

NORTHERN MIDLANDS INTERIM PLANNING SCHEME 2013

INSTRUMENT OF CERTIFICATION

The Northern Midlands Council resolved at its meeting of **19-Mar-2018** to certify that:

- Draft Amendment 01/2018 of *Northern Midlands Interim Planning Scheme 2013* to rezone the land at 121 High Street, CAMPBELL TOWN from *General Residential* to *General Business* and
- Allow the land at 121 High Street Campbell Town to be used and developed for General Retail and Hire (laundromat) including signage,

meets the requirements specified in section 32 of the *Land Use Planning and Approvals Act 1993*.

The **COMMON SEAL** of the)
 Northern Midlands Council is)
 affixed hereto, pursuant to the)
 Council's resolution of)
19-Mar-2018 in the presence of:)



D J Downie

.....
 Mayor

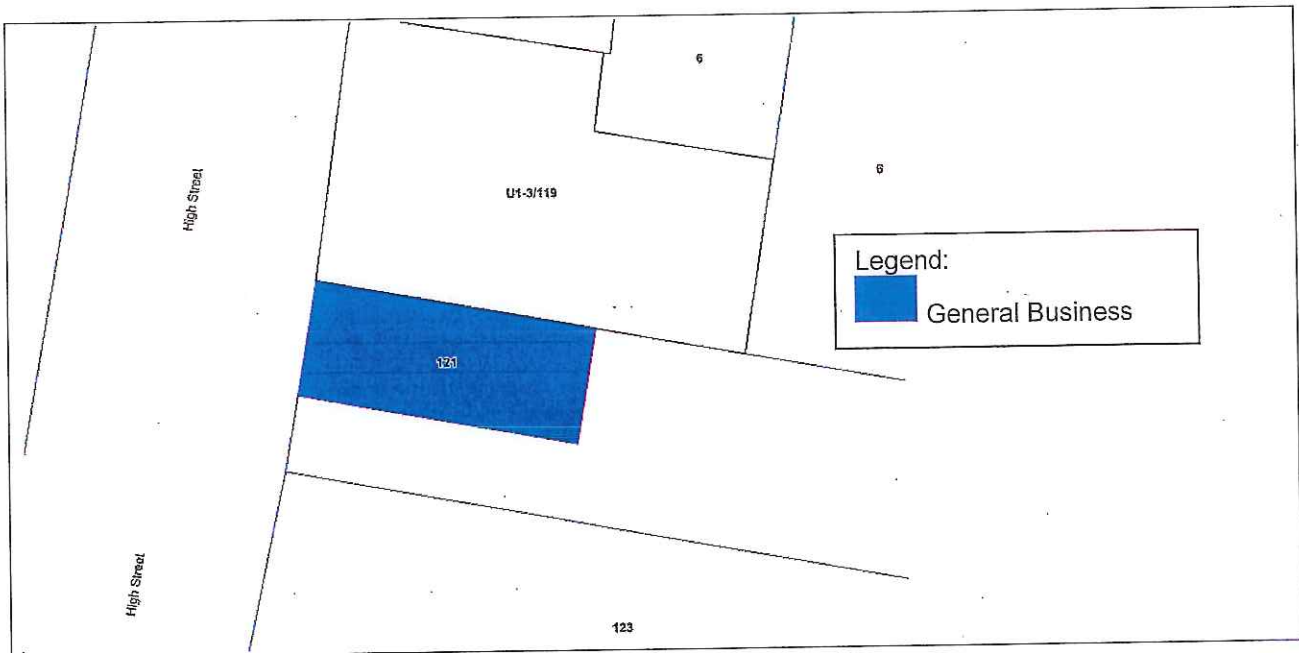
[Signature]

.....
 General Manager

NORTHERN MIDLANDS INTERIM PLANNING SCHEME 2013

AMENDMENT 01/2018

rezone the land at 121 High Street, CAMPBELL TOWN
from *General Residential* to *General Business* and allow the land at 121 High Street Campbell Town to be
used and developed for General Retail and Hire (laundromat) including signage



The **COMMON SEAL** of the)
Northern Midlands Council is)
hereunto affixed, pursuant to the)
Council's resolution of)
19-Mar-2018 in the presence of:)



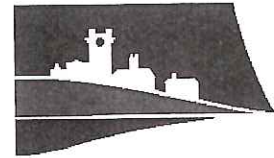
D J Downe

.....
Mayor

[Signature]

.....
General Manager

**Northern Midlands Interim
Planning Scheme 2013**



**NORTHERN
MIDLANDS
COUNCIL**

Planning Permit P18-034

In accordance with Division 2 of the *Land Use and Planning Approvals Act 1993*, the Northern Midlands Council (Planning Authority) hereby grants a permit for –

ADDRESS OF LAND:

121 HIGH STREET, CAMPBELL TOWN

P/N: 302301.04 psa140
CT 161145/1

THIS PERMIT ALLOWS FOR:

- A. The land at 121 High Street, CAMPBELL TOWN (CT 161145/1), to be developed and used for General Retail and Hire (laundromat) including signage (heritage precinct) (vary bicycle parking provisions), in accordance with application P18-034, and subject to the following conditions:

1 Layout not altered

The use and development must be in accordance with the endorsed plans:

- P1** Location Plan, A01-DA03, Rev 03, 6/03/2018
- P2** Site Plan, A02-DA03, Rev 03, 6/03/2018
- P3** Existing Ground Floor Plan, A03-DA03
- P4** Ground Floor Demolition Plan, A04-DA02, Rev 02, 12/02/2018
- P5** Ground Floor Plan, A05-DA03
- P6** Existing Elevations, A06-DA01, Rev 01, 12/02/2018
- P7** Proposed Elevations, A07-DA01, Rev 01, 12/02/2018

2 Amended Plans Required

Before the use commences, amended plans must be submitted. When approved, the plans will be endorsed and will then form part of the permit. The plans shall be drawn to scale with dimensions show:

- 1 taxi space;
- 1 motorbike space.

3 Parking

Before the use commences, the parking spaces must be line marked or provided with other clear physical means to delineate each space.

4 Fence

Before the use commences, a solid fence must be constructed for the length of the eastern boundary to a height of at least 1.8m

5 Hours of operation

The use must operate only between the hours of 7 am and 8 pm daily.

6 Signage

- The sign must not contain any flashing light
- The sign must not be illuminated by internal or external lights without further approval

A handwritten signature in black ink, appearing to be a stylized name.

7 Noise

Noise levels at the boundary of the site with any adjoining land must not exceed:

- 50dB(A) day time; and
- 40dB(A) night time; and

8 Lighting

Outdoor lighting must be designed, baffled and located to prevent any adverse effect on adjoining land.



DES JENNINGS

GENERAL MANAGER

Date of Decision: 19-Mar-2018

Date of Permit:

THIS IS NOT A BUILDING PERMIT

Notes:

- A This permit has no force or effect until such time as the associated Planning Scheme Amendment is approved by the Tasmanian Planning Commission.
- B Attention is directed to Section 39 of the Land Use Planning and Approvals Act 1993: "... representations in relation to that draft amendment may be submitted to the authority by any person before the expiration of the exhibition period referred to in section 38(1)(a) ... 28 days (or a longer period agreed to by the planning authority and the Commission) from the date, specified in the notice, on which the public exhibition of those documents is to begin." (The authority is the Northern Midlands Council.)

