

PLAN 3

PLANNING APPLICATION PLN-19-0049

3 TABERNACLE PLACE, PERTH

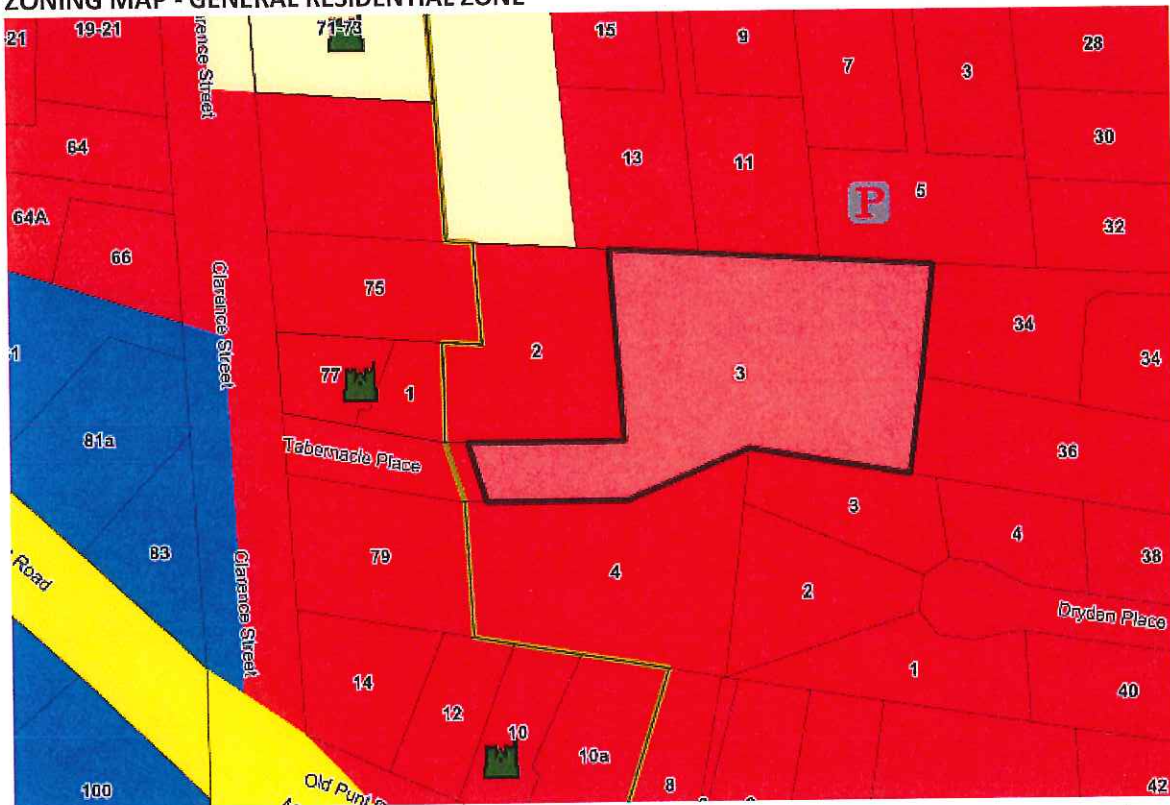
ATTACHMENTS

- A Application & plans
- B Responses from referral agencies
- C Representations

AERIAL PHOTOGRAPH & SERVICES MAP for 3 TABERNACLE PLACE, PERTH



ZONING MAP - GENERAL RESIDENTIAL ZONE



EXHIBITED

PLANNING APPLICATION Proposal

Description of proposal: Subdivision and Strata of the existing property. construction for two new units.

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 3 Tabernacle place, Perth TAS 7300

CT no: 14267/2

Estimated cost of project \$700,000.00 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? (Yes) / No
If yes - main building is used as Residential

If variation to Planning Scheme provisions requested, justification to be provided:

