

**PLAN 4**

**PLANNING APPLICATION PLN-18-0210**

**110 HIGH STREET, CAMPBELL TOWN**

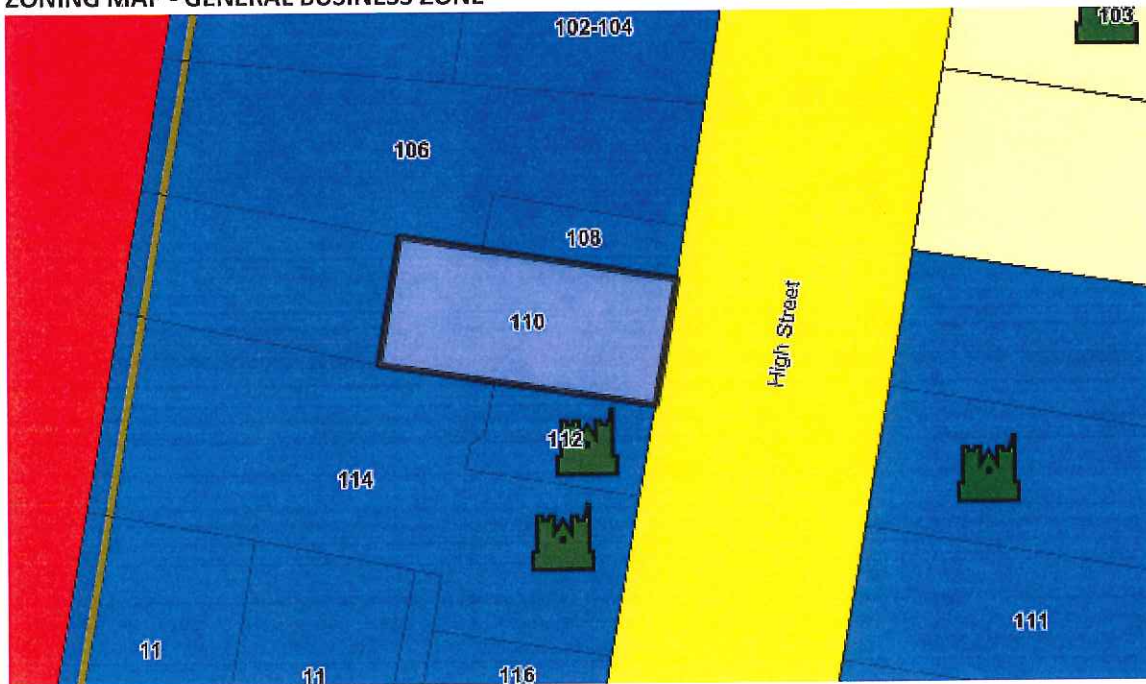
**ATTACHMENTS**

- A Application & plans
- B Responses from referral agencies
- C Representations & applicant's response

AERIAL PHOTOGRAPH & SERVICES MAP for 110 HIGH STREET, CAMPBELL TOWN



ZONING MAP - GENERAL BUSINESS ZONE



EXHIBITED

# PLANNING APPLICATION Proposal

Description of proposal: Change of use to Food Services and works to an existing building

.....  
.....  
.....  
.....  
.....  
*(attach additional sheets if necessary)*

**Site address:** 110 High Street Campbell Town .....

.....

CT no:

Estimated cost of project            \$ 90,000.00 ..... *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes  
If yes – main building is used as .....

If variation to Planning Scheme provisions requested, justification to be provided:

.....  
.....  
.....  
.....  
.....

**EXHIBITED**

Is any signage required? Yes .....  
*(if yes, provide details)*

OK 3-2

ANNEXURE TO CERTIFICATE OF TITLE VOL. 2809 FOL. 25

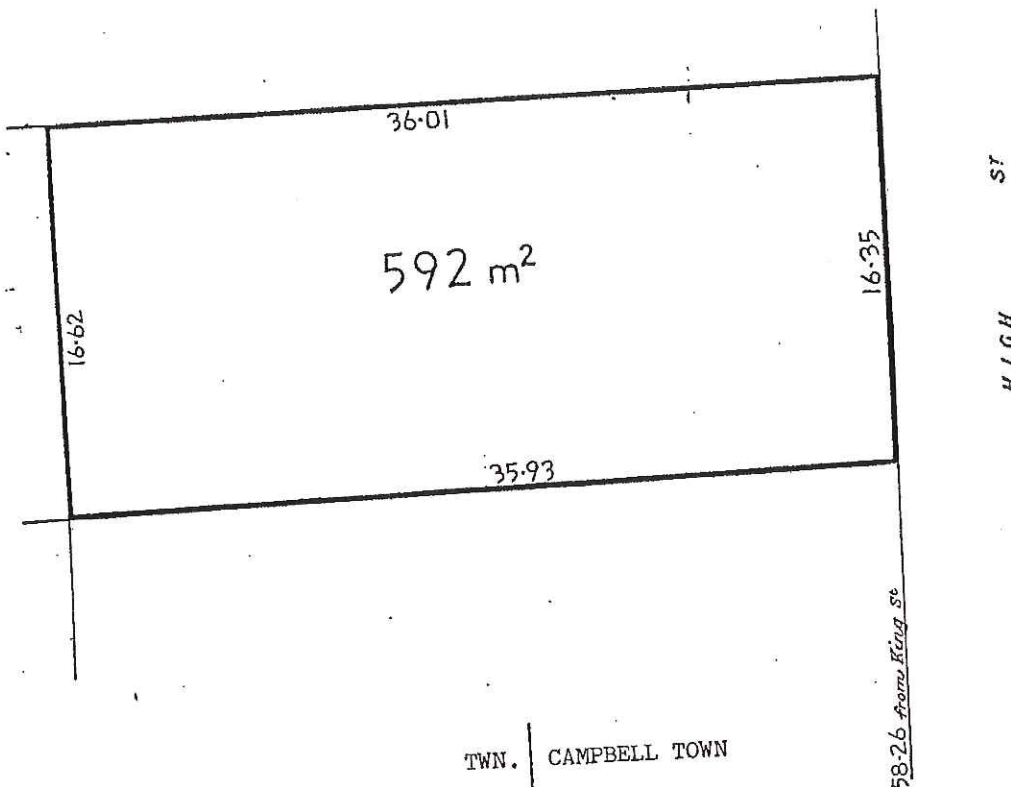
*M. Smith*  
Recorder of Titles



REGISTERED NUMBER

224083

Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.



TWN. CAMPBELL TOWN

MEAS. IN METRES

NOT TO SCALE

*[Signature]*

82/8 N.S.

EXHIBITED

# Campbell Town Diner

## Alterations and additions

### 110 High St Campbell Town Tas 7210

#### Client: Karl Mansfield

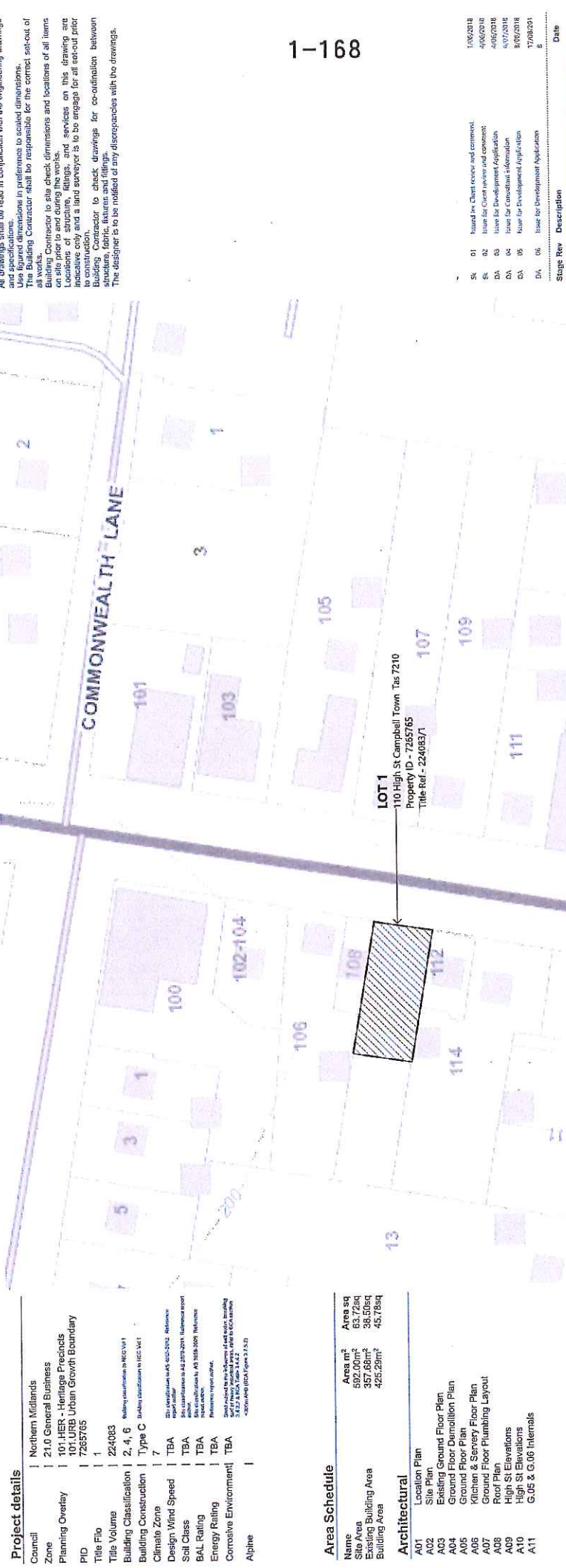
A | Level 2, 126 Charles St  
 Hobart, Tasmania 7260  
 P | PO Box 7888  
 Launceston | Tas 7250  
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 Building Contractor to site check dimensions and locations of all items before commencing work.  
 Locations of structure, fittings, and services on this drawing are indicative only and a land surveyor is to be engaged for all setout prior to construction.  
 Building Contractor to check drawings for co-ordination between drawings and site fillings.  
 The designer is to be notified of any discrepancies with the drawings.

1-168



**Project details**

Council	Northern Midlands
Zone	21.0 General Business
Planning Overlay	101.HER - Heritage Precincts 101.URB Urban Growth Boundary
PID	7285765
Title File	1
Title Volume	224083
Building Classification	2, 4, 6 Building classification in REC V1.1
Building Construction	Type C Building construction in REC V1.1
Climate Zone	7 Climate zone in REC V1.1
Design Wind Speed	TBA Design wind speed in REC V1.1
Soil Class	TBA Soil classification in AS 2275:2011 Reference Report
BAL Rating	TBA BAL rating in AS 1539:2009 Reference Report
Energy Rating	TBA Energy rating in REC V1.1
Conservative Environment	TBA Conservative environment in REC V1.1
Alpha	4 Alpha in REC V1.1

**Area Schedule**

Name	Area m <sup>2</sup>	Area sq ft
Site Area	592.00m <sup>2</sup>	63,728sq ft
Existing Building Area	357.86m <sup>2</sup>	38,538sq ft
Building Area	425.29m <sup>2</sup>	45,758sq ft

**Architectural**

A01	Location Plan
A02	Site Plan
A03	Existing Ground Floor Plan
A04	Ground Floor Demolition Plan
A05	Ground Floor Plan
A06	Kitchen & Sundry Floor Plan
A07	Ground Floor Plumbing Layout
A08	Roof Plan
A09	High St Elevations
A10	High St Elevations
A11	G.05 & G.06 Internals

Stage	Rev	Description	Date
SK	01	Issued for Client review and comment.	19/02/2018
SK	02	Issue for Council review and comment.	20/02/2018
DA	03	Issue for Development Application	20/02/2018
DA	04	Issue for Construction Information	9/02/2018
DA	05	Issue for Development Application	17/02/2018
DA	06	Issue for Development Application	2

**Project Name**  
 Campbell Town Diner

**Project No.** 1811  
**Project Address** 110 High St Campbell Town Tas 7210  
**Client** Karl Mansfield  
**Property ID** 7285765  
**Title Reference** 224083/1  
**Drawn** SC  
**e-file**

**Location Plan**

**Status** DA  
**Print date** Tuesday, 4 September 2018  
**Original size** A3  
**Drawing N°/Stage/Revision**

**A01-DA06** P1

Location Plan  
 1:1000

1 -

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The Building Contractor shall be responsible for the correct set-out of all works.

Building Contractor to check dimensions and locations of all items noted during the works.

Locations of structures, fittings, and services on this drawing are indicative only and a land surveyor is to be engaged for all set-out prior to construction.

Building Contractor to check drawings for co-ordination between the drawings. The designer is to be notified of any discrepancies with the drawings.

**Legend Notes**

This drawing should be strictly read in conjunction with civil & hydraulic engineer's drawings.

⊕ -40.000 Existing levels

⊕ -50.000 New levels, RL Reduced Level

**Soil & Water Management Strategies**

Downpipes to be connected into water tank as soon as the roof is installed.

Install AG drain prior to footing excavation. Refer to Ground Floor Drainage Plan for location.

Install all pipes placed up-slope of AG drain. To be removed when building works are complete and used as fill for any low points. Install a sediment fence on the down-slope side of material.

Construction vehicles to be parked on the street adjacent to the site boundary. All vehicles to be parked on the Esplanade Street side of the site.

1000 AG drain with filter sock behind landscape retaining wall, installed prior to footing construction. Min. 1 in 300 uniform fall.

**Protection Works (Section 121 of the Building Act)**

On the basis of the adjoining owners footings, along the site boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to supervise the excavation. Adjoining to the site boundary is shown on 6 (Building and Protection Work Tables) by the Building Surveyor.