Proposed Laundromat Alteration

121 High St Campbell Town Tas 7210

Client: Debbie Thomas

NORTHERN MIDLANDS COUNCIL

This document forms part of
 Planning Permit P18-034
 Issued on 19-Mar-2018
 (P1-P7)



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 All 1777, 121 High St, Campbell Town Tas 7210
 P1 08 657020719
 P1 08 657020719
 Accreditation No. 1005420 T

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General Notes:

All building works to comply with National Construction Code - Building Code of Australia, Australian Standards, Building Act & Regulations. All drawings shall be read in conjunction with the engineering, quantity and specifications. The Division Controller is preferred to signed documents. The Division Controller shall be responsible for the correct receipt of Building Contractor to site check, dimensions, and locations of all items on site prior to and during the work. Locations of structural, ducts, and services on site showing are indicated. Contractor to check drawings for specification, extension, variation, some issues are flagged. A land survey is recommended for all extents. The designer is to be notified of any discrepancies with the drawings.

Project details

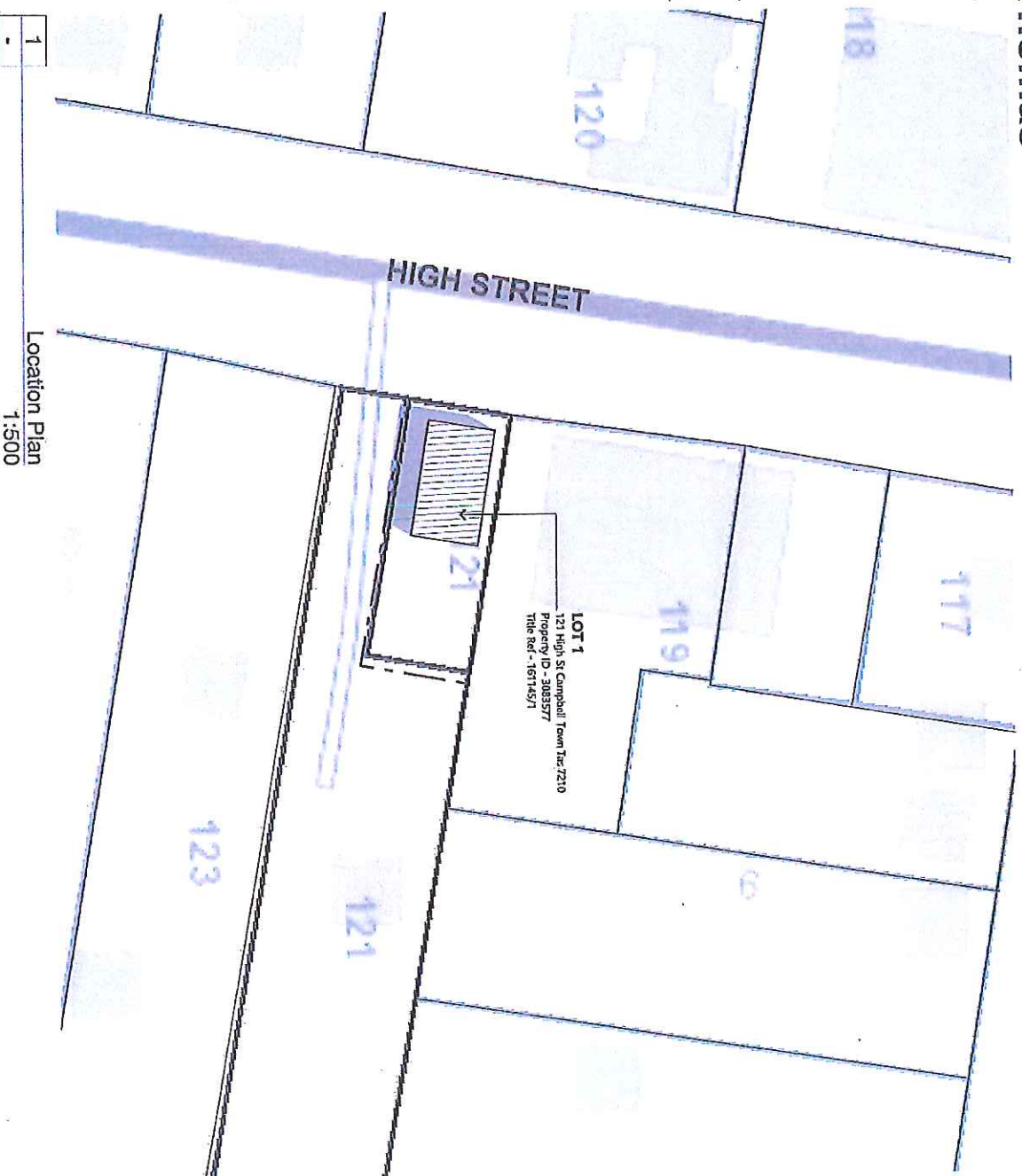
Council	Northern Midlands Council
Zone	100 General Residential
Planning Overlay	101 HSR Heritage Precincts
	101 HSR Urban Growth Boundary
PID	3083577
Title Volume	1
101145	101145
Climate Zone	7
Design Wind Speed	TBA
Soil Class	N/A
BAL Rating	TBA
Energy Rating	TBA
Concave Environment	Low
Other	-

Area Schedule

Name	Area m ²	Area sq
Site Area	580.0m ²	580.0
Ex-Building Area	50.2m ²	54.9

Architectural

A01	Location Plan
A02	Site Plan
A03	Existing Ground Floor Plan
A04	Ground Floor Demolition Plan
A05	Ground Floor Plan
A06	Existing Elevations
A07	Proposed Elevations



1
 Location Plan
 1:500

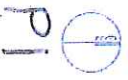
DA 01	Issue for Development Application	1/10/2016
DA 02	Issue for Development Application	10/10/2016
DA 03	Issue for Development Application	10/10/2016
DA 04	Issue for Development Application	10/10/2016
DA 05	Issue for Development Application	10/10/2016
DA 06	Issue for Development Application	10/10/2016
DA 07	Issue for Development Application	10/10/2016
DA 08	Issue for Development Application	10/10/2016
DA 09	Issue for Development Application	10/10/2016
DA 10	Issue for Development Application	10/10/2016

Project Name: Proposed Laundromat

Project No.	1777
Project Address	121 High St Campbell Town Tas 7210
Client	Debbie Thomas
Property ID	3083577
Title Reference	101145/1
Drawn	ST
Checked	ST

Location Plan

Scale: 1:500
 Plot date: Tuesday, 6 March 2018
 Original size: A3
 Drawing W: 280mm / Revision
 A01-DA03



