DA02**

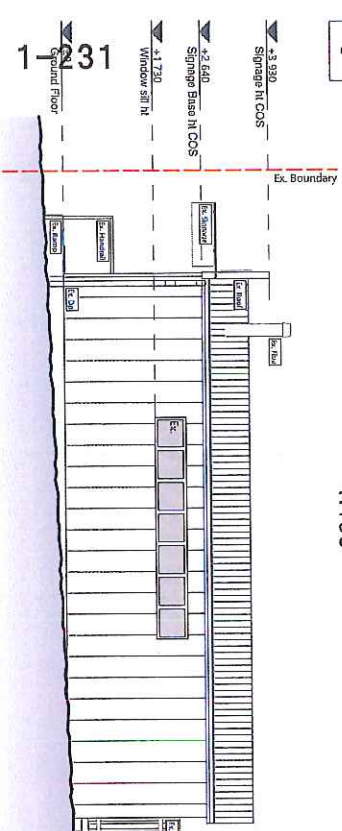




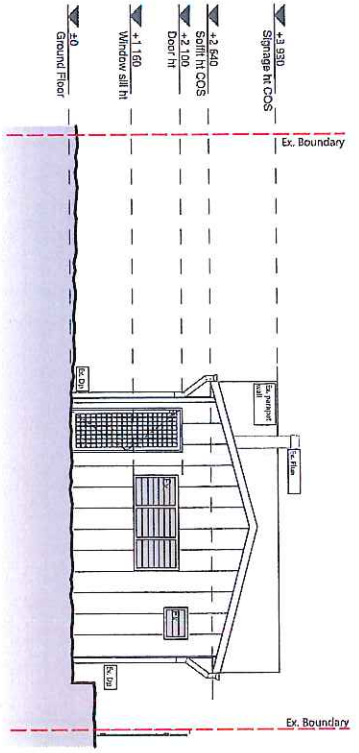




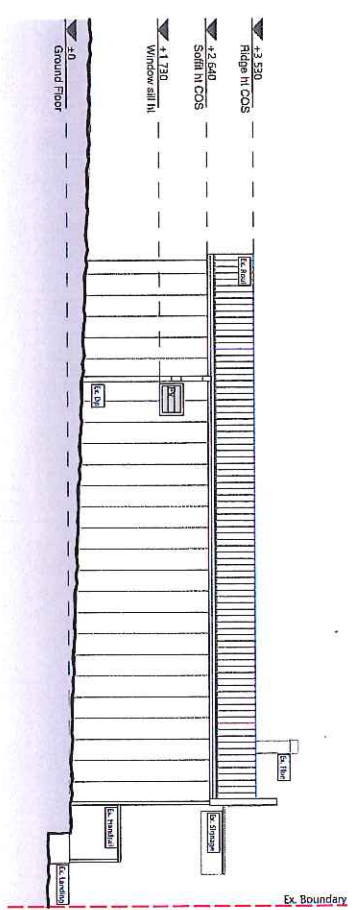
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-  
E01 ELEVATION  
1:100



2  
-  
E02 ELEVATION  
1:100



3  
-  
E04 ELEVATION  
1:100



4  
-  
E03 ELEVATION  
1:100



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Use figured dimensions in preference to scaled dimensions.  
The Building Contractor shall be responsible for the correct set-out of Building Contractor to site check dimensions and locations of all items on site prior to and during the works.  
Locations of structure, fittings, and services on this drawing are indicative.  
Building Contractor to check drawings for co-ordination between all trades.  
Allied surveyor is recommended for all set-outs.  
The designer is to be notified of any discrepancies with the drawings.

Ux	Uy	Uz	Uv	Uw	Ux	Uy	Uz	Uv	Uw
1	1	1	1	1	1	1	1	1	1

**Proposed Name**  
Laundromat

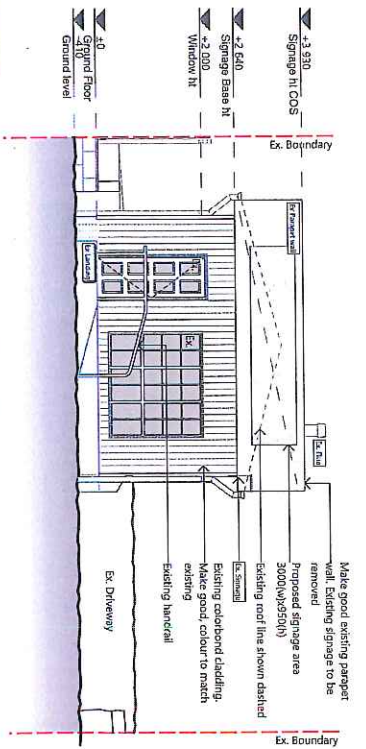
**Project No.** 1777  
**Project Address** 121 High St Campbell Town Tas 7210  
**Client** Daphne Thomas  
**Property ID** 3382577  
**Title Reference** 1011451  
**DRAWN** SJC  
**DATE** 13/02/2018