SK	01	Issued for Client review and comment	1/06/2018
SK	02 <td>Issue for Client review and comment <td>4/06/2018</td> </td>	Issue for Client review and comment <td>4/06/2018</td>	4/06/2018
DA	03 <td>Issue for Development Application <td>4/06/2018</td> </td>	Issue for Development Application <td>4/06/2018</td>	4/06/2018
DA	04 <td>Issue for Consultation Information <td>6/07/2018</td> </td>	Issue for Consultation Information <td>6/07/2018</td>	6/07/2018
DA	05 <td>Issue for Development Application <td>3/08/2018</td> </td>	Issue for Development Application <td>3/08/2018</td>	3/08/2018
DA	06 <td>Issue for Development Application <td>17/08/2018</td> </td>	Issue for Development Application <td>17/08/2018</td>	17/08/2018
Stage	Rev	Description	Date

**Project Name**

**Campbell Town Diner**

Project No.	1811
Project Address	110 High St Campbell Town Tas
Client	Karl Mansfield
Property ID	7265765
Title Reference	224083/1
Drawn	SC
e-file	SC

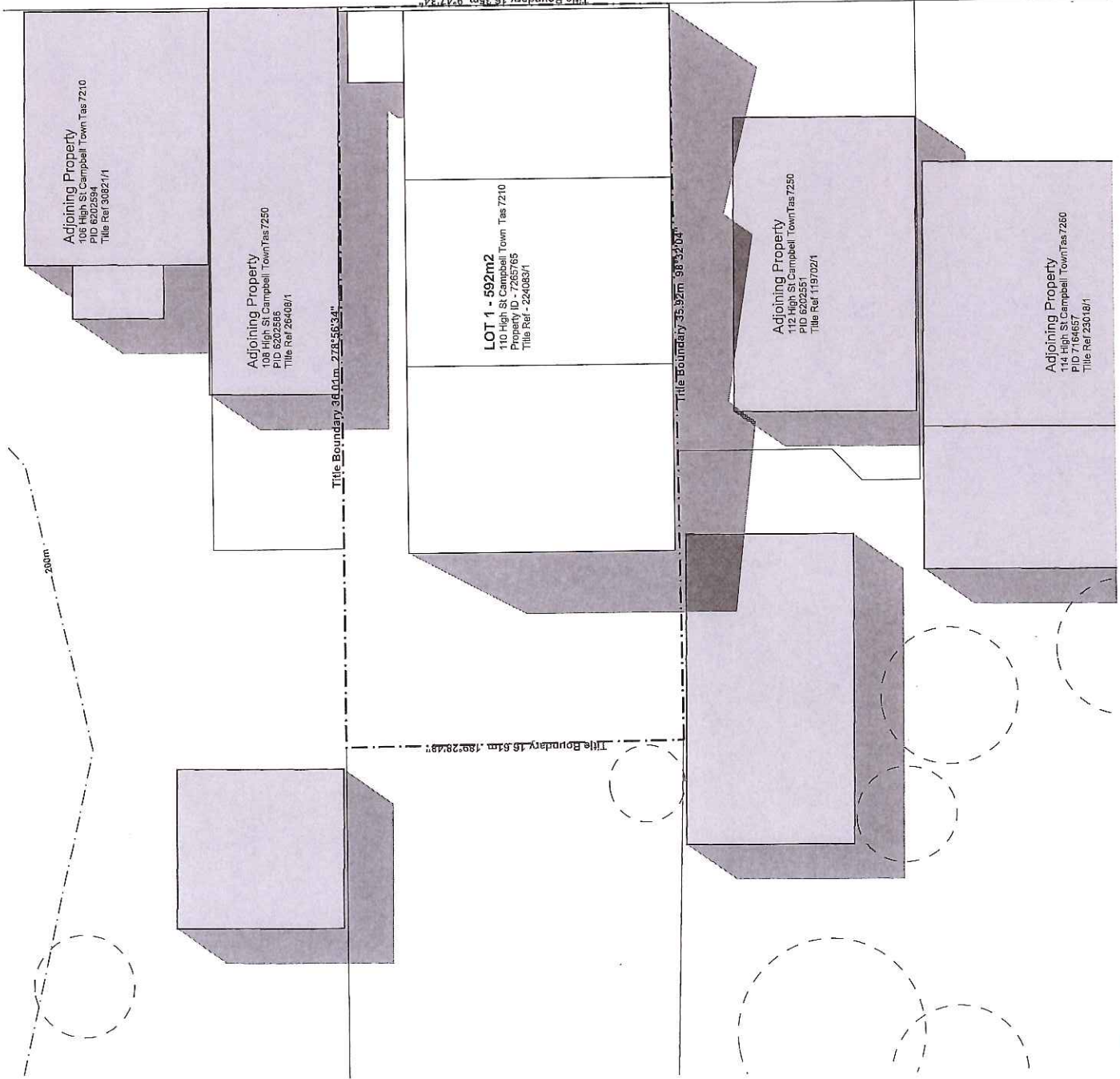
**Site Plan**

Status	DA
Print Date	Tuesday, 4 September 2018
Original size	A3
Drawing No./Stage/Revision	A02-DA06 P2



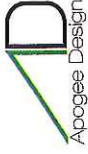
**HIGH STREET**

Council Footpath



Site Plan  
1:200

1	-
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 Use figured dimensions in preference to scaled dimensions.  
 The Building Contractor shall be responsible for the correct set-out of all works.  
 It is the contractor's responsibility to check dimensions and locations of all items on site prior to and during the works.  
 Locations of structure, fittings, and services on this drawing are indicative only and a land surveyor is to be engaged for all set-out prior to construction.  
 Building Contractor to check drawings for co-ordination between building volumes and fittings.  
 The designer is to be notified of any discrepancies with the drawings.

1-170

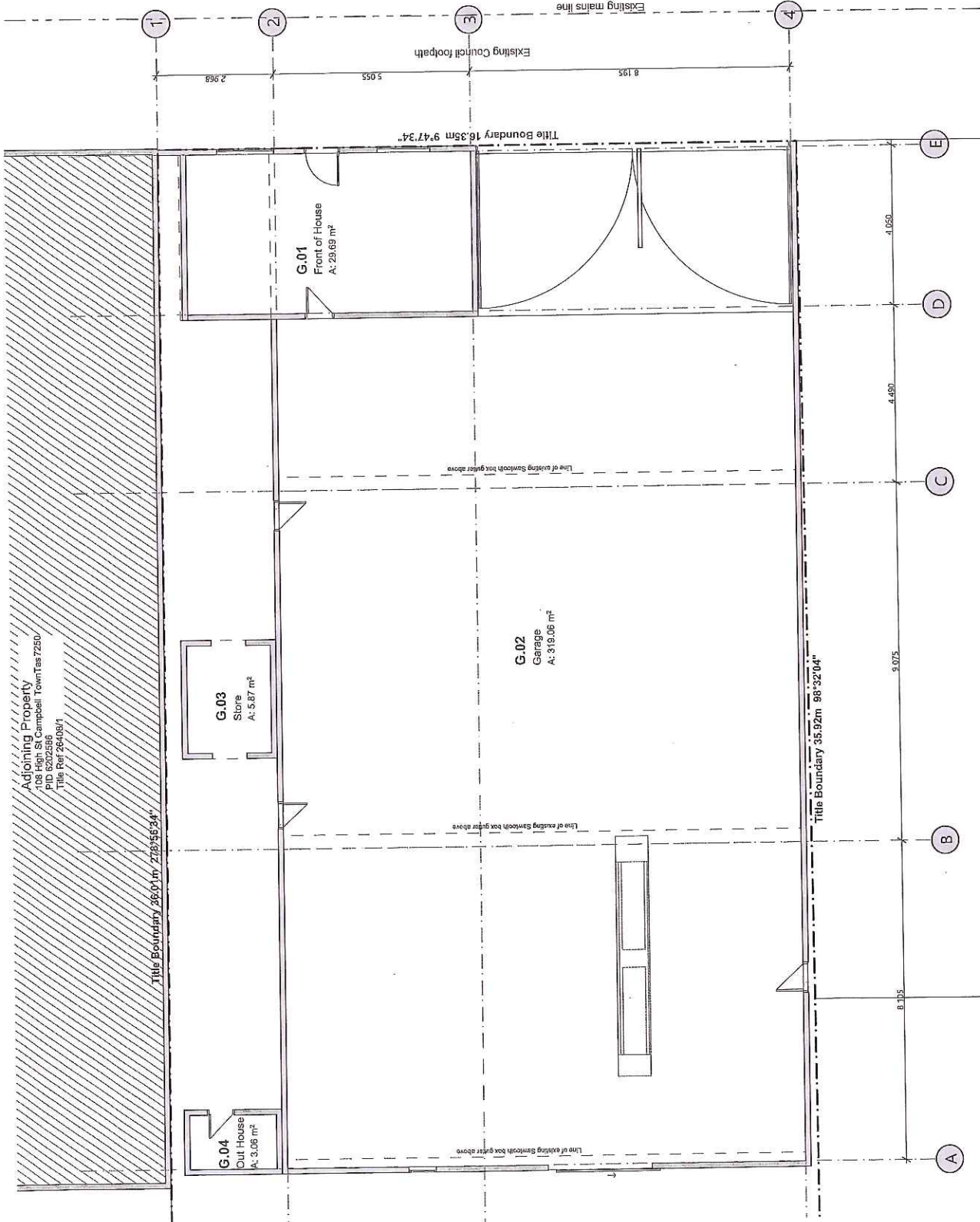
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Sk 02	Issue for Client review and comment	4/7/2018	
DA 02	Issue for Development Application	4/28/2018	
DA 04	Issue for Council/DAW Information	6/07/2018	
DA 05	Issue for Development Application	3/08/2018	
DA 06	Issue for Development Application	17/08/2018	
Stage	Rev	Description	Date

Project Name  
**Campbell Town Diner**

Project No.	1811
Project Address	110 High St Campbell Town Tas 7210
Client	Kari Mansfield
Property ID	7265765
Title Reference	224083/1
Drawn	SC
e-file	SC

Existing Ground Floor Plan

Status | DA  
 Print date | Tuesday, 4 September 2018  
 Original size | A3  
 Drawing No./Stage/Revision  
**A03-DA06 P3**



Existing Ground Floor Plan  
 1:100

1 -

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 E | info@apogee.com.au  
 Apogee Design ABN 40 624 215 041

Adjoining Property  
 108 High St Campbell Town Tas 7250  
 PID 6202596  
 Title Ref 26408/1

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 All Council requirements shall be read in conjunction with the engineering drawings and specifications.  
 Use figured dimensions in preference to scaled dimensions.  
 The Building Contractor shall be responsible for the correct set-out of all items on site prior to end during the works.  
 Locations of structure, fittings, and services on this drawing are indicative only and a land surveyor is to engage for all set-out prior to construction.  
 The designer is to check drawings for coordination between structure, public fixtures and fittings.  
 The designer is to be notified of any discrepancies with the drawings.

1-171

SK 01	Issue for Client review and comment	1/6/2018
SK 02	Issue for Client review and comment	4/6/2018
DA 03	Issue for Development Application	4/9/2018
DA 04	Issue for Council Information	4/9/2018
DA 05	Issue for Development Application	3/9/2018
DA 06	Issue for Development Application	17/6/2018
DA 07	Amendment for Development Application	4/10/2018
Stage Rev	Description	Date

Project Name  
**Campbell Town Diner**

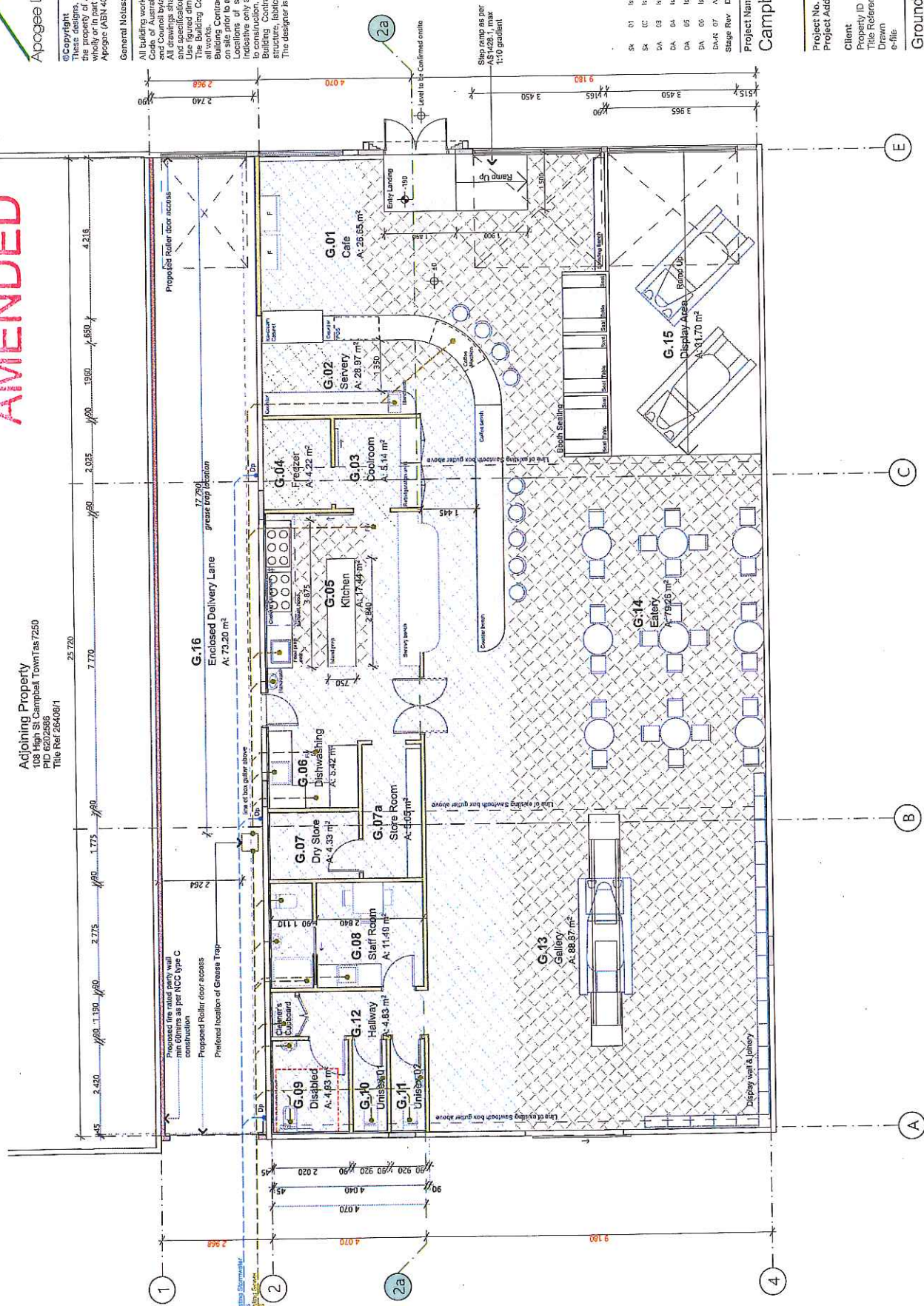
Project No. 1811  
 Project Address 110 High St Campbell Town Tas  
 Client Karl Mansfield  
 Property ID 7255785  
 Title Reference 22-4083/1  
 Drawn SC  
 e-file

Ground Floor Plan

Status DA  
 Print date Thursday, 4 October 2018  
 Original size A3  
 Drawing No/Stage/Revision

A05-DA-N07

P4



Ground Floor Sketch Plan  
 1:100

1 -



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 Use figured dimensions in preference to scaled dimensions and locations of all items.  
 The Building Contractor shall be responsible for the correct set-out of all works.  
 Building Contractor to site check dimensions and locations of all items and during the works.  
 Locations of structure, fittings, and services on this drawing are indicative only and a land surveyor is to be engaged for all set-out prior to construction.  
 Building Contractor to check drawings for co-ordination between building, structures and fittings.  
 The designer is to be notified of any discrepancies with the drawings.