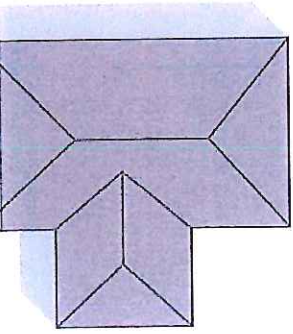
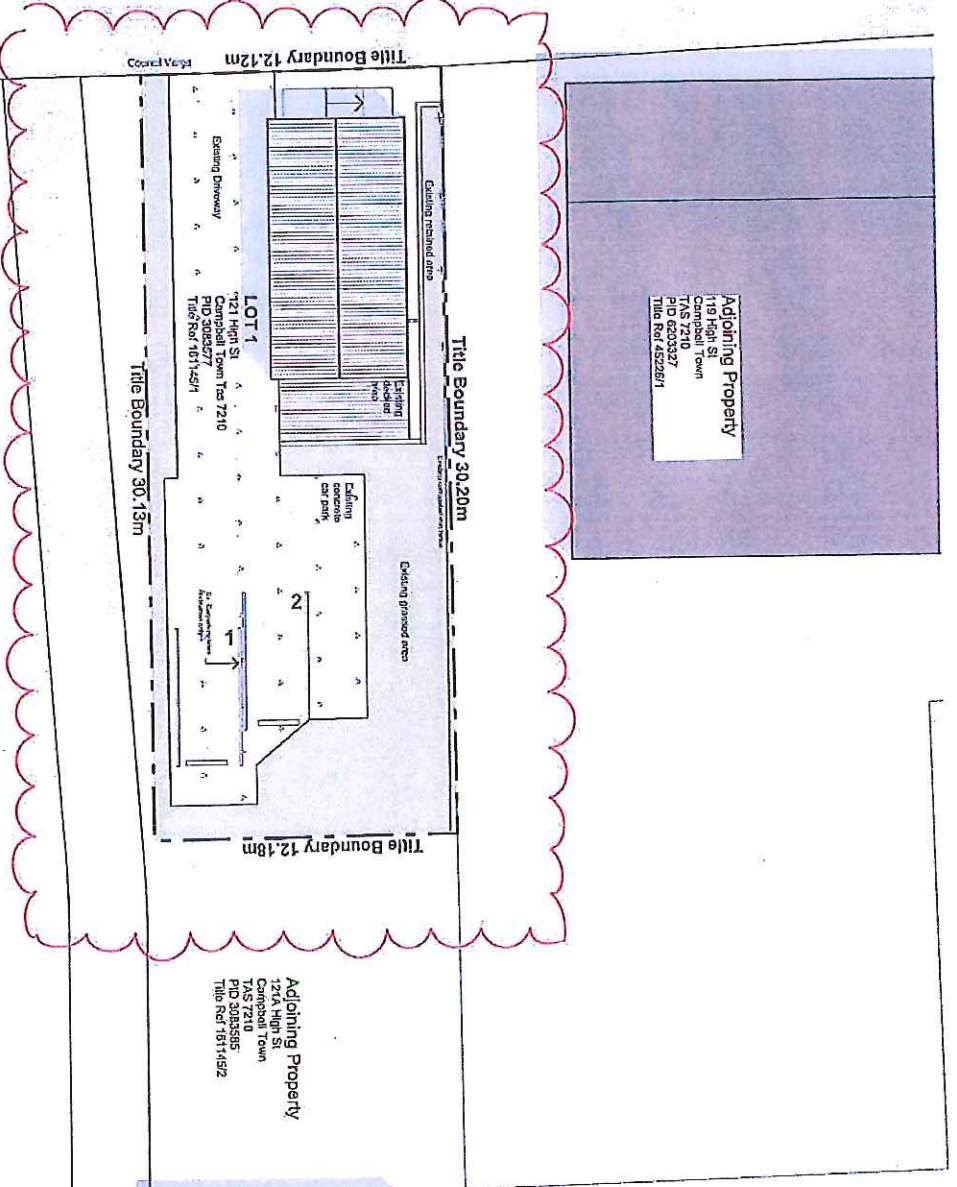
HIGH STREET

NORTHERN MIDLANDS COUNCIL
This document forms part of
Planning Permit P/18-034
Issued on 19-Mar-2018
(P1-P7)

Adjacent Property
126 High St
Campbell Town
TAS 7240
PID 7234950
Title Ref 1822802

Adjacent Property
1191 High St
Campbell Town
TAS 7210
PID 6203327
Title Ref 4525671

Adjacent Property
1214 High St
Campbell Town
TAS 7210
PID 3083585
Title Ref 18114572



1	-
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Existing Site Plan
1:200

MCA design
M11 Project 811 Laundermat, Title 7239
111 High Street, Campbell Town
P1181700013
Accreditation No. 12024292

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These drawings, plans, and specifications are the copyright property of the property of MCA and must not be used, reproduced or copied in any way without the prior written permission of MCA (P/N 02 550 504)

General Notes:
All building work to comply with the National Construction Code Building Code of Australia, Australian Standard, Building Code of Australia and Council of Australia. Refer to modifications order for the most up to date drawings. All drawings shall be read in conjunction with the project program and specifications.
The Engineer's Consent is not intended to be a contract or part of a contract.
Building Contractor to site direct supervision and location of all items on site prior to start of work.
The Engineer is not responsible for any errors on the drawings and in particular, the Contractor shall be responsible for the correct location of all items on site.
Building Contractor to check drawings for consistency between building, door, window and other details.
All work to be carried out in accordance with the Building Code of Australia.
The Engineer is not liable for any discrepancies with the drawings.

Legend Notes
This drawing should be studied in conjunction with the 1:500 scale project's drawings.
10000 Existing levels
10000 New Levels, RL Reduced Level

Soil & Water Management Strategies
Final AC data refer to testing excavation. Refer to Council Floor Change Permit for detailed ground level plan of AC data. Topsoil retained where building works are complete and laid in 50 mm thick for any low points. Final a surfaced base on the driveway side of residential driveway. Driveway area to be paved with concrete or bitumen. Driveway to be paved with concrete or bitumen. All AC data to be in accordance with Council Street, 1000 AC data with their rock wheel drainage involving with a minimum prior to paving commencement. Min. 1 in 200 on 100m lot.

Protection Work (Section 121 of the Building Act)
If excavation is to be above any part of the adjoining owner's building, upon the 100 boundary or within 2 metres of a building belonging to an adjacent owner, the builder must (on a minimum) provide and maintain a ground to adjacent owner in accordance with the Building Code of Australia 1:100 and Protection Work. Noted by the Building Surveyor.

Site Plan Legend

[Symbol]	Show Building Footprint & covered ways. Type red brick concrete.
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DA	1	1/15/2018	DA	1	1/15/2018
DA	2	1/15/2018	DA	2	1/15/2018
DA	3	1/15/2018	DA	3	1/15/2018
DA	4	1/15/2018	DA	4	1/15/2018
DA	5	1/15/2018	DA	5	1/15/2018
DA	6	1/15/2018	DA	6	1/15/2018
DA	7	1/15/2018	DA	7	1/15/2018
DA	8	1/15/2018	DA	8	1/15/2018
DA	9	1/15/2018	DA	9	1/15/2018
DA	10	1/15/2018	DA	10	1/15/2018
DA	11	1/15/2018	DA	11	1/15/2018
DA	12	1/15/2018	DA	12	1/15/2018
DA	13	1/15/2018	DA	13	1/15/2018
DA	14	1/15/2018	DA	14	1/15/2018
DA	15	1/15/2018	DA	15	1/15/2018
DA	16	1/15/2018	DA	16	1/15/2018
DA	17	1/15/2018	DA	17	1/15/2018
DA	18	1/15/2018	DA	18	1/15/2018
DA	19	1/15/2018	DA	19	1/15/2018
DA	20	1/15/2018	DA	20	1/15/2018