**Existing Elevations**

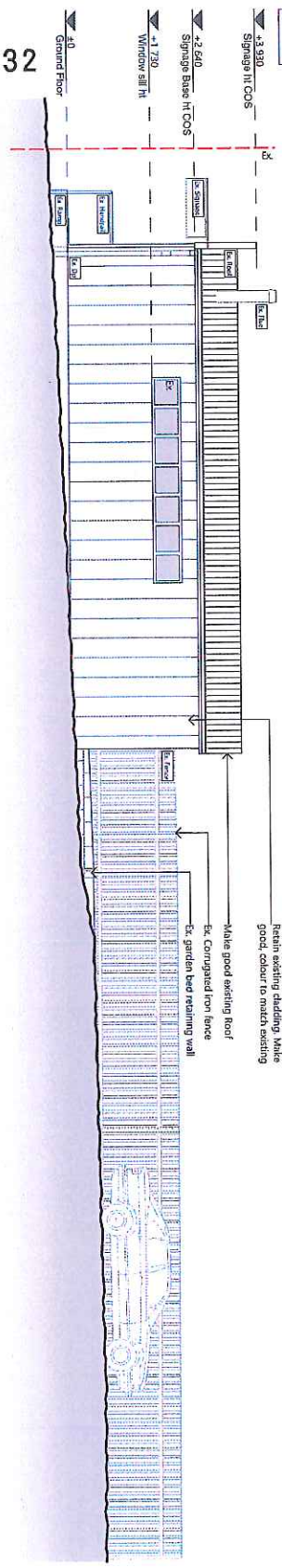
Status | DA  
Print date | Tuesday, 13 February 2018  
Original size | A3  
Drawing No./Stage/Revision  
A06-DA01

PL

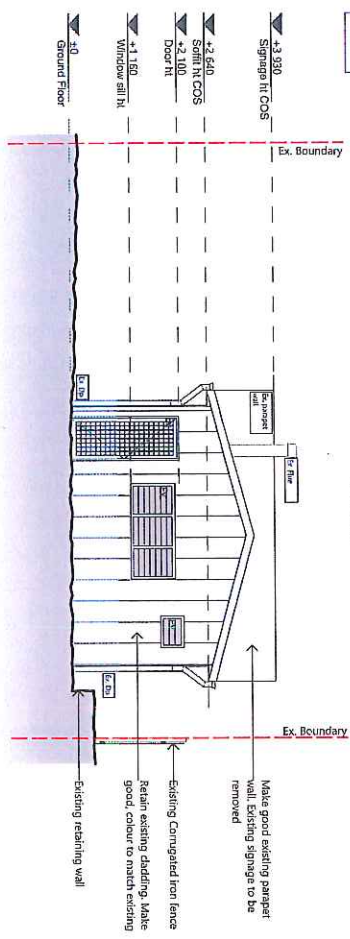




E01 ELEVATION  
1:100



E02 ELEVATION  
1:100



E03 ELEVATION  
1:100

E04 ELEVATION  
1:100

E05 ELEVATION  
1:100



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 All drawings shall be read in conjunction with the engineering drawings and specifications.  
 All dimensions are in millimeters unless otherwise stated.  
 The Building Contractor shall be responsible for the correct removal of all works prior to and during the works.  
 Location of structure, alloys, and services on the drawing are indicative.  
 Building Contractor to check drawings for co-ordination between structure, building and services.  
 All dimensions are in millimeters unless otherwise stated.  
 The designer is to be notified of any discrepancies with the drawings.

DA	01	Issue for Development Application	12/02/2018
Stage Rev		Description	Date

Project Name  
**Proposed Laundromat**

Proposed Elevations

Project No. | 1777  
 Project Address | 121 High St Campbell Town Tas 7210  
 Client | Debbie Thomas  
 Property ID | 3028577  
 Title Reference | 161145/1  
 Drawn | SC  
 e-file

Status | 1 DA  
 Print date | Thursday, 13 February 2018  
 Original | Tas AS  
 Drawing No. | Stage/Revision  
**A07-DA01**