1-172

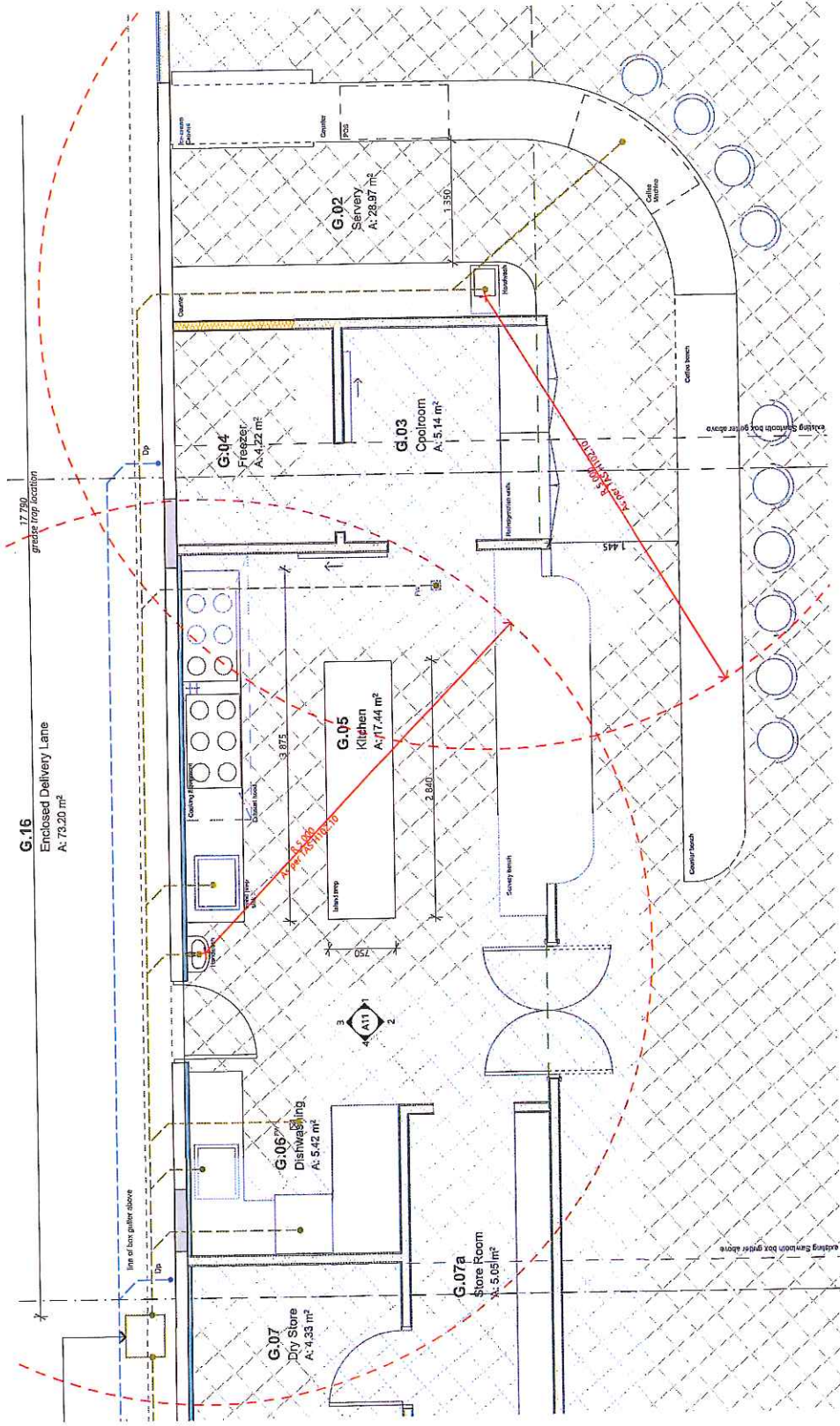
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SK	02	Issue for Client review and comment	20/06/2018
DA	03	Issue for Development Application	02/07/2018
DA	04	Issue for Consultant information	09/07/2018
DA	05	Issue for Development Application	19/08/2018
DA	05	Issue for Development Application	17/08/2018
Stage	Rev	Description	Date

**Project Name**  
 Campbell Town Diner

Project No.	1811
Project Address	110 High St Campbell Town Tas 7210
Client	Karr Mansfield
Property ID	7265785
Title Reference	224083/1
Drawn	SC
e-file	File Path: \\apogee\apogee\projects\1811\Campbell Town Diner\1811.dwg

**Kitchen & Servery Floor Plan**

Status: DA  
 Print date: Tuesday, 4 September 2018  
 Original size: A3  
 Drawing No./Stage/Revision: PS  
 A06-DA06



**Kitchen & Servery Floor Plan**  
 1:50

1	-
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 and Council bylaws. Refer to architectural drawings for details, materials  
 and specifications. Refer to engineering drawings for structural  
 and specifications. Refer to the engineering drawings  
 and specifications to read in conjunction with the engineering drawings.  
 Use figured dimensions in preference to scaled dimensions.  
 The Building Contractor shall be responsible for the correct set-out of  
 all works.  
 Building Contractor to check dimensions and locations of all items  
 to be installed and during the works.  
 Locations of structures, fittings, and services on this drawing are  
 indicative only and a land surveyor is to be engaged for all set-out prior  
 to construction.  
 Building Contractor to check drawings for co-ordination between  
 building works and other works.  
 The designer is to be notified of any discrepancies with the drawings.

1-173

SK	DT	Issued for client review and comment	1/8/2018
01	01	Issue for Client review and comment <td>4/08/2018</td>	4/08/2018
02	02	Issue for Development Application <td>4/08/2018</td>	4/08/2018
03	03	Issue for Development Application <td>17/09/2018</td>	17/09/2018
04	04	Issue for Development Application <td></td>	
Stage Rev	Description	Date	

Project Name  
**Campbell Town Diner**

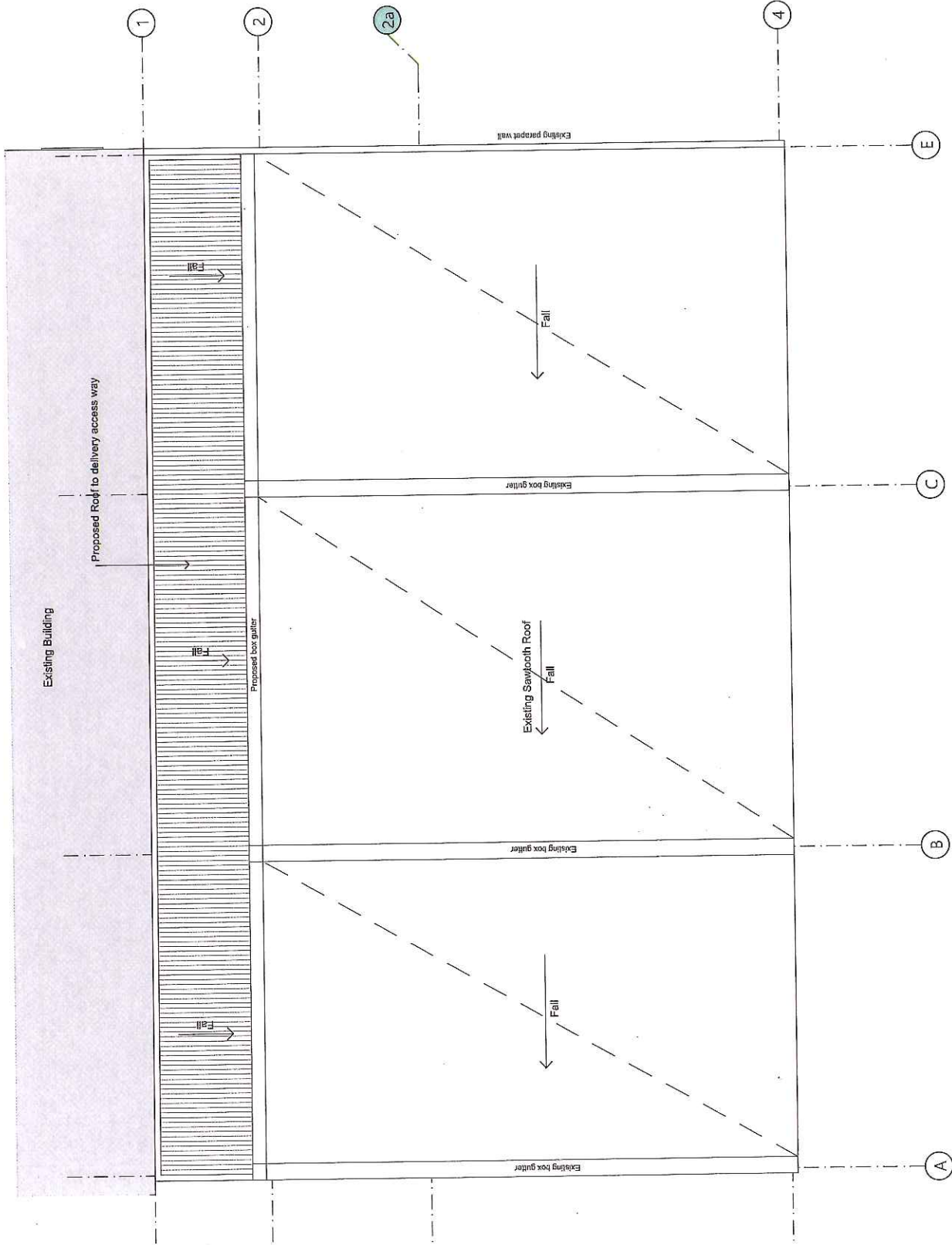
Project No.	1811
Project Address	110 High St Campbell Town Tas
Client	Karl Mansfield
Property ID	7265765
Title Reference	224083/1
Drawn	SC
e-file	SC

Roof Plan

Status: D/A  
 Print Date: Tuesday, 4 September 2018  
 Drawing No./Stage/Revision: A1

A08-DA04

Roof Plan  
1:100



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 Building Contractor to check drawings for co-ordination between all trades and services.  
 The designer is to be notified of any discrepancies with the drawings.

1-174

SK 01	Issued for Client review and comment	10/02/2018
SK 02	Issue for Client review and comment	4/06/2018
DA 03	Issue for Development Application	4/06/2018
DA 04	Issue for Development Application	3/08/2018
DA 05	Issue for Development Application	17/09/2018
DA 06	Amendment for Development Application	4/10/2018
Stage Rev	Description	Date

Project Name  
**Campbell Town Diner**

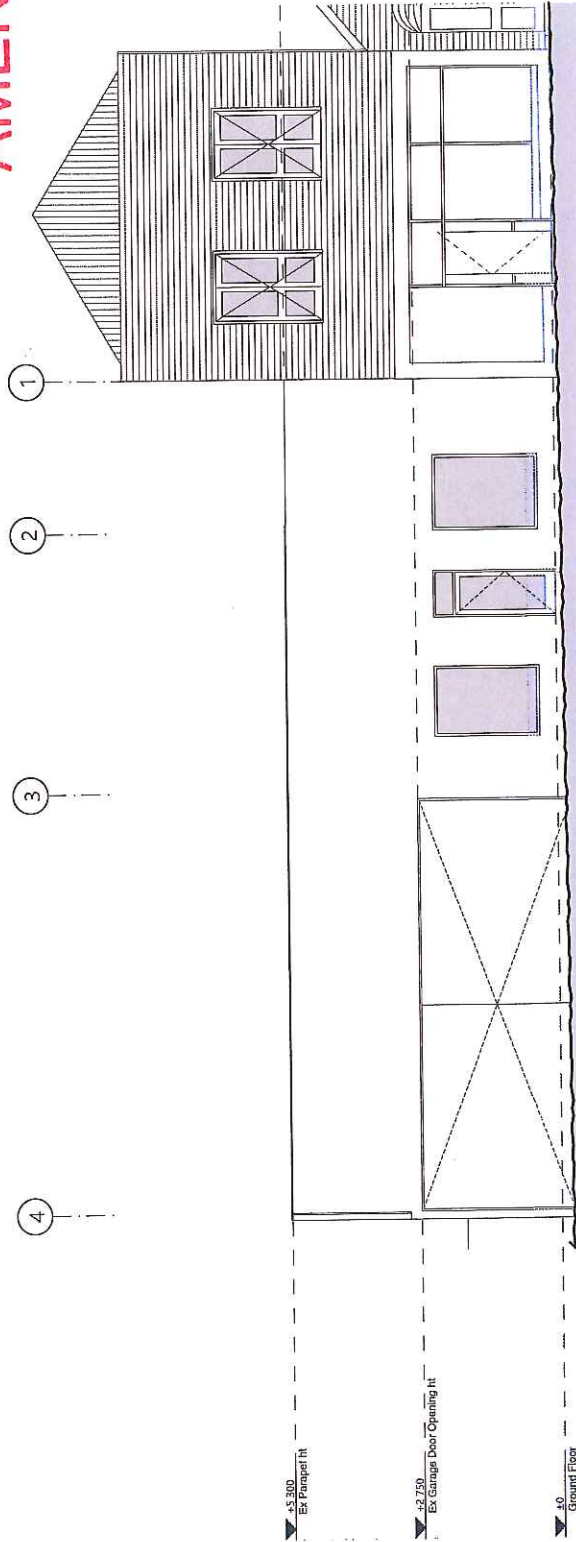
Project No.	1811
Project Address	110 High St Campbell Town Tas
Client	Karl Mansfield
Property ID	7265765
Title Reference	224088/1
Drawn	SC
e-file	Project 1811/2018

**High St Elevations**

Status | DA  
 Print Date | Thursday, 4 October 2018  
 Original size | A3  
 Drawing No./Stage/Revision

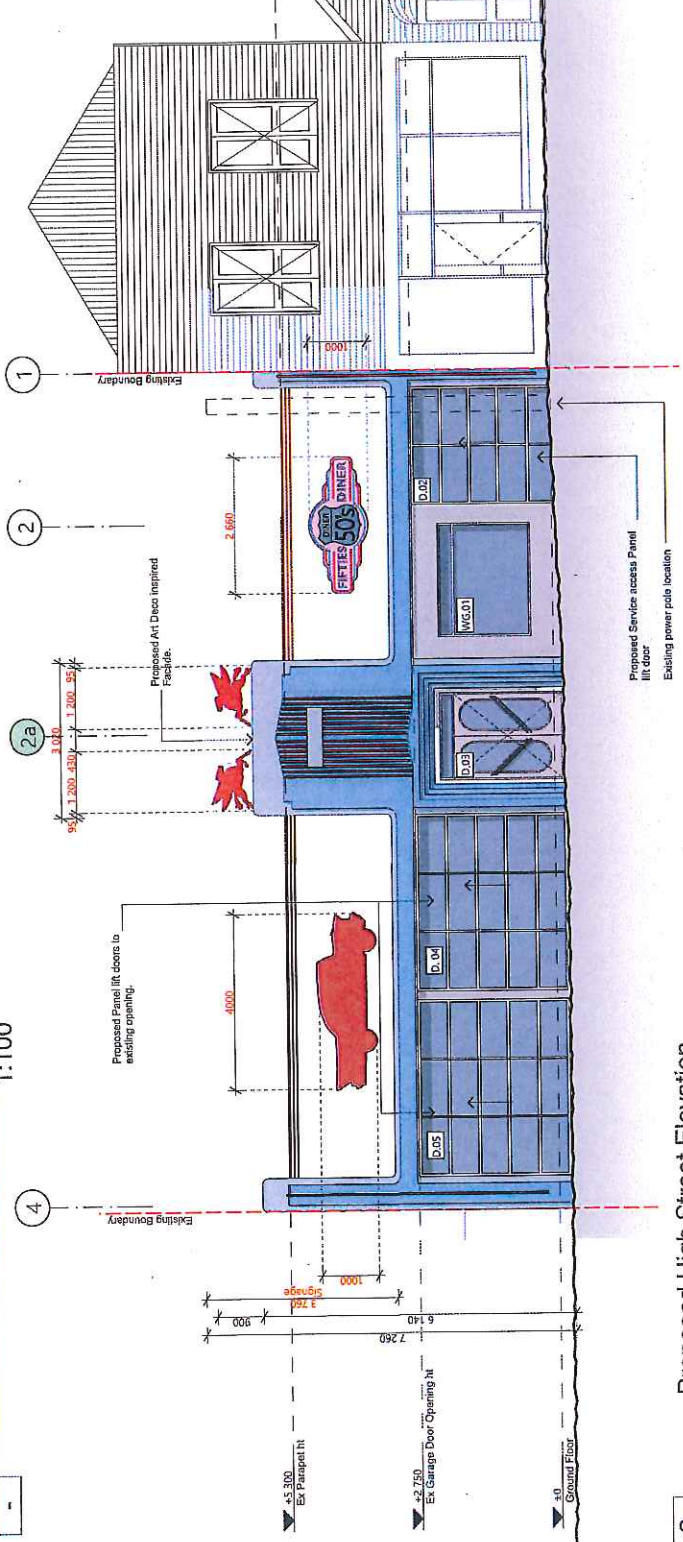
A09-DA-N06

P7



Existing High Street Elevation  
 1:100

1	-
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Proposed High Street Elevation  
 1:100