Proposed Laundermat

Project Name:
Proposed Laundermat

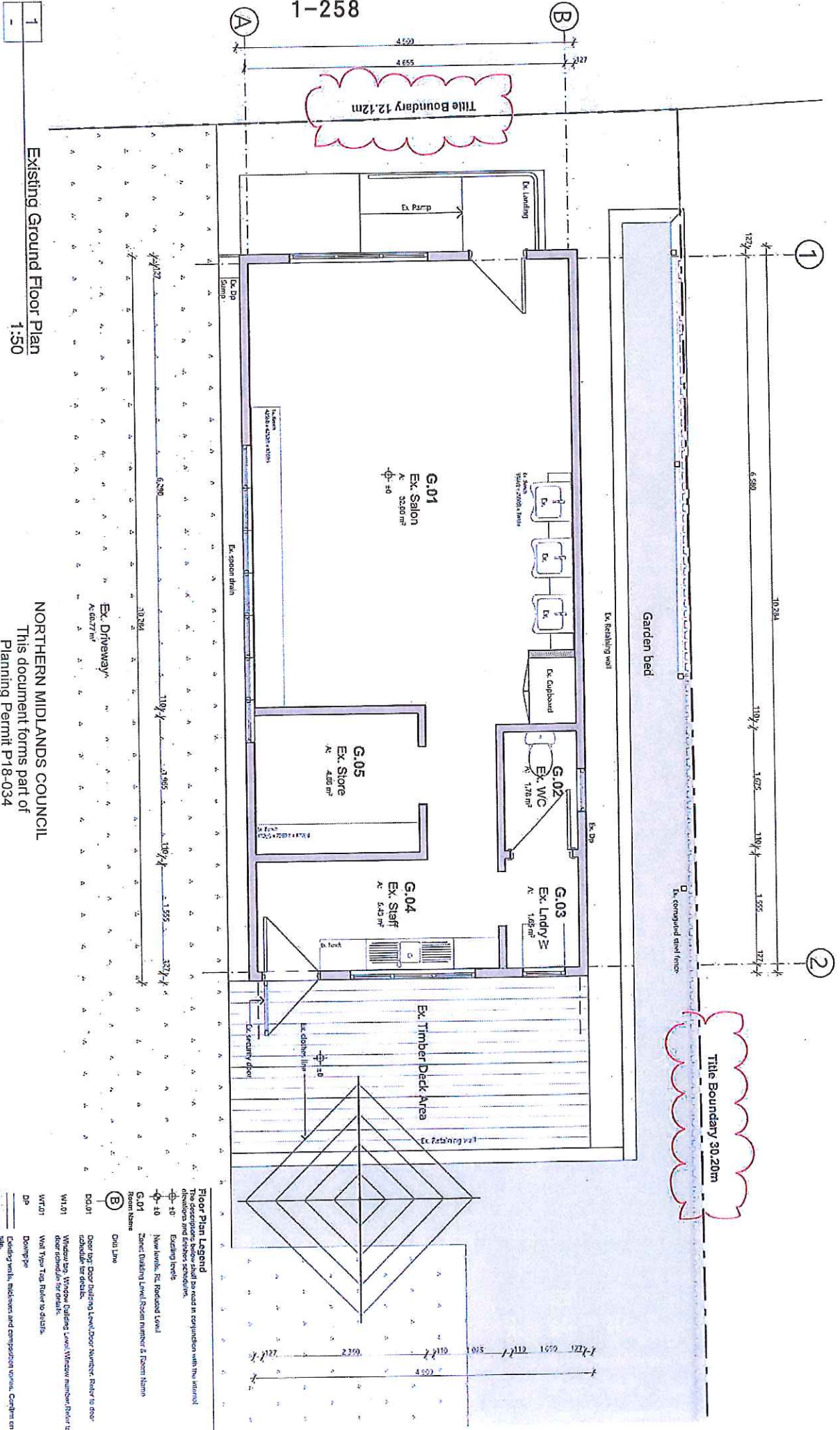
Project No.	1177
Project Address	117 High St Campbell Town Tas 7210
Client	Debbie Thomas
Property ID	3203577
Title Reference	18114571
Drafter	SC

Site Plan

Status	DA
Print date	Tuesday, 6 March 2018
Original scale	As
Drawing No	Revision

A02-DA03
P2

1-258



Existing Ground Floor Plan
1:50

MCA design
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P | 0418192416
Accreditation No. 1025426 T

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General Notes:
All building works to comply with: National Construction Codes - Building & Planning Codes of Australia, Australian Standards and Tasmanian Regulations. All drawings shall be read in conjunction with the engineering drawings and specifications.
Use figured dimensions in preference to scaled dimensions.
The Building Contractor shall be responsible for all aspects of all works on site prior to and during the works.
Locality of site, utility, and services on the drawing into indication. Building Contractor to check drawings for construction between situations. Above, surface and below.
The designer is to be notified of any discrepancies with the drawings.

NORTHERN MIDLANDS COUNCIL
This document forms part of
Planning Permit P18-034
Issued on 19-Mar-2018
(P1-P7)

Revis	Date	Description
01	19/03/2018	Issue for Design Review and Approval
02	19/03/2018	Issue for Design Review and Approval
03	19/03/2018	Issue for Design Review and Approval

Proposed Name
Proposed Laundromat

Project No.	1777
Project Address	121 High St Campbell Town Tas 7210
Client	Debbie Thomas
Propriety ID	3042577
Title Reference	10114261
Drawn	SSC
Checked	SSC

Existing Ground Floor Plan

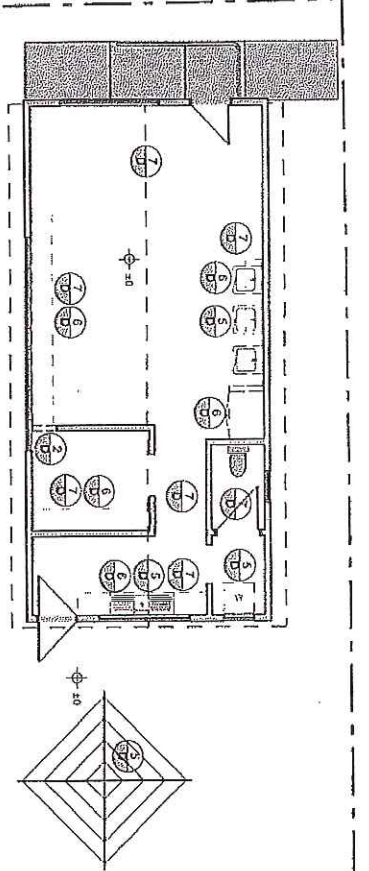
Floor Plan Legend
The descriptions below shall be read in conjunction with the internal elevations and finishes schedule.
- - - Existing levels
- - - New levels. R: Reduced Level

Room Name	Room Number	Room Name
G.01	Zone 1 Building Level/Room number & Room Name	
DP.01	Door Tag: Door Building Level/Door Number: Refer to door schedule for details	
W41.01	Window Tag: Window Building Level/Window Number: Refer to door schedule for details	
W41.01	Window Tag: Window Building Level/Window Number: Refer to door schedule for details	
W41.01	Window Tag: Window Building Level/Window Number: Refer to door schedule for details	
DP	Door Tag: Door Building Level/Door Number: Refer to door schedule for details	
DP	Door Tag: Door Building Level/Door Number: Refer to door schedule for details	
DP	Door Tag: Door Building Level/Door Number: Refer to door schedule for details	

A03-DA03

Status: 1 DA
Print date: Tuesday, 5 March 2018
Original size: A3
Drawing by: MCA/Revision

Ground Floor Demolition Plan 1:100



Demolition Legend

Site Demolition Notes

General notes to be read in conjunction with specifications, method & technical drawings. Essential information for all demolition work including: Contractor to acquire a demolition licence in accordance with the Environmental Protection Act 1990. Contractor shall ensure that the demolition is carried out in accordance with the relevant legislation. All pipe capping shall be documented on an amended technical drawing in consultation with the Structural Engineer. All re-connections shall be documented on an amended technical drawing in consultation with the Structural Engineer. All services shall be documented on re-connections. All re-connections shall be documented on an amended technical drawing in consultation with the Structural Engineer. All re-connections shall be documented on an amended technical drawing in consultation with the Structural Engineer.