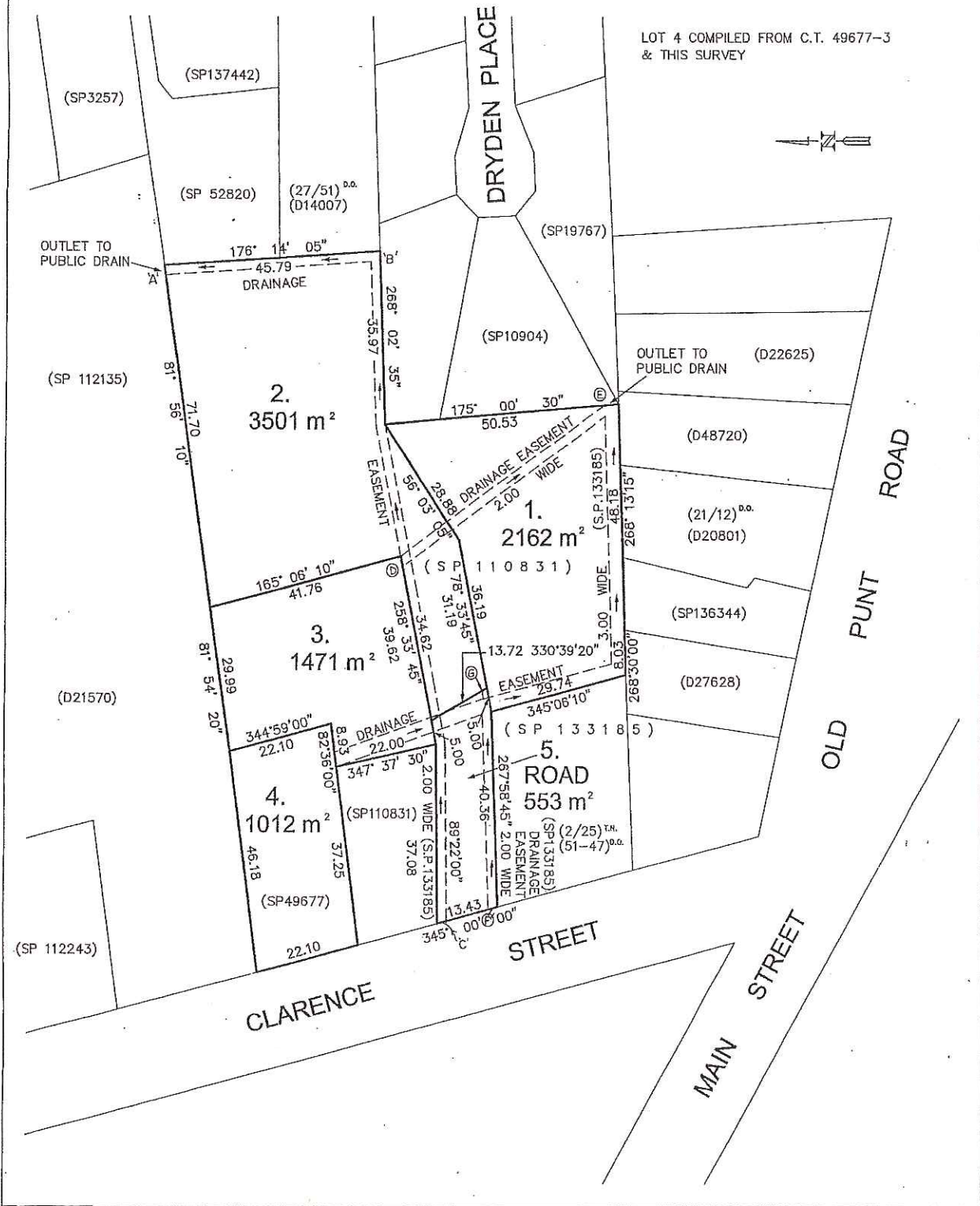
See report.

(attach additional sheets if necessary)

Is any signage required? No (if yes, provide details)

EXHIBITED

OWNER FREDERICK ANTHONY BURN JANICE RONSLEY BURN	PLAN OF SURVEY	REGISTERED NUMBER SP142167
FOLIO REFERENCE C.T. 49677-3 C.T. 133185-2		BY SURVEYOR R.V.TAIT - G.J. WALKEM & CO. LAUNCESTON.
GRANTEE PART WHOLE OF 0°1'28" GTD. TO GEORGE ILLINGWORTH. PART OF 0°2'31" LOCATED TO PETER FLINN. PART OF 0°2'39" GTD. TO WILLIAM WOODHEAD. 1-2-39	LOCATION TOWN OF PERTH SECTION A	APPROVED EFFECTIVE FROM -6 OCT 2004 <i>Alice Kawa</i> Recorder of Titles
SCALE 1:750 LENGTHS IN METRES.		
MAPSHEET MUNICIPAL CODE No.123 (5039-24)	LAST UPI No. FBV75,6HM09	LAST PLAN No.S.P. 133185,SP49677
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



EXHIBITED



Planning Submission

2 Lot Subdivision and Multiple Dwelling Development

3 Tabernacle Place, Perth

Prepared for:

Northern Midlands Council



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Issue	01
Date	13 February 2019
Project Name	2 Lot Subdivision and Multiple Dwelling Development
Project Number	18.040
Author	George Walker
Document	

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EXHIBITED

Contents

- 1.0 Introduction 1**
- 1.1 Planning Overview 1
- 1.2 Proposed Use and Development 2
- 2.0 Location 3**
- 2.1 Subject Site 3
- 2.2 Description of the Surrounding Area 3
- 2.3 Natural Values and Hazards 3
- 2.4 Site Servicing 3
- 2.5 Site Access 3
- 3.0 Planning Assessment 4**
- 3.1 General Residential Zone 4
- 3.2 Parking and Sustainable Transport Code 18
- 3.3 Recreation and Open Space Code 21
- 4.0 Performance Criteria Assessment 22**
- 4.1 Clause 10.4.15.1 Lot Area, Building Envelope and Frontage - Performance
 Criteria P1 22
- 4.2 Clause 10.4.15.1 Lot Area, Building Envelope and Frontage - Performance
 Criteria P2 23
- 5.0 Conclusion 25**

Appendix A

Certificate of Title

Appendix B

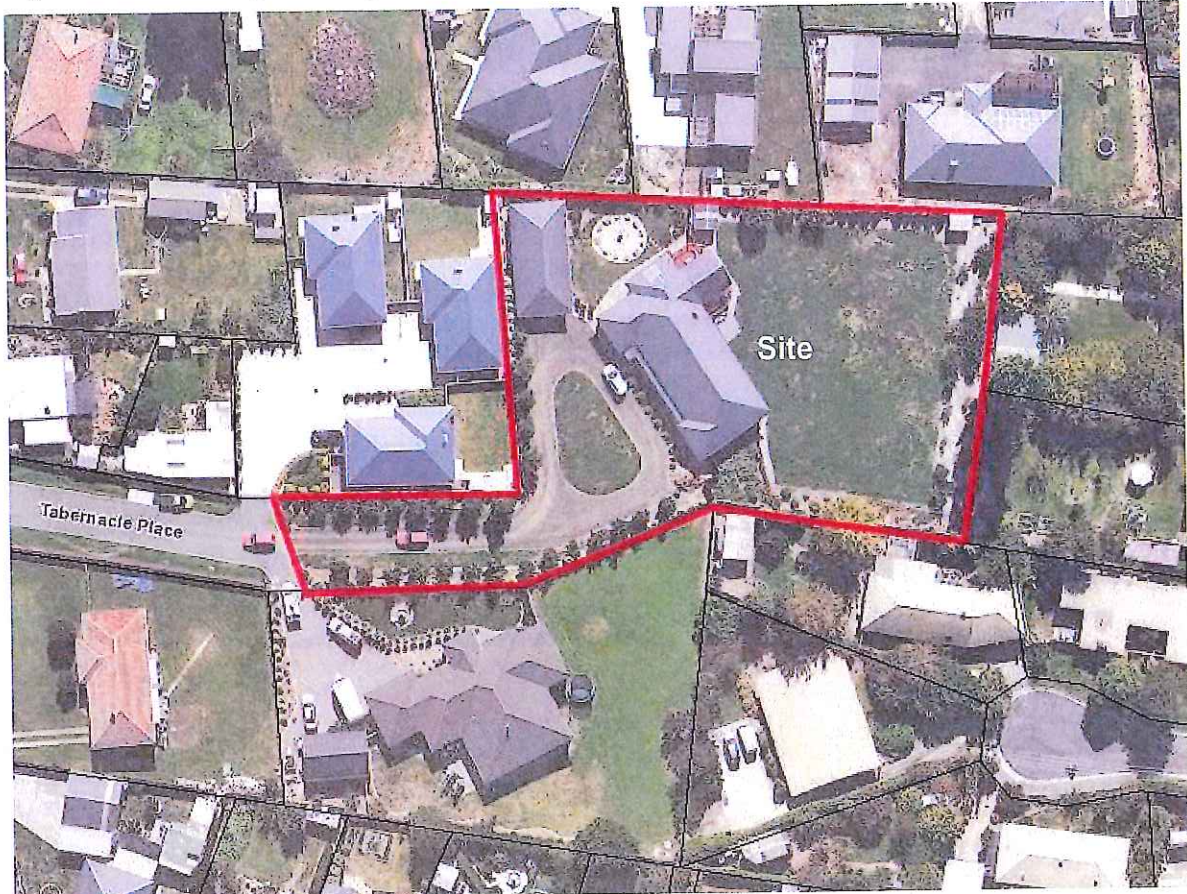
Development Plans

EXHIBITED

1.0 Introduction

Planning approval is sought for a two (2) lot subdivision and multiple dwelling development on land located at 3 Tabernacle Place, Perth (the site - refer to Figure 1). This planning submission provides the relevant details of the application and an assessment against the applicable provisions of the *Northern Midlands Interim Planning Scheme 2013* (the Scheme).