2	-
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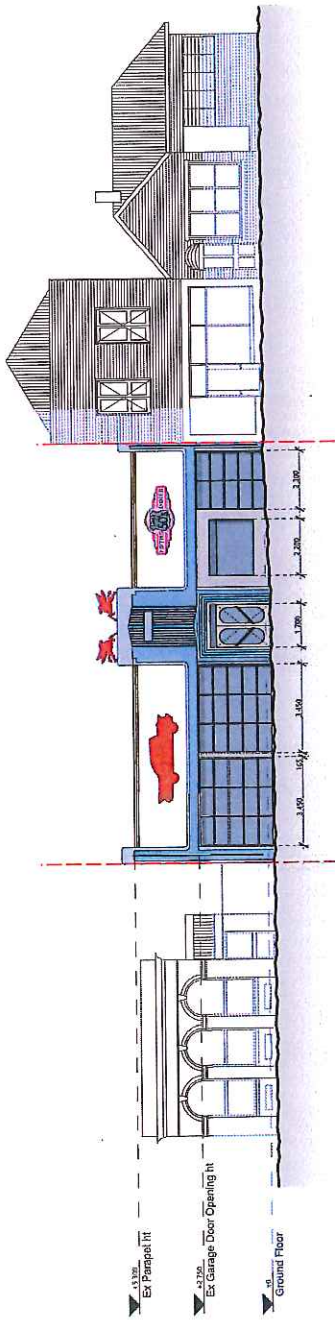
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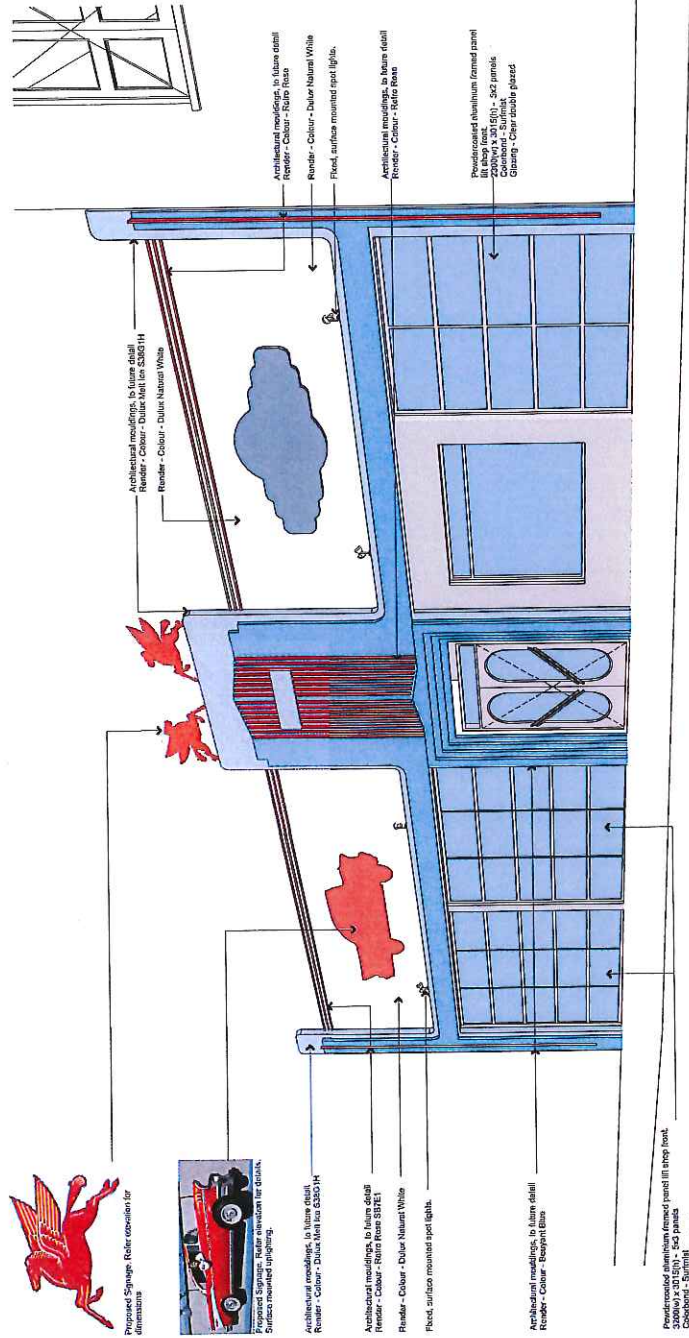
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Building Contractor to check drawings for co-ordination between all drawings and services.  
The designer is to be notified of any discrepancies with the drawings.



High Street Elevation  
1:200

1	-
---	---



3D-01 High Street Perspective  
1:164.42

2	-
---	---

1-175

SK 01	Issued for Client review and comment	3/06/2018
SK 02	Issue for Client review and comment	4/06/2018
DA 03	Issue for Development Application	4/06/2018
DA 04	Issue for Development Application	3/07/2018
DA 05	Issue for Development Application	15/09/2018
DA 06	Amendment for Development Application	4/10/2018
Stage Rev	Description	Date

Project Name  
Campbell Town Diner

Project No. 1811  
Project Address 110 High St Campbell Town Tas  
Client Karl Mansfield  
Property ID 7265765  
Title Reference 2240683/1  
Drawn SC  
e-file

High St Elevations

Status DA  
Print Date Thursday, 4 October 2018  
Drawing No Stage/Revision  
A10-DA-N06

ps

# Planning Submission

---

## Change of Use to Food Services

110 High Street, Campbell Town

EXHIBITED

D1

## Table of Contents

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3. Proposal.....	3
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**EXHIBITED**

## 1. Introduction

This submission is prepared to support the development application to change the use of the subject site from vacant (previously Service Industry) to Food Services.

110 High Street, Campbell Town was formerly Foxes Garage.

## 2. Site Description

The subject site is contained in Certificate of Title CT224083/1. There is no access to the rear of the property.

The site has an area of approximately 592m<sup>2</sup>, with frontage to High Street. The site is adjacent to a shop with an upstairs residence and the Commonwealth Bank.

A copy of the titles is located in Appendix A of this submission.



Figure 1: Aerial Photograph of Site

## 3. Proposal

It is proposed to change the use to Food Services to allow for a 50's inspired dinner to trade from the premises.

The dinner will seat 50 people. Take always will be available at the front counter, however eating in is encouraged. The dinner will also house some of the extensive motoring memorabilia collected by the owners.

Opening hours are proposed to be 7 days per week 7am -6pm Monday to Thursday and 7am - 10pm Friday to Saturday.

## At a Glance

**Site:** 110 High Street,  
Campbell Town

**Proposal:** Change of Use to  
Food Services

**Zone:** General Business

**Provisions:**

**Relevant Code:**

Heritage Overlay

**Notes :**

This application is made in accordance with Section 57 of the Land Use Planning and Approvals Act 1993.

The dinner will employ a full-time manager and two cooks on a full-time basis. A total of 6-7 serving staff on a mixed tenure of full time, part time and casual will be employed.

It is proposed to renovate the exterior of the building, including a disability access ramp. The exterior of the building will be updated to fit the typical stylings of the Art Deco period.

Signage proposed is summarised as:

2 x building fascia signs; one has the name of the business; the other is a silhouette of a car.

#### 4. Planning Scheme

The application is made in accordance with the Northern Midlands Interim Planning Scheme 2013. The site is within the General Business Zone and within the Heritage Overlay.

Subject Site,  
Zoned General  
Business and  
within the  
Heritage  
Overlay.



Figure 2: Zoning Map

#### 21 General Business

##### 21.1 Zone Purpose

##### 21.1 Zone Purpose

##### 21.1.1 Zone Purpose Statements

21.1.1.1 To provide for business, community, food, professional and retail facilities serving a town or group of suburbs.

21.1.1.2 To create through good urban design:

- i) an attractive and safe environment; and
- ii) activity at pedestrian levels with active road frontages offering interest and engagement to shoppers and; and
- iii) appropriate provision for car parking, pedestrian access and traffic circulation.

##### 21.1.2 Local Area Objectives

EXHIBITED



To consolidate growth within the existing urban land use framework of the towns of Campbell Town, Longford and Perth.

To manage development in the General business zone so as to conserve and enhance the quality of the Heritage Precincts in the Campbell Town, Longford, and Perth town centres.

To ensure developments within street reservations contribute positively to the context of the Heritage Precincts in each settlement.

21.1.3 Desired Future Character Statements

There are no desired future character statements

21.2 Use Table

Food Services is a Permitted Use within the Zone.

21.3 Use Standards

21.3.1 Amenity

Objective To ensure that the use of land is not detrimental to the amenity of the surrounding area in terms of noise, emissions, operating hours or transport.		
Acceptable Solution	Performance Criteria	Assessment
A1 Commercial vehicles (except for visitor accommodation and recreation) must only operate between 6.00am and 10.00pm Monday to Sunday.	P1 Commercial vehicles (except for visitor accommodation and recreation) must not cause or be likely to cause an environmental nuisance through emissions including noise and traffic movement, odour, dust and illumination.	The proposed use does not involve the use of commercial vehicles.  Deliveries and service vehicles will be restricted from accessing the site before 6am and after 10pm.
A2 Noise levels at the boundary of the site with any adjoining land must not exceed: a) 50dB(A) day time; and b) 40dB(A) night time; and c) 5dB(A) above background for intrusive noise.	P2 Noise must not cause unreasonable loss of amenity to nearby sensitive uses.	The site is adjacent to two sensitive use to the north (106 and 108 High Street). Both 106 and 108 incorporate a business premises.  It is noted that the garage and back yard of 108 High Street is adjacent to the subject site and will therefore not be impacted by any activity on the site.

EXHIBITED

		It is noted that the residence immediately adjacent to the site will be separated from the diner by the 4m wide service lane.
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21.4 Development Standards

21.4.1 Siting, Design and Built Form

Objective To ensure that buildings are visually compatible with surrounding development.		
Acceptable Solution	Performance Criteria	Assessment
<p>A1 The entrance of a building must be:</p> <p>a) clearly visible from the road or publicly accessible areas on the site; and</p> <p>b) provide a safe access for pedestrians.</p>	<p>P1 No Performance Criteria</p>	<p>A1 The entrance is clearly visible and a disability access ramp will be provided.</p> <p><b>The proposal meets A1</b></p>
<p>A2 Building height must not exceed:</p> <p>a) 8m; or</p> <p>b) 1m greater than the average of the heights of buildings on immediately adjoining lots.</p>	<p>P2 Building height must:</p> <p>a) be consistent with the local area objectives if any, and have regard to the streetscape and</p> <p>b) the desirability of a greater setback for upper floors from the frontage; and</p> <p>c) avoid unreasonable levels of overshadowing to public places or adjoining properties.</p>	<p>A2 No change to the existing building height is proposed, the existing height is under 8m.</p> <p><b>The proposal meets A2</b></p>
<p>A3.1 Buildings must be: set back the same as or less than the setback of an immediately adjoining building;</p> <p>A3.2 Extensions or alterations to existing buildings must not reduce the existing setback.</p>	<p>P3 Building setbacks must:</p> <p>a) provide for enhanced levels of public interaction or public activity; and</p> <p>b) ensure the efficient use of the site; and</p> <p>c) be consistent with the established</p>	<p>A3.1 No change is proposed to the setbacks.</p> <p>A3.2 It is noted that both adjoining buildings have 0m setbacks.</p> <p><b>The proposal meets A3.1 and A3.2</b></p>

	setbacks within the immediate area and the same zone; and d) be consistent with the local area objectives, if any; and e) provide for emergency vehicle access.	
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**21.4.2 Subdivision - Not relevant.**

**Codes**

E1 BUSHFIRE HAZARD CODE - This code is not relevant.

E2 POTENTIALLY CONTAMINATED LAND CODE - Not Applicable, the use is not a sensitive use.

E3 LANDSLIP CODE - Not Applicable

**E4 ROAD AND RAILWAY ASSETS CODE**

E4.2.1 This code applies to use or development of land that:

- a) requires a new access, junction or level crossing; or
- b) intensifies the use of an existing access, junction or level crossing; or
- c) involves a sensitive use, a building, works or subdivision on or within 50 metres of a railway or land shown in this planning scheme as: i) a future road or railway; or ii) a category 1 or 2 road where such road is subject to a speed limit of more than 60 kilometres per hour.

**Response**

No access is proposed. The Midlands Highway adjacent to the site has a speed limit of 50kmhr. The code is therefore not applicable.

E5 FLOOD PRONE AREAS CODE - Not Applicable

**E6 CAR PARKING AND SUSTAINABLE TRANSPORT CODE**

The use of Food Services requires 1 space per 15m<sup>2</sup> of net floor area.

**E6.6 Use Standards**

**E6.6.1 Car Parking Numbers**

Objective
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To ensure that an appropriate level of car parking is provided to service use.		
Acceptable Solution	Performance Criteria	Assessment
<p>A1 The number of car parking spaces must not be less than the requirements of:</p> <p>a) Table E6.1; or                      b) a parking precinct plan contained in Table E6.6: Precinct Parking Plans (except for dwellings in the General Residential Zone).</p>	<p>P1 The number of car parking spaces provided must have regard to:</p> <p>a) the provisions of any relevant location specific car parking plan; and                      b) the availability of public car parking spaces within reasonable walking distance; and                      a) any reduction in demand due to sharing of spaces by multiple uses either because of variations in peak demand or by efficiencies gained by consolidation; and                      b) the availability and frequency of public transport within reasonable walking distance of the site; and                      c) site constraints such as existing buildings, slope, drainage, vegetation and landscaping; and                      d) the availability, accessibility and safety of on-road parking, having regard to the nature of the roads, traffic management and other uses in the vicinity; and                      e) an empirical assessment of the car parking demand; and                      f) the effect on streetscape, amenity and vehicle, pedestrian and cycle safety and convenience; and                      g) the recommendations of a traffic impact assessment</p>	<p>The net food services are is calculated to be 106m<sup>2</sup>. In accordance with Table 6.1, 7 carparking spaces are required.</p> <p>As no off street access is available the site cannot provide carparking.</p> <p>P1                      Many food services premises do not provide off street carparking.</p> <p>It is noted that on street carparking opportunities in the immediate area are good.</p> <p>A public carpark is also located behind the old post office, approximately 160m walking distance away.</p>

EXHIBITED

	<p>prepared for the proposal; and h) any heritage values of the site; and i) for residential buildings and multiple dwellings, whether parking is adequate to meet the needs of the residents having regard to: cxii) the size of the dwelling and the number of bedrooms; and cxiii) the pattern of parking in the locality; and cxiv) any existing structure on the land.</p>	
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E6.7 Development Standards – Not applicable

E7 SCENIC MANAGEMENT CODE – Not Applicable, this code does not apply to land in the General Business Zone.