MHC Advise: Contractor shall ensure that the demolition is carried out in accordance with the relevant legislation. All pipe capping shall be documented on an amended technical drawing in consultation with the Structural Engineer. All re-connections shall be documented on an amended technical drawing in consultation with the Structural Engineer. All re-connections shall be documented on an amended technical drawing in consultation with the Structural Engineer.

Part Walls - Demolish & remove part of existing wall including lintels, sills, etc. Allow to remain in situ as per drawing. Allow to remain in situ as per drawing. Allow to remain in situ as per drawing. Allow to remain in situ as per drawing.

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MGA design logo and contact information including company name, address, and telephone number.

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General Notes

Detailed demolition specifications and instructions, including safety measures and site preparation requirements.

Table with 3 columns: No., Item, and Description. Lists various demolition tasks and materials.

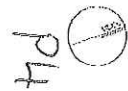
Proposed Laundromat

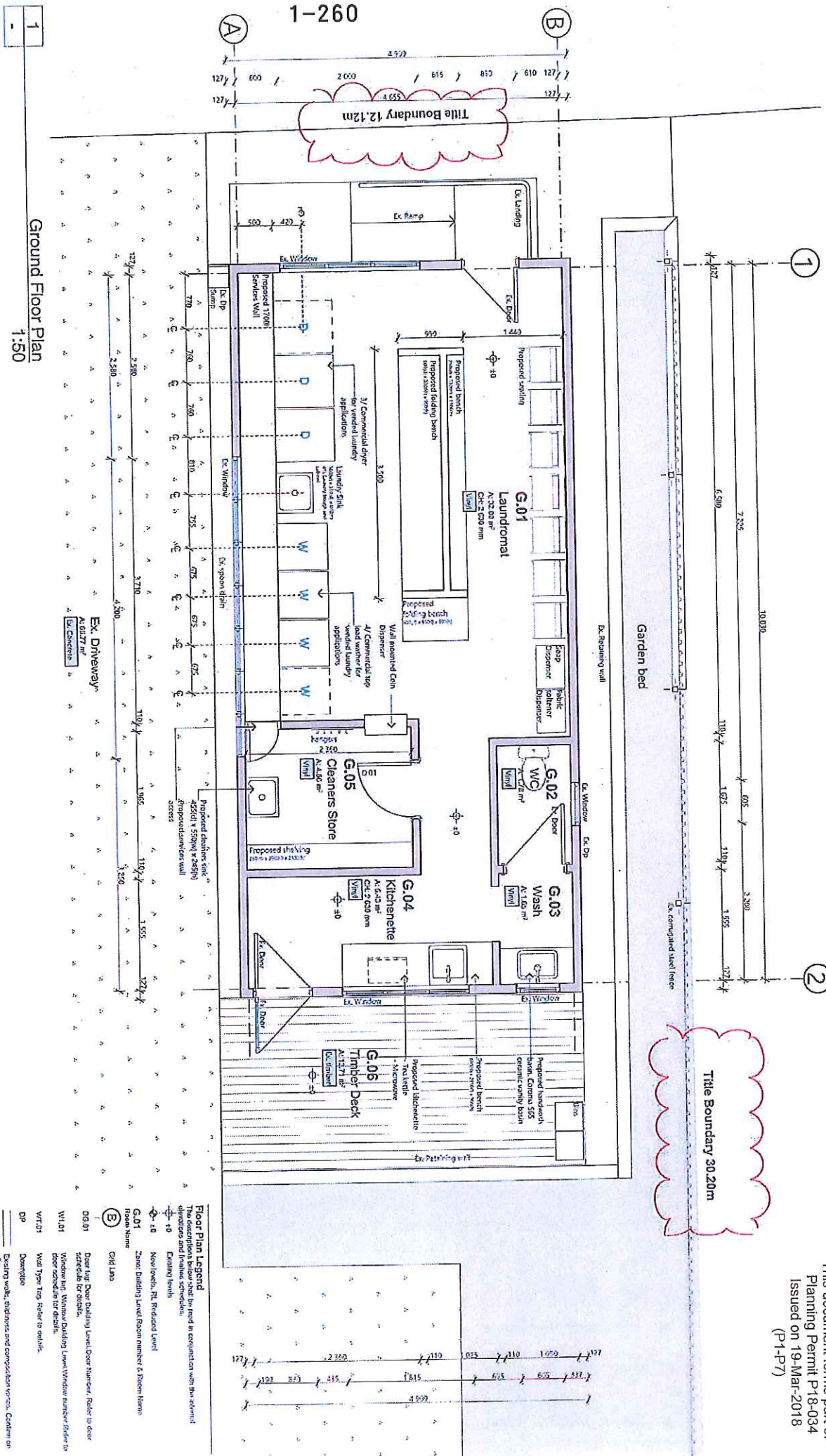
Table with 3 columns: Project No., Project Address, Client, and other project details.

Ground Floor Demolition Plan

Table with 3 columns: Status, Print Date, and Drawing Information.

Additional project details and drawing identification, including drawing number A04-DA02.





M/G/A design
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 W | info@mga.com.au
 P | (81)52018
 Addressation Via | GC5426 T

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General Notes:
 All building works to comply with National Construction Code - Building & Planning Codes of Australia, Australian Standards, Building Act & Regulations and Council Bylaws. Refer to notification drawings for more.
 All drawings shall be read in conjunction with the engineering drawings and User-defined dimensions in preference to actual dimensions.
 The Building Contractor shall be responsible for the correct set-out of all works, prior to and during the works.
 Building Contractor to check dimensions and sections of all items on site. All dimensions and sections shall be confirmed with the architect.
 All dimensions and sections shall be confirmed with the architect.
 All dimensions and sections shall be confirmed with the architect.
 The designer is to be notified of any discrepancies with the drawings.

Rev	Description	Date
01	Issue for Client Review and Approval	23/02/2018
02	Issue for Council Approval	15/03/2018
03	Issue for Council Approval	06/03/2018
04	Issue for Council Approval	06/03/2018

Proposed Name
 Proposed Laundromat

Project Name
 Proposed Laundromat

Project Info:
 Project Address: 1777
 Client: Debbie Thomas
 Property ID: 3026577
 Title Reference: 1611451
 Drawn: SC
 Checked: SC

Site Info:
 Site No: 1777
 Site Area: 1777 sqm
 Date: 15 March 2018
 Drawing No: A05-DA03

Floor Plan Legend
 The descriptions below shall be read in conjunction with the relevant elevations and finish schedules.

Room Name	Description
G.01	Zone: Building Level Room number & Room Name
Ex. Driveway	Ex. Driveway
Ex. Window	Ex. Window
Ex. Door	Ex. Door
Ex. Wall	Ex. Wall
Ex. Floor	Ex. Floor
Ex. Ceiling	Ex. Ceiling
Ex. Stairs	Ex. Stairs
Ex. Railing	Ex. Railing
Ex. Sign	Ex. Sign
Ex. Other	Ex. Other

A05-DA03
 PS

NORTHERN MIDLANDS COUNCIL

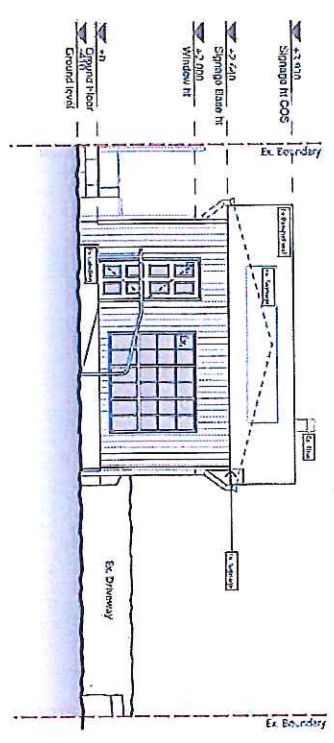
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 (P1-P7)



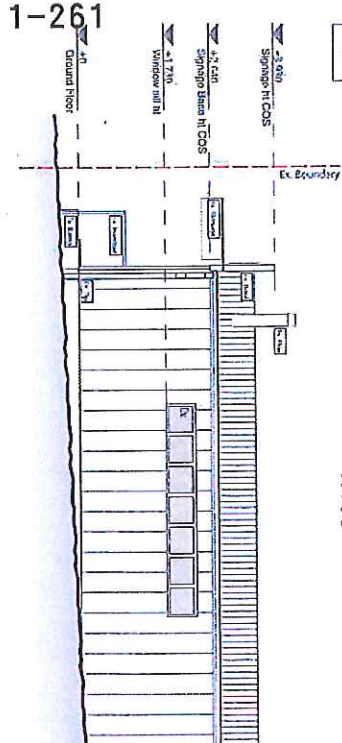
A11 Project 241, Lintonton | Tel: 7200
 11 | mgs@mgadesign.com.au
 P1 96 38 82816
 Accreditation No. | 025428 T

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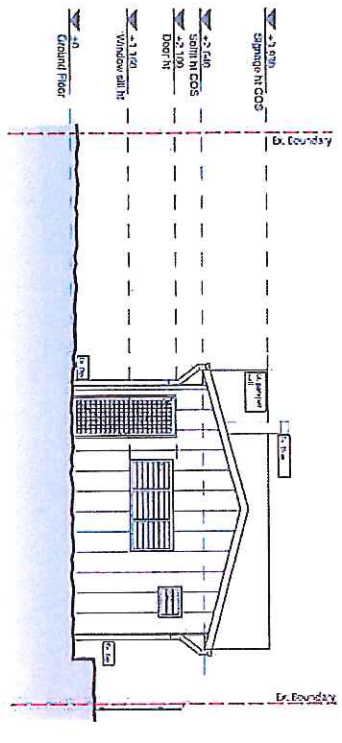
General Notes:
 All building work to comply with National Construction Code - Building Code of Australia, performance standards, Building Fire Code, AS3600 and all other applicable codes and standards. All work to be completed in accordance with the drawings and specifications.
 The signed documents in confirmation to signed contracts.
 The Building Contractor shall be responsible for the correct placement of all work.
 Building Contractor to verify check dimensions and location of all items on site prior to and during the work.
 Locations of stumps, pipes, and services on the drawings are Subject Contractor to check, remove, or re-aligner. Between stumps, drains, pipes, and services.
 A third surveyor to be notified of any discrepancies with the drawings. The designer is to be notified of any discrepancies with the drawings.



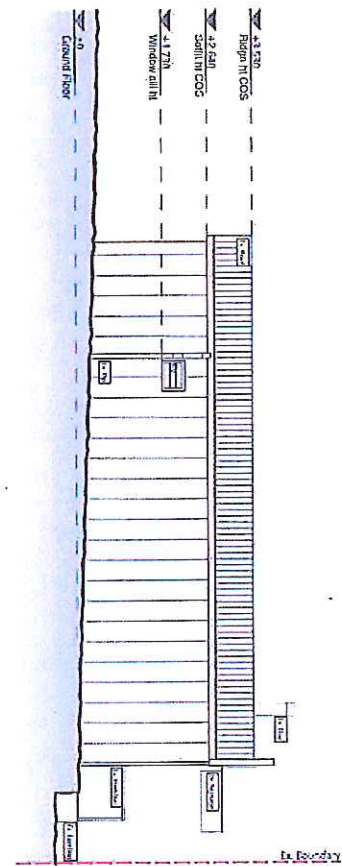
E01 ELEVATION
1:100



E02 ELEVATION
1:100



E04 ELEVATION
1:100



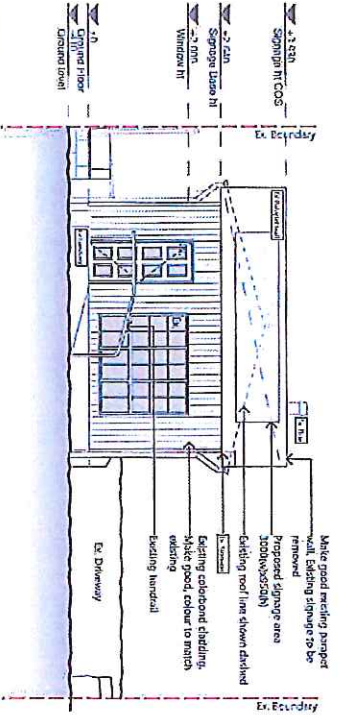
E03 ELEVATION
1:100

Proposed	Laundromat
Project Name	17 06 18
Project No.	1777
Project Address	121 High St Cammeraj Town Tas
Client	Debbie Thomas
Property ID	3283577
Title Reference	1611451
Drawn	TC
Scale	1:100

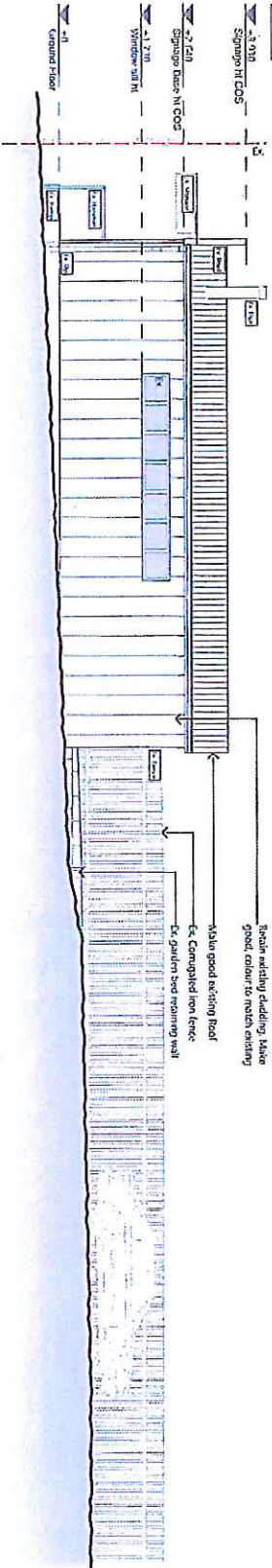
Existing Elevations

State: DA
 Print date: Tuesday, 12 February 2018
 Original scale: A3
 Drawing revision: A06-DA01