E8 BIODIVERSITY CODE – Not Applicable

E9 WATER QUALITY CODE – Not Applicable

E10 RECREATION AND OPEN SPACE CODE – Not Applicable

E11 ENVIRONMENTAL IMPACTS AND ATTENUATION CODE – Not applicable

E12 AIRPORTS IMPACT MANAGEMENT CODE – Not Applicable

E13 HERITAGE CODE

E13.5 Use Standards – Not applicable

E13.6 Development Standards

E13.6.1 Demolition

E13.6.2 Subdivision and development density – Not applicable.

E13.6.3 Site Cover – Not applicable.

E13.6.4 Height and Bulk of Buildings

<p>Objective To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</p>
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EXHIBITED

Acceptable Solution	Performance Criteria	Assessment
A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.	A1 is not relevant as this is not a new building and no change is proposed to the height of the existing building.

E13.6.5 Fences - Not applicable.

E13.6.6 Roof Form and Materials

<p><b>Objective</b> To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</p>		
Acceptable Solution	Performance Criteria	Assessment
A1 Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Roof form and materials for new buildings and structures must: a) be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage	This is not a new building and no change is proposed to the sawtooth roof.  The roof cannot be seen behind the existing parapet.

EXHIBITED

	Precincts, if any.	
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E13.6.7 Wall materials

<p><b>Objective</b> To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</p>		
Acceptable Solution	Performance Criteria	Assessment
<p>A1 Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 Wall material for new buildings and structures must:</p> <ul style="list-style-type: none"> <li>a) be complementary to wall materials of the dominant buildings on the site or in the precinct; and</li> <li>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</li> </ul>	<p>The proposal does not involve a new building.</p>

E13.6.8 Siting of Buildings and Structures - Not applicable.

E13.6.9 Outbuildings and Structures - Not applicable.

E13.6.10 Access Strips and Parking - Not applicable.

E13.6.11 Places of Archaeological Significance - Not applicable.

E13.6.12 Tree and Vegetation Removal - Not applicable.

E13.6.13 Signage

<p><b>Objective</b> To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.</p>		
Acceptable Solution	Performance Criteria	Assessment
<p>A1 Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the property not greater than 0.2m<sup>2</sup>.</p>	<p>P1 New signs must be of a size and location to ensure that:</p> <ul style="list-style-type: none"> <li>a) period details, windows, doors and other architectural details are not covered or removed; and</li> <li>b) heritage fabric is not removed or destroyed through attaching signage; and</li> <li>c) the signage does not detract from the setting of a</li> </ul>	<p>Signage is proposed. The proposal relies upon P1, as signage proposed is greater than 0.2m<sup>2</sup>.</p> <ul style="list-style-type: none"> <li>a) there are no period details to be covered by signage;</li> <li>b) No heritage fabric will be removed or destroyed;</li> <li>c) The signage is complimentary to the style</li> </ul>

EXHIBITED

	heritage place or does not unreasonably impact on the view of the place from public viewpoints; and d) signage does not detract from meeting the management objectives of a precinct identified in Table E13.1:	of building and the former use as a garage. d) The signage does not affect the objectives in Table E13.1.
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E13.6.14 Maintenance and Repair

E14 COASTAL CODE - Not used in this planning scheme.

E15 SIGNAGE CODE

E15.5.2 Heritage Precincts

Objective To ensure that the design and siting of signs complement or enhance the streetscape of Heritage Precincts.		
Acceptable Solution	Performance Criteria	Assessment
A1 No acceptable solution	P1 If within the Heritage Precincts Specific Area Plan, shall be consistent with the Character Statements.	The signage is appropriate to the former use of the building. The location and size of the signage is complimentary to the façade of the building.

15.5.3 Design and siting of signage

Objective To ensure that the design and siting of signs complement or enhance the characteristics of the natural and built environment in which they are located.		
Building Fascia Sign		
Acceptable Solution	Performance Criteria	Assessment
A15 A building fascia sign must be located in the following zones: Community Purpose; or General Business (no permit required); or General Industrial; or Light Industrial; or Local Business (no permit required); or Village.	P15 No Performance Criteria	The proposal meets A15.

EXHIBITED



<p>A16 A building fascia sign, if contained wholly within the building fascia must: a) not project above or below the fascia of the building; and b) not exceed two-thirds the depth of the fascia band; and c) not exceed 950mm; and d) not project more than 200mm from the vertical face of the fascia; e) only be illuminated through the use of internal lighting, neon, or external spot-lighting sensitively designed to minimize glare and overspill of light; and f) not be flashing; and g) not extend over a window or significant architectural feature; and h) be in keeping with the design of the building.</p>	<p>P16 No Performance Criteria</p>	<p>The proposed signs are contained wholly within the fascia of the building.</p> <p>The size of the signage is: Car Silloutee - 4m x 950m; and Fifties Dinner - 2.66m x 950m.</p> <p>The signs will be illuminated by external spot lights.</p> <p>The signage does not obscure any architectural features and are typical for a garage. It is noted that historical photos of the building show signage was extensive.</p>
<p>A17 A building fascia sign, if not contained within the building fascia must: a) be limited to two signs on the front of the building; and b) together with any other signage, not cover more than 25% of the front of the building.</p>	<p>P17 No Performance Criteria</p>	<p>Not applicable.</p>
<p>A18 A building fascia sign, if not contained within the building fascia, must: a) have a maximum area of 15m<sup>2</sup>; and b) not be illuminated.</p>	<p>P18 PC exists but are not required.</p>	<p>Not applicable.</p>

Part F - Specific Area Plan

F2 Heritage Precincts Specific Area Plan F2.1 Purpose of Specific Area Plan F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a positive contribution to the streetscape within the Heritage Precincts.

F2.5 Standards for Development F2.5.1 Setbacks - No change to setbacks is proposed

F2.5.2 Orientation - No change to orientation

F2.5.3 Scale - Not applicable, a new building is not proposed.

EXHIBITED

F2.5.4 Roof Forms - the roof cannot be seen from the road.

F2.5.5 Plan Form - no change to the plan form is proposed

F2.5.6 External Walls

Objective To ensure that wall materials used are compatible with the streetscape.		
Acceptable Solution	Performance Criteria	Assessment
<p>A1.1 Materials used in additions must match those of the existing construction, except in additions to stone or brick buildings; and A1.2 External walls must be clad in: a) traditional bull-nosed timber weatherboards; if treated pine boards are used to replace damaged weatherboards they must be painted; thin profile compressed board weatherboards must not be used; or b) brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), including: <input type="checkbox"/> painted standard size bricks; or <input type="checkbox"/> standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or <input type="checkbox"/> standard brickwork rendered in traditional style; or <input type="checkbox"/> if a heritage-listed building, second-hand traditional local bricks. Heavily-tumbled clinker bricks must not be used; or c) concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted; d) concrete blocks in natural concrete finish must not be used.</p> <p>A1.3 Cladding materials designed to imitate traditional materials such as brick, stone and</p>	<p>P1 Wall materials must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the design, period of construction and materials of the dominant building on site; c) the dominant wall materials in the setting; and d) the streetscape.</p>	<p>Wall materials are compatible with the local heritage precinct.</p> <p>The proposal meets P1.</p>

EXHIBITED

weatherboards must not be used <sup>7</sup>		
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F2.5.7 Entrances and Doors

Objective To ensure that the form and detail of the front entry is consistent with the streetscape.		
A1.1 The position, shape and size of original door and window openings must be retained where they are prominent from public spaces; and A1.2 The front entrance location must be in the front wall facing the street, and be located within the central third of the front wall of the house; and A1.3 Modern front doors with horizontal glazing or similar styles must not be used (refer Figure F2.21).	P1 Entrances and doors must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the design, period of construction and materials of the dominant building on site; and c) the streetscape.	The proposed entrance faces the street and is located centrally.  The proposal meets the Acceptable Solution.

F2.5.8 Windows

Objective To ensure that window form and details <sup>8</sup> are consistent with the streetscape.		
Acceptable Solution	Performance Criteria	Assessment
A1 Window heads must be a minimum of 300mm below the eaves line, or match the existing.	P1 No acceptable solution	The proposal meets A1.
Solid-void ratio		
A2 Front façade windows must conform to the solid/void ratio (refer Figure F2.24 & F2.25).	P2 For commercial buildings, the solid/void ratio of front façade windows must be compatible with that of heritage-listed commercial buildings in the precinct.	The proposal meets A2.
Window sashes		
A3 Window sashes must be double hung, casement, awning or fixed appropriate to the period and style of the building (refer Figure F2.22 & F2.23).	P3 No Performance Criteria	Not applicable.
A4 Traditional style multi-pane sashes, when used, must conform to the	P4 No Performance Criteria	Not applicable.

EXHIBITED

traditional pattern of six or eight vertical panes per sash with traditional size and profile glazing bars.		
A5 Horizontally sliding sashes must not be used.	P5 No Performance Criteria	The proposal meets A5.
A6 Corner windows to front facades must not be used.	P6 No Performance Criteria	The proposal meets A6. No corner windows are proposed.
<b>Window Construction Materials</b>		
A7 Clear glass must be used.	P7 No Performance Criteria	The proposal meets A7. Clear glass is proposed.
A8 Reflective and tinted glass and coatings must not be used where visible from public places.	A8 No Performance Criteria.	The proposal meets A8. No window treatment is proposed.
A9 Additions to heritage-listed buildings must have timber window frames, where visible from public spaces.	P9 No Performance Criteria.	No Applicable.
A10 Painted aluminium must only be used where it cannot be seen from the street and in new buildings, or where used in existing buildings	P10 Window frames must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to the cultural heritage values of the local heritage place, its setting and the precinct.	The proposal meets A10.
A11 Glazing bars must be of a size and profile appropriate for the period of the building	P11 No performance criteria	The proposal meets A11.
A12 Stick-on aluminium glazing-bars must not be used	P12 No performance criteria	The proposal meets A12. No stick-on bars are proposed.
A13 All windows in brick or masonry buildings must have projecting brick or stone sills, or match the existing	P13 No performance criteria	Not applicable.
<b>French Doors, Bay Windows and Glass Panelling</b>		
A14 French doors and bay windows must be appropriate for the original building style and must be of a design reflected in buildings of a similar period.	P14 No performance criteria	Not applicable.

EXHIBITED

A15 Where two bay windows are required, they must be symmetrically placed.	P15 No performance criteria	Not applicable.
A16 Large areas of glass panelling must: a) Be divided by large vertical mullions to suggest a vertical orientation; and b) Be necessary to enhance the utility of the property or protect the historic fabric; and c) Not detract from the historic values of the original building.	P16 No performance criteria	Not applicable.

F2.5.9 Roof Covering - Not Applicable.

F2.5.10 Roof Plumbing - Not Applicable.

F2.5.11 Verandahs - Not Applicable. The original buildings did not have verandahs. No verandah is proposed.

F2.5.12 Architectural Details

Objective To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.		
Acceptable Solution	Performance Criteria	Assessment
Original Detailing		
A1 Original details and ornaments, such as architraves, fascias and mouldings, are an essential part of the building's character and must not be removed beyond the extent of any alteration, addition or extension.	P1 No performance criteria	No original details are proposed to be removed.  The proposal meets A1.
Non-original Detailing		
A2.1 Non-original elements must be consistent with the original architectural style of the dominant existing building on the site or, for vacant sites, be consistent with the existing streetscape; and A2.1 Non-original elements must not detract from or dominate the original qualities of the building, nor	P2 No performance criteria	The proposed treatment to the façade is consistent with the original use of the building as a mechanic and car sales. The original building was very plain. Inspiration has been taken from the town hall.  The proposal meets A2.1.

EXHIBITED

should they suggest a past use which is not historically accurate.		
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F2.5.13 Outbuildings – Not applicable

F2.5.14 Conservatories – Not applicable

F2.5.15 Fences and Gates – Not applicable

F2.5.16 Paint Colours

Objective To ensure that new colour schemes maintain a sense of harmony with the street or area in which they are located.		
Acceptable Solution	Performance Criteria	Assessment
A1.1 Colour schemes must be drawn from heritage listed buildings within the precinct; or A1.2 Colour schemes must be drawn from the following: a) Walls – Off white, creams, beige, tans, fawn and ochre. b) Window & Door frames – white, off white, Indian red, light browns, tans, olive green and deep Brunswick green. c) Fascia & Barge Boards – white, off white Indian red, light browns, tans, olive green and deep Brunswick green d) Roof & Gutters – deep Indian red, light and dark grey.	P1 Colour schemes must be compatible with the local historic heritage of the local heritage place or precinct having regard to the character and appearance of the existing place or precinct.	The colour scheme meets the requirements of A1.2.
A2 There must be a contrast between the wall colour and trim colours.	P2 No performance criteria	The proposal meets A2.
A3 Previously unpainted brickwork must not be painted, except in the case of post-1960 buildings.	P3 No performance criteria	The proposal meets A3.

F2.5.17 Lighting

Objective To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape		
Acceptable Solution	Performance Criteria	Assessment
A1 Wiring or conduit to new lighting is not located	P1 No performance criteria	The proposal meets A1.

EXHIBITED

on the front face of a building.		
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F2.5.18 Maintenance and Repair - Not applicable

F2.6 Use Standards

F2.6.1 Alternative Use of heritage buildings - Not applicable the proposed use is permitted in the zone.

## 5. Conclusion

The proposed Fifties Dinner will be a great inclusion into the food offering within Campbelltown. The proposal allows for the adaptive re-use of Foxes Garage, which will still acknowledge the history of the site.

The use of Foods Services is a permitted use. The proposal is discretionary largely due to being located within the Campbell Town Local Heritage Precinct and Carparking. The proposed development has demonstrated that it meets the Performance Criteria of the relevant clauses of the Northern Midlands Interim Planning Scheme 2013 and should therefore be approved in accordance with Section 57 of the Land Use Planning and Approvals Act 1993.

EXHIBITED

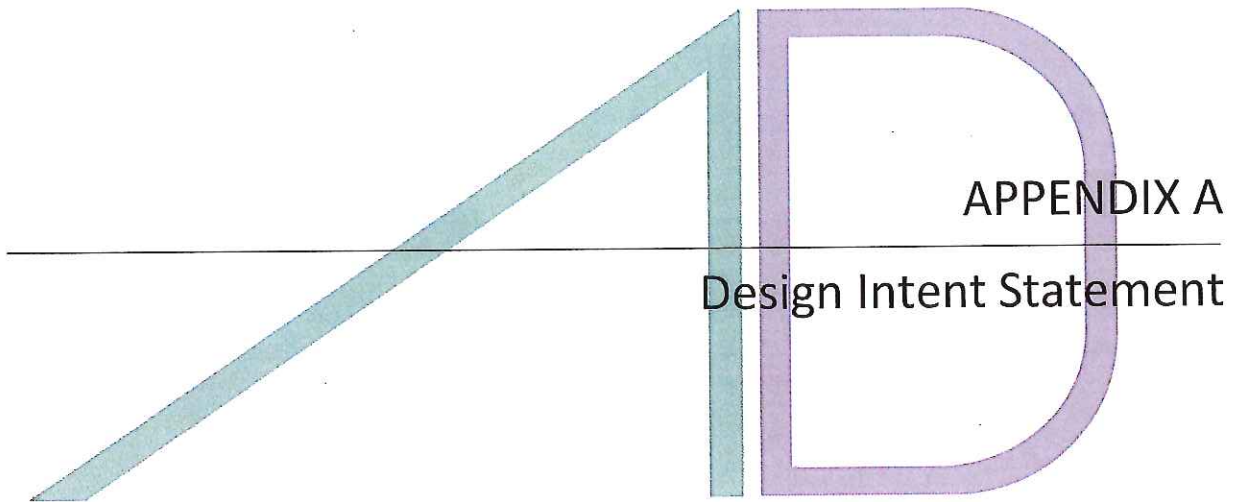
Appendix A: Certificate of Titles

EXHIBITED



Appendix B: Site Plan & Elevation

EXHIBITED

A large, stylized version of the 'AD' logo is centered on the page. The 'A' is light blue and the 'D' is purple. A horizontal line passes through the middle of the letters. The text 'APPENDIX A' is positioned above the line and 'Design Intent Statement' is positioned below it.

APPENDIX A  
Design Intent Statement

EXHIBITED

D2

## Art Deco inspired 60's Diner

110 High St, Campbell Town

Characteristics of the proposed re-design of the property at 110 High St, Campbell town are inspired by structures of the garage and diners of the classic style moderne period, otherwise known as Art Deco. It's rectangular blocky form is often broken by ornamental elements, with the aim of achieving a monolithic appearance with applied motifs.

Directly inspired by our client's experience of former and current structures of Campbell Town. These include the local Town Hall (image below) and their love of Route 66 diners and Structures.



Our aim for the redevelopment was to modernise the aesthetics of the Former Campbell Town Garage, providing a redecoration that both aims to connect the structures former use, locality and proposed use.

It has also been determined the existing building façade contains Asbestos, concerns therefore directed our client's course of action to redesign the building fabric.

### **Materiality**

Art Deco materials included:

- stucco,
- concrete,
- smooth-faced stone, and
- Terracotta.

Please refer Architectural Drawings for further detail.

### **Fenestration**

- Steel
- Aluminium

The above were often used along with glass blocks and decorative opaque plate glass (vitrolite).

### **Roof**

Although we are maintaining the existing Sawtooth to keep part there-of the industrial feel of the internal space, our intent with the façade & parapet treatment is to provide a new skyline that will align with the proposed style. The use of pilasters and decorative treatment to the entrance project the facade vertically.

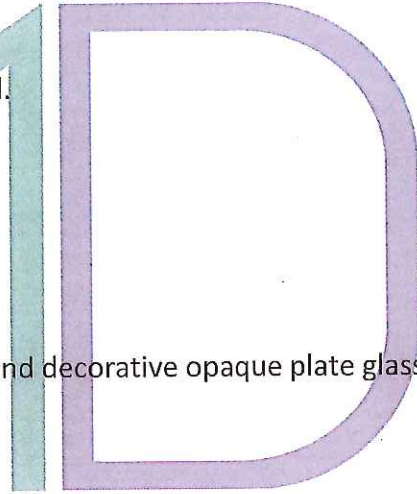
Typically, Art Deco uses adorned roofs with parapets, spires, or tower-like constructs to accentuate a corner or entrance. Decorative motifs were added to further enhance the design

### **Windows**

Window appears as if a punctured square opening, this is to maintain a streamlined appearance for the building.

### **Entrance**

Doorway is surrounded with elaborate pilasters and pediments, and door surrounds are embellished.



NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN  
DATE: 03.09.2018  
REF NO: PLN-18-0210; 302300.31  
SITE: 110 High Street, Campbell Town  
PROPOSAL: Change of Use to Food Services, Alterations & Signage  
(heritage precinct)  
APPLICANT: Metier Planning & Development  
REASON FOR REFERRAL: HERITAGE PRECINCT  
*Local Historic Heritage Code*  
*Heritage Precincts Specific Area Plan*

Do you have any objections to the proposal: No

Do you have any other comments on this application?

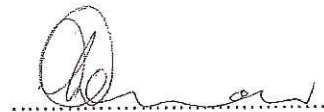
The existing former garage building allows for this Art Deco style adaptation.

I recommend that the two projecting parapet graphic signs be deleted or repositioned so as not to project above the top line of the building façade parapet.

*Email referral as word document to David Denman - [denmanarchitects@bigpond.com](mailto:denmanarchitects@bigpond.com)*


*Attach public exhibition documents*

*Subject line: Heritage referral PLN18-0210 – 110 High Street Campbell Town*



David Denman (Heritage Adviser)

Date: 20/9/2018



**Assessment against E13.0 (Local Historic Heritage Code)**
**E13.1 Purpose**

E13.1.1 The purpose of this provision is to:

- a) protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and
- b) encourage and facilitate the continued use of these items for beneficial purposes; and
- c) discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and
- d) ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and
- e) conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place

**E13.2 Application of the Code**

E13.2.1 This code applies to use or development of land that is:

- a) within a Heritage Precinct;
- b) a local heritage place;
- c) a place of identified archaeological significance.

**E13.3 Use or Development Exempt from this Code**

E13.3.1 The following use or development is exempt from this code:

- a) works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunication cables and gas lines to individual buildings;
- c) internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;
- d) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- e) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- f) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- g) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

Comment:

The subject site is within a Heritage Precinct.

**E13.5 USE STANDARDS**
**E13.5.1 Alternative Use of heritage buildings**

*Objective: To ensure that the use of heritage buildings provides for their conservation.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable solution.	<p>P1 Notwithstanding Clause 8.9, a permit may be granted for any use of a locally listed heritage place where:</p> <ul style="list-style-type: none"> <li>a) it can be demonstrated that the proposed use will not adversely impact on the significance of a heritage place; and</li> <li>b) the amenity impacts of both the proposed use on the surrounding areas and from the surrounding area on the proposed use are considered acceptable; and</li> <li>c) a report by heritage professional states that it is necessary for conservation purposes or the continued maintenance of the building or where there is an overriding public benefit.</li> </ul>

Comment: N/a

**E13.6 DEVELOPMENT STANDARDS**

**E13.6.1 Demolition**

*Objective: To ensure that the demolition or removal of buildings and structures does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Removal of non-original cladding to expose original cladding.	<p>P1.1 Existing buildings, parts of buildings and structures must be retained except:</p> <ul style="list-style-type: none"> <li>a) where the physical condition of place makes restoration inconsistent with maintaining the cultural significance of a place in the long term; or</li> <li>b) the demolition is necessary to secure the long-term future of a building or structure through renovation, reconstruction or rebuilding; or</li> <li>c) there are overriding environmental, economic considerations in terms of the building or practical considerations for its removal, either wholly or in part; or</li> <li>d) the building is identified as non-contributory within a precinct identified in Table E13.1: Heritage Precincts, if any; and</li> </ul> <p>P1.2 Demolition must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

**E13.6.2 Subdivision and development density**

*Objective: To ensure that subdivision and development density does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable	P1 Subdivision must:

solution.	<ul style="list-style-type: none"> <li>a) be consistent with and reflect the historic development pattern of the precinct or area; and</li> <li>b) not facilitate buildings or a building pattern unsympathetic to the character or layout of buildings and lots in the area; and</li> <li>c) not result in the separation of building or structures from their original context where this leads to a loss of historic heritage significance; and</li> <li>d) not require the removal of vegetation, significant trees of garden settings where this is assessed as detrimental to conserving the historic heritage significance of a place or heritage precinct; and</li> <li>e) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</li> </ul>
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Comment: N/a

**E13.6.3 Site Cover**

<i>Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.</i>	
<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1 The site coverage must:</p> <ul style="list-style-type: none"> <li>a) be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and</li> <li>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</li> </ul>

Comment: N/a

**E13.6.4 Height and Bulk of Buildings**

<i>Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and</p> <p>P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and</p> <p>P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>



Comment: N/a

#### **E13.6.5 Fences**

<i>Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 <i>New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>New fences must:</i> a) <i>be designed to be complementary to the architectural style of the dominant buildings on the site or</i> b) <i>be consistent with the dominant fencing style in the heritage precinct; and</i> c) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: N/a

#### **E13.6.6 Roof Form and Materials**

<i>Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 <i>Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>Roof form and materials for new buildings and structures must:</i> a) <i>be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and</i> b) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: N/a

#### **E13.6.7 Wall materials**

<i>Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 <i>Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>Wall material for new buildings and structures must:</i> a) <i>be complementary to wall materials of the dominant buildings on the site or in the precinct; and</i> b) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: Satisfies the performance criteria.

**E13.6.8 Siting of Buildings and Structures**

*Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The front setback for new buildings or structure must: a) be consistent with the setback of surrounding buildings; and b) be set at a distance that does not detract from the historic heritage significance of the place; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

**E13.6.9 Outbuildings and Structures**

*Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Outbuildings and structures must be: a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New outbuildings and structures must be designed and located; a) to be subservient to the primary buildings on the site; and b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

**E13.6.10 Access Strips and Parking**

*Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Car parking areas for non-residential purposes must be: a) located behind the primary buildings on the site; or b) in accordance with the acceptable	P1 Car parking areas for non-residential purposes must not: a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the

development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.	setting of a building or its historic heritage significance; and b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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Comment: N/a

#### **E13.6.11 Places of Archaeological Significance**

*Objective: To ensure that places identified in Table E13.3 as having archaeological significance are appropriately managed.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable solution.	P1 For works impacting on places listed in Table E13.3: a) it must be demonstrated that all identified archaeological remains will be identified, recorded and conserved; and b) details of survey, sampling and recording techniques technique be provided; and c) that places of identified historic heritage significance will not be destroyed unless there is no prudent and feasible alternative.

Comment: N/a

#### **E13.6.12 Tree and Vegetation Removal**

*Objective: To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable solution.	P1 The removal of vegetation must not: a) unreasonably impact on the historic cultural significance of the place; and b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

#### **E13.6.13 Signage**

*Objective: To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the property not greater	P1 New signs must be of a size and location to ensure that: a) period details, windows, doors and other architectural details are not covered or removed; and b) heritage fabric is not removed or destroyed through attaching signage; and c) the signage does not detract from the setting of a heritage place or does not unreasonably impact on the view of the place from public viewpoints; and

than 0.2m <sup>2</sup> .	d) signage does not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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**Comment:** I recommend the signs be reduced in size and the colours softened. The two flying horse signs on the top of the parapet removed.

**E13.6.14 Maintenance and Repair**

<i>Objective</i> To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the <u>historic cultural heritage significance</u> of local heritage places and precincts.
<b>Acceptable Solution</b>
New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.

**Comment:** Satisfies the performance criteria.

**Table E13.1: Local Heritage Precincts**

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

<b>Existing Character Statement - Description and Significance</b>
<p><b>EVANDALE HERITAGE PRECINCT CHARACTER STATEMENT</b></p> <p>The Evandale Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, with its rich and significant built fabric and village atmosphere. Its historic charm, tree lined streets and quiet rural setting all contribute to its unique character. Its traditional buildings are an impressive mix of nineteenth and early twentieth century architectural styles while its prominent elements are its significant trees, the Water Tower and the Church spires. The original street pattern is an important setting for the Precinct, with views along traditional streetscapes, creating an historic village atmosphere that is still largely intact. Period residential buildings, significant trees, picket fences, hedgerows and cottage gardens are all complementary, contributing to the ambience of a nineteenth century village. The main roads into and out of Evandale create elevated views to the surrounding countryside which give context to the town and the Precinct, and contribute to its character. The quiet village feel of the town is complemented by a mix of businesses meeting local needs, tourism and historic interpretation. Evandale's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.</p> <p><b>ROSS HERITAGE PRECINCT CHARACTER STATEMENT</b></p> <p>The Ross Heritage Precinct is unique because it is the intact core of a nineteenth century townscape, with its rich and significant built fabric and the village atmosphere. Its historic charm, wide tree lined streets and quiet rural environment all contribute to its unique character. Its traditional buildings comprise simple colonial forms that are predominantly one storey, while the prominent elements are its significant trees and Church spires. Most commercial activities are located in Church Street as the main axis of the village, which directs attention to the War Memorial and the Uniting Church on the hill. The existing and original street pattern creates linear views out to the surrounding countryside. The quiet rural feel of the township is complemented by a mix of businesses serving local needs, tourism and historic interpretation.</p>

*Ross' heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.*

**PERTH HERITAGE PRECINCT CHARACTER STATEMENT**

*The Perth Heritage Precinct is unique because it is still the core of a small nineteenth century riverside town, built around the thoroughfare from the first bridge to cross the South Esk River, and which retains its historic atmosphere. It combines significant colonial buildings, compact early river's edge residential development, and retains the small-scale commercial centre which developed in the nineteenth century at the historic crossroads and river crossing for travel and commerce between Hobart, Launceston and the North West. Perth's unique rural setting is complemented by its mix of businesses still serving local and visitor's needs. Perth's heritage ambience is acknowledged by many of those who live in or visit the town, and will be enhanced by the eventual construction of the Midland Highway bypass.*

**LONGFORD HERITAGE PRECINCT CHARACTER STATEMENT**

*The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland, creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.*

**CAMPBELL TOWN HERITAGE PRECINCT CHARACTER STATEMENT**

*The Campbell Town Heritage Precinct is unique because it is the core of a substantially intact nineteenth century townscape, with its significant built fabric, and its atmosphere of a traditional resting place on the main road between the north and south. Its wide main street, historic buildings and resting places for travellers all contribute to its unique character. High Street has remained as the main commercial focus for the town, continuing to serve the needs of residents, visitors and the agricultural community. The War Memorial to the north marks the approach to the business area which terminates at the historic bridge over the Elizabeth River; a significant landscape feature. Traditional buildings in the Precinct include impressive examples of colonial architecture. The historic Valentine's Park is the original foreground for 'The Grange' and provides a public outdoor resting place for visitors and locals at the heart of the town. Campbell Town's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.*

**Management Objectives**

*To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.*

*To ensure developments within street reservations in the towns and villages having Heritage Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.*

**Comment:** The proposal is consistent with the Heritage Precinct Character Statement and satisfies the Management Objectives. Subject to a review of the signage and colours..

<b>Assessment against F2.0 (Heritage Precincts Specific Area Plan)</b>
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**F2.1 Purpose of Specific Area Plan**

F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a **positive contribution to the streetscape** within the Heritage Precincts.

**F2.2 Application of Specific Area Plan**

F2.2.1 This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.

F2.2.2 The following development is exempt from this Specific Area Plan:

- a) works required to comply with an Emergency Order issued under section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunications cables, and water, sewerage, drainage connections and gas lines to individual buildings;
- c) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- d) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- e) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead wood, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- f) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

**F2.3 Definitions****F2.3.1 Streetscape**

For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

**F2.3.2 Heritage-Listed Building**

For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

**F2.4 Requirements for Design Statement**

F2.4.1 In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.

F2.4.2 The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.