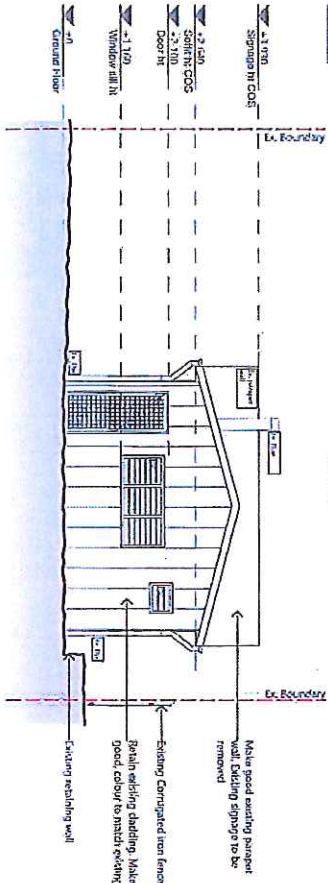
P6



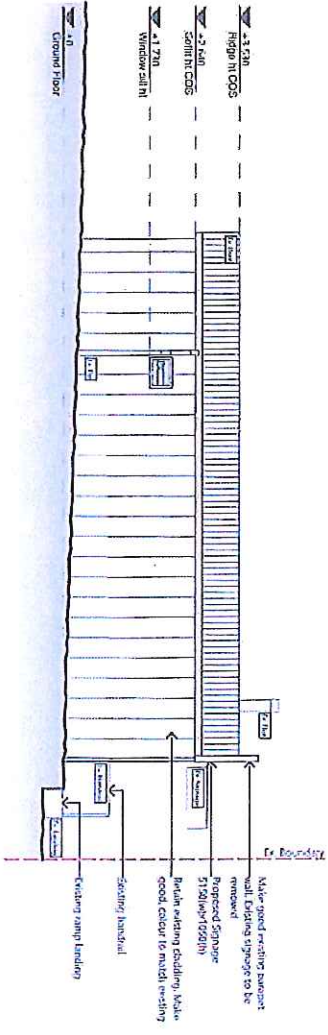
E01 ELEVATION
1:100



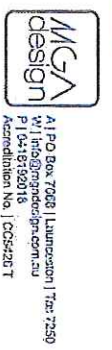
E02 ELEVATION
1:100



E04 ELEVATION
1:100



E03 ELEVATION
1:100



A1 P.O. Box 7000 | LAMINGTON | NSW 2250
 W1 info@mga.com.au
 P1 043 9792018
 Accreditation No. | CCS5420 T

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General Notes:
 All building works to comply with National Construction Code - Building & Construction Volume 1. Refer to architectural drawings for notes.
 All drawings shall be read in conjunction with the contract drawings and specifications.
 Use imperial dimensions in preference to metric dimensions.
 Building Contractor to check dimensions of all work.
 Building Contractor to site check dimensions and locations of all items on site prior to and during the works.
 Building Contractor to check drawings for coordination between structural, building and other trades.
 All work to be completed for all trades.
 The designer to be notified of any discrepancies with the drawings.

Rev	By	Date	Description
01	12/03/2018	Issue for Development Application	
02	12/03/2018	Issue for Development Application	

Project Name		Proposed Laundromat	
Project No.	4177	Project Address	123 High St Campbell Town NSW 2210
Client	Dasha Thomas	Title Reference	13/1457
Drawn	SR	Scale	1:100

Proposed Elevations	
Status	DA
Print date	Tuesday, 13 February 2018
Original size	A3
Drawing No.	A07-DA01

COMMERCIAL PROJECT DELIVERY

Project + Construction Management

PO Box 210

Newstead TAS 7250

April 5, 2018

Northern Midlands Council
General Manager
PO Box 156
Longford, TAS, 7301

Dear Des

Draft Amendment 01-2018

I act on behalf of the proponents of the above proposal lodged under S43A of the Land Use Planning and Approvals Act and wish to lodge my client's support for the proposed amendment.

Yours faithfully,



Chloe Lyne

Planning and Development Consultant

NORTHERN MIDLANDS COUNCIL					
Location					
File No.					
Property					
Attachments					
REC'D 10 APR 2010					
	J	A		I	A
GM			MYR		
P&DM			ICRS		
CSM			PLAN		
E&DM			BLD		
WM			HCT		
HR					

33 Bedford Street
Campbell Town
Tas 7210
06 April 2018

The General Manager
Northern Midlands Council
P O Box 156
Longford
Tas 7301

Dear Sir

Ref: P18-034 (Site: 121, High Street, Campbell Town, 7210)

I wish to express my opposition to this proposal on the grounds that "General Retail and Hire (Laundromat)" leaves such a business open to abuse as to the exact nature of the business to be conducted on this site. The building itself is very small (currently occupied by a hairdressing business) and whereas a small 'laundromat' may fit into the space available, what part of the business description would entail "general retail and hire"? Are they proposing to sell and/or hire out machines for public use off-premise? One would assume that the descriptive name "laundromat" would have machines in situ only.

I would further question the hours of operation of such a business. Would it be a 24-hour operation, or would their trading hours be subject to Council requirements for such premises, in accordance with other businesses in close proximity. Of high concern would be the fact that their closest neighbours would be a Pharmacy and a Bottle Shop, both of which, given a late-night operation of a laundromat, may be subjected to, at best, vandalism, at worst, break-and-enters.

I would also question what provision is or would be made for parking at this venue? That particular section of road is subject to many turning vehicles, both exiting the Pharmacy/Bottle Shop area, or using the facilities provided by J-J's Bakery and the Hotel on the opposite side from this site. Many of said turns involve complete U-turns. Given the already limited parking space available, what provisions have the intending business owners made for extended stays within the building in order to complete the laundry (most of which would probably not be left unattended by their owners).

Finally, I would question what Council sees as the benefit to the town and the ratepayers? Most people would have their own laundry facilities in their homes. If not, having not had access to a local laundromat previously, they would no doubt have long since made other suitable arrangements. Which leaves the only likely users to be the caravan fraternity passing through the town. Having observed the usage of the free overnight parking at Blackburn Park and noted the size of such vehicles and trailers, it would seem to me that any business plan dependent on patronage from such a source would be sadly lacking in integrity.

I trust my comments will be looked upon favourably by the Council and the Planning Application for this proposed business be denied.

Yours faithfully


Jill Johnson (Mrs)

1-265

122 High Street
CAMPBLL TOWN 7210

27/4/2018

General Manager
P O Box 156
LONGFORD 7301

Dear Sir

I wish to register my objection to the proposal to locate a laundromat at 121 High Street, Campbell Town, mainly from a parking situation. There is no off street parking at the premises therefore parking of campervan, caravans etc. will need to park in the street which will be a traffic hazard.

The present footpath around the premises is a disgrace, so that foot traffic will also be affected.

For the above reasons I am opposed to the proposal.

Diane Marshall

Diane Marshall (Mrs.)

NORTHERN MIDLANDS COUNCIL						
Location						
File No.						
Property						
Attachments						
REC'D 7 MAY 2018						
GM			MYR			
PAOM			CRS			
CSM			PLAN			
EMM			BLD			
			HLT			

HOBART



*General Manager,
P.O. Box 156
Longford.*

7301



Submission to Planning Authority Notice

Council Planning Permit No.	P18-034	Council notice date	29/03/2018
TasWater details			
TasWater Reference No.	TWDA 2018/00480-NMC	Date of response	11/04/2018
TasWater Contact	Phil Papps Scott Taylor (Trade Waste)	Phone No.	(03) 6237 8246 (03) 6333 9350
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	121 HIGH ST, CAMPBELL TOWN	Property ID (PID)	3083577
Description of development	Rezone from general residential to general business and permit to use as Laundromat		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
CPD	Planning Report	--	Feb 2018
MGA Design	Floor Plan / A05-DA02	--	13/02/2018
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS) Section 56P(1)</i> TasWater makes the following submission(s):			
1. TasWater does not object to the draft amendment to planning scheme and has no formal comments for the Tasmanian Planning Commission in relation to this matter and does not require to be notified of nor attend any subsequent hearings.			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS) Section 56P(1)</i> TasWater imposes the following conditions on the permit for this application:			
TRADE WASTE			
2. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.			
3. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.			
4. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent			
DEVELOPMENT ASSESSMENT FEES			
5. The applicant or landowner as the case may be, must pay a development assessment fee of \$206.97 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date it is paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.			