F2.4.3 *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

Comment: **The subject site is within the Heritage Precincts Specific Area Plan and a design statement was provided.**



**F2.5 STANDARDS FOR DEVELOPMENT**

**F2.5.1 Setbacks**

*Objective: To ensure that the predominant front setback of the existing buildings in the streetscape is maintained, and to ensure that the impact of garages and carports on the streetscape is minimised.*

**Acceptable Solutions & performance criteria**

<p>A1 The predominant front setback as identified in the design statement must be maintained for all new buildings, extensions, alterations or additions (refer Figure F2.4 &amp; F2.8).</p>	<p>P1 The front setback must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <ul style="list-style-type: none"> <li>a) the cultural heritage values of the local heritage place, its setting and the precinct;</li> <li>b) the topography of the site;</li> <li>c) the size, shape, and orientation of the lot;</li> <li>d) the setbacks of other buildings in the surrounding area;</li> <li>e) the historic cultural heritage significance of adjacent places; and</li> <li>f) the streetscape.</li> </ul>
<p>A2 New carports and garages, whether attached or detached, must be set back a minimum of 3 metres behind the line of the front wall of the house which it adjoins (refer Figure F2.3, &amp; F2.7).</p>	<p>P2 The setback of new carports and garages from the line of the front wall of the house which it adjoins must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <ul style="list-style-type: none"> <li>a) the cultural heritage values of the local heritage place, its setting and the precinct;</li> <li>b) the topography of the site;</li> <li>c) the size, shape, and orientation of the lot;</li> <li>d) the setbacks of other buildings in the surrounding area;</li> <li>e) the historic cultural heritage significance of adjacent places; and</li> <li>f) the streetscape.</li> </ul>
<p>A3 Side setback reductions must be to one boundary only, in order to maintain the appearance of the original streetscape spacing.</p>	<p>P3 Side setbacks must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <ul style="list-style-type: none"> <li>a) the cultural heritage values of the local heritage place, its setting and the precinct;</li> <li>b) the topography of the site;</li> <li>c) the size, shape, and orientation of the lot;</li> <li>d) the setbacks of other buildings in the surrounding area;</li> <li>e) the historic cultural heritage significance of adjacent places; and</li> <li>f) the streetscape.</li> </ul>

**Comment:** No change to the existing setback

**F2.5.2 Orientation**

*Objective: To ensure that new buildings, extensions, alterations and additions respect the established predominant orientation within the streetscape.*

**Acceptable Solutions & performance criteria**

<p>A1 All new buildings, extensions, alterations or additions must be orientated:</p> <p>a) perpendicular to the street frontage (refer Figure F2.5, F2.6, &amp; F2.8); or</p> <p>b) Where the design statement identifies that the predominant orientation of buildings within the street is other than perpendicular to the street, to conform to the established pattern in the street; and</p> <p>c) A new building must not be on an angle to an adjoining heritage-listed building (refer Figure F2.5).</p>	<p>P1 Orientation of all new buildings, extensions, alteration or additions must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <p>a) the cultural heritage values of the local heritage place, its setting and the precinct;</p> <p>b) the topography of the site;</p> <p>c) the size, shape, and orientation of the lot;</p> <p>d) the setbacks of other buildings in the surrounding area;</p> <p>e) the historic cultural heritage significance of adjacent places; and</p> <p>f) the streetscape.</p>
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Comment: Meets the Acceptable Solutions.

**F2.5.3 Scale**

*Objective: To ensure that all new buildings respect the established scale of buildings in the streetscape, adhere to a similar scale, are proportional to their lot size and allow an existing original main building form to dominate when viewed from public spaces.*

**Acceptable Solutions (no performance criteria)**

A1 Single storey developments must have a maximum height from floor level to eaves of 3 metres (refer Figure F2.14).

A2 Where a second storey is proposed it must be incorporated into the roof space using dormer windows, or roof windows, or gable end windows, so as not to detract from original two storey heritage-listed buildings (refer Figure F2.13 & F2.15).

A3 Ground floor additions located in the area between the rear and front walls of the existing house must not exceed 50% of the floor area of the original main house.

Comment: The height of the new faced projection is sympathetic with the adjoining building.

**F2.5.4 Roof Forms**

*Objective: To ensure that the roof form and elements respect those of the existing main building and the streetscape.*

**Acceptable Solutions & performance criteria**

A1.1 The roof form for new buildings,	P1 The roof form of all new buildings, extensions,
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<p>extensions, alterations, and additions must, if visible from the street, be in the form of hip or gable, with a pitch between 25 – 40 degrees (refer Figure F2.14 &amp; F2.18), or match the existing building, and</p> <p>A1.2 Eaves overhang must be a maximum of 300mm excluding guttering, or match the existing building.</p>	<p>alteration or additions must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <p>a) the cultural heritage values of the local heritage place, its setting and the precinct;</p> <p>b) the design, period of construction and materials of the dominant building on site;</p> <p>c) the dominant roofing style and materials in the setting; and</p> <p>d) the streetscape.</p>
<p>A2 Where there is a need to use the roof space, dormer windows are acceptable and must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant (refer Figure F2.15).</p>	
<p>A3 Where used, chimneys must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant.</p>	
<p>A4 Metal cowls must not be used where they will be seen from the street.</p>	

**Comment:** Existing roof form to be retained behind front parapet.

**F2.5.5 Plan Form**

*Objective:* To ensure that new buildings, alterations, additions and extensions respect the setting, original plan form, shape and scale of the existing main building on the site or of adjoining heritage-listed buildings.

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1.1 Alterations and additions to pre-1940 buildings must retain the original plan form of the existing main building; or</p> <p>A1.2 The plan form of additions must be rectilinear or consistent with the existing house design and dimensions.</p>	<p>P1 Original main buildings must remain visually dominant over any additions when viewed from public spaces.</p>
<p>A2 The plan form of new buildings must be rectilinear (refer Figure F2.9).</p>	<p>P2 No performance criteria</p>

**Comment:** Existing plan form to be retained.

**F2.5.6 External Walls**

*Objective:* To ensure that wall materials used are compatible with the streetscape.

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1.1 Materials used in additions must match those of the existing construction, except in additions to stone or brick buildings; and</p> <p>A1.2 External walls must be clad in:</p> <p>a) traditional bull-nosed timber weatherboards; if treated pine boards are used to replace damaged weatherboards they must be painted; thin profile compressed board weatherboards must not be used; or</p> <p>b) brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), including:</p>	<p>P1 Wall materials must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p>

<ul style="list-style-type: none"> <li>• painted standard size bricks; or</li> <li>• standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or</li> <li>• standard brickwork rendered in traditional style; or</li> <li>• if a heritage-listed building, second-hand traditional local bricks.</li> </ul> <p>Heavily-tumbled clinker bricks must not be used; or</p> <p>c) concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted;</p> <p>d) concrete blocks in natural concrete finish must not be used.</p> <p>A1.3 Cladding materials designed to imitate traditional materials such as brick, stone and weatherboards must not be used.</p>	<p>a) the cultural heritage values of the local heritage place, its setting and the precinct;</p> <p>b) the design, period of construction and materials of the dominant building on site;</p> <p>c) the dominant wall materials in the setting; and</p> <p>d) the streetscape.</p>
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Comment: Meets the Performance Criteria

**F2.5.7 Entrances and Doors**

<p><i>Objective: To ensure that the form and detail of the front entry is consistent with the streetscape.</i></p>	
<p><b>Acceptable Solutions &amp; performance criteria</b></p>	
<p>A1.1 The position, shape and size of original door and window openings must be retained where they are prominent from public spaces; and</p>	<p>P1 Entrances and doors must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p>
<p>A1.2 The front entrance location must be in the front wall facing the street, and be located within the central third of the front wall of the house; and</p>	<p>a) the cultural heritage values of the local heritage place, its setting and the precinct;</p>
<p>A1.3 Modern front doors with horizontal glazing or similar styles must not be used (refer Figure F2.21).</p>	<p>b) the design, period of construction and materials of the dominant building on site; and</p> <p>c) the streetscape.</p>

Comment: Meets the Performance Criteria

**F2.5.8 Windows**

<p><i>Objective: To ensure that window form and details are consistent with the streetscape.</i></p>	
<p><b>Acceptable Solutions &amp; performance criteria</b></p>	
<p>A1 Window heads must be a minimum of 300mm below the eaves line, or match the existing.</p>	
<p><b>Solid-void ratio</b></p>	
<p>A2 Front façade windows must conform to the solid/void ratio (refer Figure F2.24 &amp; F2.25).</p>	<p>P2 For commercial buildings, the solid/void ratio of front façade windows must be compatible with that of heritage-listed commercial buildings in the precinct.</p>
<p><b>Window sashes</b></p>	
<p>A3 Window sashes must be double hung, casement, awning or fixed appropriate to the period and style of the building (refer Figure F2.22 &amp; F2.23).</p>	
<p>A4 Traditional style multi-pane sashes, when used, must conform to the traditional pattern of six or</p>	

<i>eight vertical panes per sash with traditional size and profile glazing bars.</i>	
A5 <i>Horizontally sliding sashes must not be used.</i>	
A6 <i>Corner windows to front facades must not be used.</i>	
<b>Window Construction Materials</b>	
A7 <i>Clear glass must be used.</i>	
A8 <i>Reflective and tinted glass and coatings must not be used where visible from public places.</i>	
A9 <i>Additions to heritage-listed buildings must have timber window frames, where visible from public spaces.</i>	
A10 <i>Painted aluminium must only be used where it cannot be seen from the street and in new buildings, or where used in existing buildings</i>	P10 <i>Window frames must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to the cultural heritage values of the local heritage place, its setting and the precinct.</i>
A11 <i>Glazing bars must be of a size and profile appropriate for the period of the building</i>	
A12 <i>Stick-on aluminium glazing-bars must not be used</i>	
A13 <i>All windows in brick or masonry buildings must have projecting brick or stone sills, or match the existing.</i>	
<b>French Doors, Bay Windows and Glass Panelling</b>	
A14 <i>French doors and bay windows must be appropriate for the original building style and must be of a design reflected in buildings of a similar period.</i>	
A15 <i>Where two bay windows are required, they must be symmetrically placed.</i>	
A16 <i>Large areas of glass panelling must:</i>	
a) <i>Be divided by large vertical mullions to suggest a vertical orientation; and</i>	
b) <i>Be necessary to enhance the utility of the property or protect the historic fabric; and</i>	
c) <i>Not detract from the historic values of the original building.</i>	

**Comment:** *The existing building style and previous vehicle garage use accommodate the proposed new window and door styles.*

### **F2.5.9 Roof Covering**

<i>Objective: To ensure that roof materials are compatible with the streetscape.</i>
<b>Acceptable Solutions (no performance criteria)</b>
A1.1 <i>Roofing of additions, alterations and extensions must match that of the existing building; and</i>
A1.2 <i>Roof coverings must be:</i>
a) <i>corrugated iron sheeting in grey tones, brown tones, dark red, or galvanized iron</i>
or
b) <i>slate or modern equivalents, shingle and low-profile tiles, where compatible with the style and period of the main building on the site and the setting. Tile colours must be:</i>
• <i>dark gray; or</i>
• <i>light grey; or</i>
• <i>brown tones; or</i>
• <i>dark red;</i>
or
c) <i>traditional metal tray tiles where compatible with the style and period of the main building on the site.</i>

d) for additions, alterations and extensions, match that of the existing building.
A2 Must not be klip-lock steel deck and similar high rib tray sheeting.
<b>Comment: The roof is not seen from the street.</b>

#### F2.5.10 Roof Plumbing

<i>Objective: To ensure that roof plumbing and fittings are compatible with the streetscape.</i>
<b>Acceptable Solutions (no performance criteria)</b>
A1.1 Gutters must be OG, D mould, or Half Round profiles (refer Figure F2.26), or match the existing guttering; and
A1.2 Downpipes must be zincalume natural, colorbond round, or PVC round painted.
A2 Downpipes must not be square-line gutter profile or rectangular downpipes (refer Figure F2.27), or match the existing downpipes.
<b>Comment: Not seen from the street.</b>

#### F2.5.11 Verandahs

<i>Objective: To ensure that traditional forms of sun and weather protection are used, consistent with the streetscape.</i>	
<b>Acceptable Solutions &amp; performance criteria</b>	
<b>Original Verandahs</b>	
A1 Original verandahs must be retained.	
<b>Replacement of Missing Verandahs</b>	
A2.1 The replacement of a missing verandah must be consistent with the form and detail of the original verandah; or	P2 Verandahs must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the design, period of construction and materials of the dominant building on site; and c) the streetscape.
A2.2 If details of the original verandah are not available:	
a) The verandah roof must join the wall line below the eaves line of the building (refer Figure F2.19); and b) Verandah posts and roof profile must be consistent with that in use by the surrounding buildings of a similar period.	
<b>New Verandahs</b>	
A3 A new verandah, where one has not previously existed, must be consistent with the design and period of construction of the dominant existing building on the site or, for vacant sites, those of the dominant design and period within the precinct.	
<b>Comment: No verandahs are proposed.</b>	

#### F2.5.12 Architectural Details

<i>Objective: To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.</i>	
<b>Acceptable Solutions (no performance criteria)</b>	
<b>Original Detailing</b>	
A1 Original details and ornaments, such as architraves, fascia's and mouldings, are an essential part of the building's character and must not be removed beyond the extent of any alteration,	

addition or extension.

**Non-original Detailing**

A2.1 Non-original elements must be consistent with the original architectural style of the dominant existing building on the site or, for vacant sites, be consistent with the existing streetscape; and

A2.1 Non-original elements must not detract from or dominate the original qualities of the building, nor should they suggest a past use which is not historically accurate.

Comment: The art deco style detailing is complimentary with the other building style in the streetscape.

**F2.5.13 Outbuildings**

*Objective: To ensure that outbuildings do not reduce the dominance of the original building or distract from its period character.*

**Acceptable Solutions & performance criteria**

A1 The roof form of outbuildings must, if visible from the street, be in the form of hip or gable, with a maximum span of 6.5m and a pitch between 22.5 – 40 degrees.

P1 The roof form of outbuildings, if visible from the street, must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:

- a) the cultural heritage values of the local heritage place, its setting and the precinct;
- b) the design, period of construction and materials of the dominant building on site;
- c) the dominant roofing style and materials in the setting; and
- d) the streetscape.

A2 Outbuildings must be designed, in both scale and appearance, to be subservient to the primary buildings on the site.

A3 Outbuildings must not be located in front of existing heritage-listed buildings, and must be setback a minimum of 3 metres behind the line of the front wall of the house that is set furthest back from the street (refer Figure F2.1 & F2.3).

A4 Any garage, including those conjoined to the main building, must be designed in the form of an outbuilding, with an independent roof form.

A5 Those parts of Outbuildings visible from the street must be consistent, in both materials and style, with those of any existing heritage-listed building on-site.

A6 Where visible from the street, the eaves height of outbuildings must not exceed 3m and the roof form and pitch must be the same as that of the main house.

Comment: N/A

**F2.5.14 Conservatories**

*Objective: To ensure new conservatories respect traditional location, form and construction.*

**Acceptable Solutions (no performance criteria)**

A1 Conservatories must not be located at the front of a building.

A2 The scale, form, materials, and colours of a conservatory addition must respect the established

style and period of the existing building.

Comment: N/A

### F2.5.15 Fences and Gates

**Objective:** To ensure that original fences are retained and restored where possible and that the design and materials of any replacement complement the setting and the architectural style of the main building on the site.