Advice

Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

- Location of all pre-treatment devices
- Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and
- Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application together with the General Supplement form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-Waste/Commercial>.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

REFERRAL OF DEVELOPMENT APPLICATION P18-034 TO WORKS DEPARTMENT

Property/Subdivision No: 302301.04 psa140

Date: 29-Mar-2018

Applicant: Commercial Project Delivery

Proposal: s43A amendment - rezone from General Residential to General Business and permit to use as General Retail and Hire (laundromat) including signage

Location: 121 High Street, CAMPBELL TOWN

W&I referral P18-034, 121 High Street, CAMPBELL TOWN

No W&I comment

Jonathan Galbraith (Works Officer)

Date: 29/3/18

Response to Issues Raised in Representation DA01-2018

Issue	Response
<p>Concerned that General Retail and Hire nature of the business open to abuse. The representor queries whether a laundromat can fit into the space available.</p>	<p>General Retail and Hire is the broad use class within which laundromat fits. The construct of the Interim Planning Scheme is such that there are a number of broad use classes listed at 8.2, within which there are sub use classes. Laundromat is not explicitly listed in any one location but given its purpose is to hire the use of washing machines and dryers, it best fits the General Retail and Hire Use Class.</p> <p>The plans submitted with the application demonstrate that the space can accommodate a laundromat including 4 washing machines and 3 dryers.</p>
<p>What part of the business description entails 'General Retail and Hire.'</p>	<p>The business is for the hire of the use of washing machines and dryers on site.</p>
<p>Queries hours of operation of business. Is it a 24 hour operation or will it be subject to Council requirements for such premises as imposed on other businesses.</p>	<p>The permit places a condition limiting operating hours to between 7am and 8pm.</p>
<p>Concern about late night operation of a laundromat and potential for adjacent pharmacy and bottleshop to be vandalised</p>	<p>The permit places a condition limiting operating hours to between 7am and 8pm.</p>
<p>Queries parking provision.</p>	<p>The Planning Scheme requires 2 car parking spaces to be provided for on-site for General Retail and Hire with a net floor area of 41m². Two spaces are proposed.</p> <p>It is also argued that there is always ample on-street parking outside the building available in any case.</p>
<p>Queries benefit of laundromat to town and ratepayers. States that most people would have their own facilities and</p>	<p>The commercial success of a proposed business is not a consideration for</p>

hopes that business isn't reliant on caravans passing through.

Council when assessing an application for development.

Whilst broader considerations are required of Council when considering an amendment, in this case Council must consider whether the application of the General Business Zone to the site is appropriate, not the potential commercial success or otherwise of future businesses that might operate from the site.

Paul Godier

From: Potter, Mia (StateGrowth) <mia.potter@stategrowth.tas.gov.au>
Sent: Wednesday, 11 April 2018 4:31 PM
To: NMC Planning
Subject: RE: Referral to Department of State Growth of Planning Application P18-034 - 121 High Street, CAMPBELL TOWN

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: Sent to ECM

Good Afternoon Rosemary,

I confirm that the Department of State Growth has reviewed the s43A application P18-034 for 121 High Street, Campbell Town, which included an application for a rezoning from General Residential to General Business and a permit to use the site as General Retail and Hire (laundromat) including signage.

We have no comments to provide on this amendment.

Kind Regards,

Mia Potter | Planning Officer
Environment & Development Approvals
State Roads | Department of State Growth
Level 2, 4 Salamanca Place, Hobart TAS 7000 | GPO Box 536, Hobart TAS 7001
Phone: (03) 6166 3382
www.stategrowth.tas.gov.au

DEPARTMENT OF STATE GROWTH COURAGETO MAKEA DIFFERENCETHROUGH:



From: NMC Planning [<mailto:planning@nmc.tas.gov.au>]
Sent: Thursday, 29 March 2018 2:03 PM
To: secretariat (StateGrowth) <secretariat@stategrowth.tas.gov.au>
Subject: FW: Referral to Department of State Growth of Planning Application P18-034 - 121 High Street, CAMPBELL TOWN

29-Mar-2018

Department of State Growth
via email to: Development@stategrowth.tas.gov.au

Referral to Department of State Growth of Planning Application P18-034 - 121 High Street, CAMPBELL TOWN

The following planning application has been received under the *Northern Midlands Interim Planning Scheme 2013*.

NMC ref no:	P18-034
Site:	121 High Street, CAMPBELL TOWN
Proposal:	s43A amendment - rezone from General Residential to General Business and permit to use as General Retail and Hire (laundromat) including signage
Applicant:	Commercial Project Delivery
Use class:	Service Industry
Zone:	General Residential, Heritage precinct
Development status:	Discretionary
Notes:	The subject site is in a 60kph zone. No changes to access proposed.

Attached is a copy of the application, plans/documentation relating to the proposal. It would be appreciated if you could return any comments, or notification that you do not wish to comment on the application, within fourteen (14) days of the date of this letter. If you have any queries, please telephone the Planning Section on 6397 7301 or e-mail Planning@nmc.tas.gov.au.

Attachments: Application & supporting documentation as pdf

Rosemary Jones



Administration Officer - Community & Development | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
E: rosemary.jones@nmc.tas.gov.au | W: www.northernmidlands.tas.gov.au

T a s m a n i a ' s H i s t o r i c H e a r t

Please note that due to the high volume of enquiries received, officers will be available for phone and face to face appointments to discuss building and planning matters at the following times:

- Monday – between 9:00am and 12:00pm
- Wednesday – between 2:00pm and 5:00pm
- Friday – between 9:00am and 12:00pm

For general enquiries please refer to the Fact Sheet located on our website at <http://northernmidlands.tas.gov.au>

Meetings can be arranged at other times by appointment.

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NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN
DATE: 29-Mar-2018
REF NO: P18-034; 302301.04 psa140
SITE: 121 High Street, CAMPBELL TOWN
PROPOSAL: s43A amendment - rezone from General Residential to General Business and permit to use as General Retail and Hire (laundromat) including signage
APPLICANT: Commercial Project Delivery
REASON FOR REFERRAL: HERITAGE PRECINCT
HERITAGE-LISTED PLACE
*Local Historic Heritage Code
Heritage Precincts Specific Area Plan*

Do you have any objections to the proposal: **No**

Do you have any other comments on this application?

This proposal will not have an adverse impact on the heritage values of the streetscape or precinct because it adjoins the supermarket and the use is more compatible than the existing building.

The signage should be subject to final approval with regard to number/location of signs, size, colour and style.

Email referral as word document to David Denman - denmanarchitects@bigpond.com

Attach public exhibition documents

Subject line: Heritage referral P18-034 - 121 High Street, CAMPBELL TOWN



David Denman (Heritage Adviser)

Date: 4/05/2018