#### Acceptable Solutions & performance criteria

<p>A1.1 Replacement of front fence must be in the same design, materials and scale; or A1.2</p>	<p>P1 Fences must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p>
<p>a) Front fence must be a timber vertical picket, masonry to match the house, heritage style woven wire, galvanized tubular fencing, other than looped, or iron palisade fence with a maximum height of 1500mm. b) Side and rear fences must be vertical timber palings to a maximum height of 1800mm.</p>	<p>a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the architectural style of the dominant building on the site; c) the dominant fencing style in the setting; and d) the original or previous fences on the site.</p>

A2 Gates must match the fence, both in materials and design.

A3 Screen fences used to separate the front garden from the rear of the house must be of timber or lattice.

A4 Fences must not be:

- a) horizontal or diagonal timber slat fences; or
- b) plastic covered wire mesh; or
- c) flat metal sheet or corrugated sheets; or
- d) plywood and cement sheet.

Comment: N/A

### F2.5.16 Paint Colours

**Objective:** To ensure that new colour schemes maintain a sense of harmony with the street or area in which they are located.

#### Acceptable Solutions & performance criteria

<p>A1.1 Colour schemes must be drawn from heritage-listed buildings within the precinct; or A1.2 Colour schemes must be drawn from the following:</p> <ul style="list-style-type: none"> <li>a) Walls – Off white, creams, beige, tans, fawn and ochre.</li> <li>b) Window &amp; Door frames – white, off white, Indian red, light browns, tans, olive green and deep Brunswick green.</li> <li>c) Fascia &amp; Barge Boards - white, off white Indian red, light browns, tans, olive green and deep Brunswick green</li> <li>d) Roof &amp; Gutters – deep Indian red, light and dark grey.</li> </ul>	<p>P1 Colour schemes must be compatible with the local historic heritage significance of the local heritage place or precinct having regard to the character and appearance of the existing place or precinct.</p>
<p>A2 There must be a contrast between the wall colour and trim colours.</p>	



A3 *Previously unpainted brickwork must not be painted, except in the case of post-1960 buildings.*

Comment: It is recommended that a condition be included that the final colour scheme is to be approved by Council's Heritage Adviser

**F2.5.17 Lighting**

*Objective: To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape*

**Acceptable Solutions (no performance criteria)**

A1 *Wiring or conduit to new lighting is not located on the front face of a building.*

Comment: Meets the Acceptable Solutions

Comment: Meets the Acceptable Solutions, but a condition is required.

Comment: Meets the Performance Criteria

**F2.5.18 Maintenance and Repair**

*Objective: To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the historic cultural heritage significance of heritage precincts.*

**Acceptable Solution (no performance criteria)**

*New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.*

Comment: Meets the Acceptable Solutions

Comment: Meets the Acceptable Solutions, but a condition is required.

**F2.6 USE STANDARDS**

**F2.6.1 Alternative Use of heritage buildings**

*Objective: To ensure that the use of heritage buildings provides for their conservation.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 <i>No acceptable solution.</i>	P1 <i>Notwithstanding Clause 8.9, a permit may be granted for any use of a building listed in table F2.1 where:</i> a) <i>it can be demonstrated that the proposed use will not adversely impact on the significance of a heritage place; and</i> b) <i>the amenity impacts of both the proposed use on the surrounding areas and from the surrounding area on the proposed use are considered acceptable; and</i> c) <i>a report by heritage professional states that it is necessary for conservation purposes or the continued maintenance of the building or where there is an overriding public benefit.</i>

Comment: Meets the Performance Criteria

**E15.0 Signs Code**

**E15.5.2 Heritage Precincts**

*Objective: To ensure that the design and siting of signs complement or enhance the streetscape of Heritage Precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable solution	P1 If within the Heritage Precincts Specific Area Plan, shall be consistent with the Character Statements.

**Comment:** It is recommended that a condition be included that the number, final colour and size of all signs is to be approved by Council's Heritage Adviser

**Rosemary Jones**

**From:** Hills, Garry (StateGrowth) <Garry.Hills@stategrowth.tas.gov.au>  
**Sent:** Monday, 1 October 2018 12:33 PM  
**To:** NMC Planning  
**Subject:** RE: Referral to Department of State Growth of Planning Application PLN-18-0210 - 110 High Street, Campbell Town TAS 7210

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged  
**Categories:** Sent to ECM

Our Ref: D18/191443

Rosemary, thanks for facilitating the additional information.  
Taking this into account I advise the Department have no objections to the proposal.  
Given the applicant is not undertaking any works within the road reservation there are no conditions required from the Department's perspective.  
It is noted that Council will need to apply for a Works Permit as part of the future street-scape works.

Cheers, Garry

**Garry Hills** | Senior Traffic Engineering Officer  
State Roads Division | Department of State Growth  
GPO Box 536, Hobart TAS 7001  
Phone: (03) 6777 1940  
[www.stategrowth.tas.gov.au](http://www.stategrowth.tas.gov.au)



**From:** NMC Planning [mailto:planning@nmc.tas.gov.au]  
**Sent:** Tuesday, 4 September 2018 1:15 PM

To: Development (StateGrowth) <Development@stategrowth.tas.gov.au>  
Subject: Referral to Department of State Growth of Planning Application PLN-18-0210 - 110 High Street, Campbell Town TAS 7210

4/09/2018

Department of State Growth  
via email to: [Development@stategrowth.tas.gov.au](mailto:Development@stategrowth.tas.gov.au)

Referral to Department of State Growth of Planning Application PLN-18-0210 - 110 High Street, Campbell Town TAS 7210

The following planning application has been received under the *Northern Midlands Interim Planning Scheme 2013*.

NMC ref no:	PLN-18-0210
Site:	110 High Street, Campbell Town TAS 7210
Proposal:	Change of Use to Food Services, Alterations & Signage (heritage precinct)
Applicant:	Metier Planning & Development
Use class:	Food Services
Zone:	GENERAL BUSINESS ZONE Heritage Precinct
Development status:	Discretionary
Notes:	The subject site is in a 50kph zone. No changes to access proposed.

Attached is a copy of the application, plans/documentation relating to the proposal. It would be appreciated if you could return any comments, or notification that you do not wish to comment on the application, within fourteen (14) days of the date of this letter. If you have any queries, please telephone Council's Development Services Department on 6397 7301 or e-mail [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Attachments: Application & supporting documentation as pdf

*Rosemary Jones*

**REFERRAL OF DEVELOPMENT APPLICATION PLN-18-0210 TO WORKS & INFRASTRUCTURE  
DEPARTMENT**

**Property/Subdivision No:** 302300.31  
**Date:** 04.09.18  
**Applicant:** Metier Planning & Development  
**Proposal:** 224083/1  
**Location:** 110 High Street, Campbell Town

W&I referral PLN-18-0210, 110 High Street, Campbell Town

NO W&I comment

*Jonathan Galbraith (Engineering Officer)*  
*Date: 4/9/18*

## Submission to Planning Authority Notice

Council Planning Permit No.	PLN-18-0210	Council notice date	4/09/2018
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2018/01465-NMC	Date of response	11/09/2018
TasWater Contact	Phil Papps Scott James (Trade Waste)	Phone No.	(03) 6237 8246 (03) 6345 6425
<b>Response issued to</b>			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
<b>Development details</b>			
Address	110 HIGH ST, CAMPBELL TOWN	Property ID (PID)	7265765
Description of development	Change of Use to Food Services, Alterations & Signage (heritage precinct)		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Apogee Design	Site Plan / A05-DA06	05	17/08/2018
<b>Conditions</b>			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
<b>CONNECTIONS, METERING &amp; BACKFLOW</b>			
<ol style="list-style-type: none"> <li>1. Any modification/upgrade of the existing water property connection required to service the domestic and/or fire demands (if applicable) must be in accordance with TasWater standards.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>3. Prior to use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol>			
<b>TRADE WASTE</b>			
<ol style="list-style-type: none"> <li>4. Prior to the commencement of operation the developer/property owner must obtain Consent to Discharge Trade Waste from TasWater.</li> <li>5. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.</li> <li>6. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent.</li> </ol>			
<b>DEVELOPMENT ASSESSMENT FEES</b>			
<ol style="list-style-type: none"> <li>7. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date IT IS paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.</li> </ol>			

## Advice

### General

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

### Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings where relevant. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure. The location of this infrastructure as shown on The List and DBYD is indicative only.

- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit [www.taswater.com.au/Development/Service-location](http://www.taswater.com.au/Development/Service-location) for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

### Trade Waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

- Location of all pre-treatment devices i.e. grease arrester, Dry Basket Arrestors.
- Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and a drainage design.
- Location of an accessible sampling point immediately post the Grease Arrester.

At the time of submitting the application for a Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is also required.

If the nature of the business changes or the business is sold, TasWater is to be informed in order that pre-treatment may be re assessed.

Trade Waste application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-waste/Commercial>

### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

### Authorised by



**Jason Taylor**

Development Assessment Manager

### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Najyrag Pty Ltd  
Gary & Janet Candy  
107 High Street Campbell Town 7210 Tasmania  
03



11<sup>th</sup> September 2018

General Manager  
Northern Midlands Council  
PO Box 156  
Longford Tasmania 7301

Dear General Manager,

We, Gary Bruce Candy and Janet Candy of 107 High Street, Campbell Town would like to make a submission regarding the planning Application for the proposed development of 110 High Street, Campbell Town. Reference Number PLN-18-0210

We are interested parties being the owners of both 107 High Street (shop front and primary residence) and 108 High Street (shop front and tenanted residence).

We, having thoroughly read the proposals and councils answers, have a number of questions in regard to this proposal.

We respectfully request the council to require the proponent to answer to the council and our satisfaction before any final approval is given to this proposal the following questions.

Before any specific questions, we would like to draw the council's attention to the unacceptable tripping hazard created by the proponent's removal of the old petrol pumps that have left raised bases that are unmarked and are not cordoned off in any way. These have not been commented on or addressed as to what is to be done about the bases in their proposal.

The proposed laneway between our property at 108 High Street and 110 High Street has not been stated as whether is it intended for vehicle or pedestrian only access or both. We are concerned that if it is used for vehicle access that the side of our shared wall could be





damaged by careless drivers and the entering and particularly exiting of vehicles. Given that the proposed roller door has zero setback from the footpath affording both vehicle driver and pedestrians a zero line of sight before a proportion of the vehicle has entered the footpath, is another concern not addressed in the proposal.

Another concern of ours is the party wall between the two buildings. What type of material is the party wall going to be constructed from? How is the drainage between the two buildings going to be addressed? Is the delivery laneway going to be a covered area or open to the elements and if so what will be done in regarding the drainage between the two properties? There are no details relating to this concern in their proposal at all.

We also note that Artist's rendering of the façade, the very real lamp post partially impeding access to the roller door is depicted ghost like in broken lines and referred to as in its existing position. Nothing has been noted in the proposal for the shifting of the lamp post. Can the proponent clarify if this is their intention? And if so where is it proposed to be re-sited?

We have read councils answers regarding parking and we would like to correct some information that the proponent seems to be missing. Firstly, that both Zepps and Banjo's Bakery have off street parking at the rear of their premises. Subway also has several off-street parking spaces, and Breakfast, Brunch and Lunch are nearby to the other council carpark. Also, regarding parking, we would like to ask where the proponent intends for their staff to park when at work as most of the parking in the area has restricted parking limits, and this further reduces the availability of parking for visitors and locals for all businesses.

We would like to draw the council's attention to the ground floor sketch plan A05-DA06. The disabled access ramp clearly shown leading to the front doors of the building. Appears nowhere on the front elevation of the building (A09-DA05/ A10-DA05) is the ramp shown and incomprehensibly to us, it is shown outside the property line of the building on the public footpath.

Late night trading is also a concern for us and for our tenants and the other occupants of residences in the area. The proponents may not be aware that there is also a residence behind the bank via a laneway. We would like the proponents to address the issue of noise levels generated primarily by their business's operation and the coming and going of customers and their vehicles, and their staff leaving later than closing time. We are also concerned if a liquor license is granted of the noise level and behavior of rowdy boisterous



patrons leaving the premises. As previously stated in the letter, both 108 and 107 High Street are not just business but have attached dwellings that are occupied. The late-night trading will certainly affect the current peace and amenity of the area after 6 pm of an evening, by the proposed business at 110 High Street. On page 5/6 of the proposal regarding noise levels the assessment says a 4-metre-wide service lane will help reduce the noise and yet on the plans the laneway is only 2.740m wide. That is a lot less than the assessment on page 6.

Thank you for your considerations regarding these matters and we look forward to hearing from you about our concerns.

Sincerely,

Gary and Janet Candy

Najyrag Pty Ltd

107 High Street, Campbell Town Tasmania 7210

PLN 18-0210

1-230

The General Manager  
PO Box 156  
LONGFORD TAS 7301

NORTHERN MIDLANDS COUNCIL					
Location					
File No.					
Property					
Attachments					
REC'D 17 SEP 2018					
		I	A		
GM				MYE	
P&DM				CRS	
CSM				PLAN	
E&DM				BLD	✓
WM				HLT	
HR					

Date: 17 SEPT 2018

I, MANNIE GREY wish to make a representation to planning application number:  
PLN 18-0210 on the following grounds:

- PARKING. (ONLY ACCESS TO MY HOUSE)
- INSIDE OF BUILDING. GREASE ON ASBESTOS
- REAR BLOCK
- .....

Yours sincerely

Mannie Grey

Email: .....  
Address: 35 LESLIE STREET SOUTH KANUCKSTON 7249  
Contact Number: ..... M

Issue 5	Response
Rep Date 11 September	
Removal of Pumps	The pumps was removed by the previous owner as required by the EPA and Council. Council own the road reservation and this land falls outside of the application.
<p>Lane way between representors property and 110 High Street (redacted but assume 108 High Street – Use and safety; and</p> <p>Party wall construction (fire rating);</p> <p>Drainage between the two properties;</p>	<p>The access lane way is for staff pedestrian access. It is not proposed that vehicles will use the access lane way. As no vehicles will use the access laneway there is no safety issues for pedestrians.</p> <p>The NCC requires a Class 6 café/restaurant, type c construction is required to have a fire rated wall of 60min, this can be achieved with 2 layers of 15m fire resistance gyprock. The fire rating solution will be documented in the BA. The proposal will substantially improve the very unsafe current situation.</p> <p>Currently it is open with box gutters discharging to the ground. The skillion roof will drain back to the box gutters and then connect into the stormwater in the street.</p>
Off Street parking	Concede that Banjos does have off street parking. Zeps has a few spots for staff parking. However, it remains that many businesses in Campbell Town do not have off street parking. There is a nearby council maintained carpark in easy walking distance and on street carparking available.
Disability Ramp	The ramp is not required if the floor level is lowered inside the building.
<p>Late Night Trading</p> <p>Noise from premises</p> <p>Coming and going of patrons</p>	The coming and going of patrons on a public street cannot be controlled by the planning scheme.
Width	Door 2500, access lane 2968
Rep Dated 12 September	
Parking (only access to my house)	On street carparking is not owned by a particular property owner. The proposed application if approved will actually increase on street parking by reducing the garage driveway.
Inside of building	BA deals with this. It is acknowledged that the site may has asbestos and oil contamination. These issues will be specifically dealt within the building application.
Rear Block	The rear block is still in the ownership of the late Mr O'Brien. It is not included in this application.