Figure 1 - aerial image identifying the site.



Source: base image and data from the LIST (www.thelist.tas.gov.au)

1.1 Planning Overview

EXHIBITED

Element	Overview
Location	3 Tabernacle Place, Perth
Title Information	CT Volume 142167/2 Folio 2
Land Area	3,529 m ²
Existing Use and Development	Single Dwelling
Planning Instrument	<i>Northern Midlands Interim Planning Scheme 2013</i>
Proposed Use	Residential – multiple dwelling
Proposed Development	two lot subdivision and construction of two multiple dwellings
Zone	10.0 - General Residential

Applicable Code(s)	E6.0 - Car Parking and Sustainable Transport Code E10.0 - Recreation and Open Space Code
Status of Application	Discretionary

1.2 Proposed Use and Development

The application seeks approval to subdivide an existing lot into two lots and construct two multiple dwellings on the newly created lot which would otherwise be vacant.

Proposed Lot 1 will be internal having access to Tabernacle Place by a right of way which will be located over the access strip of proposed Lot 2. It will have an area of 1,849m² and will contain the existing dwelling, garage and garden shed.

Proposed Lot 2 will also be internal having access to Tabernacle Place by an access strip. It will have an area of 1,651m². It is proposed to locate the multiple dwellings on this lot.

The multiple dwellings will be mirror images. They will be two storey with an overall height of 6.02m. The ground floor will be 105m² in area and will comprise a double garage, entry foyer, toilet and an open plan kitchen, dining and living area. External walls will be constructed of masonry blocks that will have a rendered finish.

The first floor will be located directly above the ground floor with the south-western wall to be recessed in from the ground floor wall directly below. It will comprise three bedrooms and a bathroom. The master bedroom will include an ensuite. External walls will be clad with vertical metal sheeting.

The dwellings will be rectangular in shape and will be aligned in a row that will be perpendicular to the northern boundary. A hardstand driveway will be constructed parallel to the southern and eastern boundaries which will provide vehicular access to each dwelling. A landscaping bed with a nominal width of 1.4m will be located between the driveway and lot boundaries.

Earthworks are required to the north, east and south of the site which will primarily involve cut. The cut will have a maximum depth of 800mm along the northern and eastern perimeter of the site and will provide a level surface for the building area required to facilitate the multiple dwellings. A block retaining wall will be constructed along the face of the cut. It will have a maximum height no greater than 900mm.

EXHIBIT

2.0 Location

2.1 Subject Site

The site comprises a single internal lot with an area of 3,529m² and is located at the end of Tabernacle Place. The access strip has a 12.5m frontage to Tabernacle Place. The access strip contains an existing driveway which is landscaped on both sides. The lot contains an existing dwelling, garage and garden shed which is located within the eastern half. The western half is vacant.

The site contains a 2m drainage easement which runs parallel through the access strip to the south-eastern corner. It then turns at a right angle and continues along the eastern boundary to the north-eastern corner. The multiple dwellings will be sited clear of the easement.

2.2 Description of the Surrounding Area

The site is located within an established residential area of Perth. It is surrounded by residential development on all boundaries. The site forms part of a larger residential block which is encompassed by Talisker Street to the north, William Street to the east, Old Punt Road to the south and Clarence Street to the west.

It is approximately 200m east of Perth activity centre and 100m west of the Perth Riverbank Reserve which adjoins the South Esk River. The site is located within the Perth Urban Growth Boundary.

2.3 Natural Values and Hazards

The site is located within an established urban area and has previously been cleared of native vegetation. It is not identified on the Scheme overlay maps as being subject to natural hazards.

2.4 Site Servicing

The site is located in an area that is serviced by reticulated water supply and sewerage systems administered by TasWater, and a public stormwater system owned and administered by Council. It is also serviced by electricity and telecommunications infrastructure.

2.5 Site Access

Each lot will be accessed via an existing crossover from Tabernacle Place.

3.0 Planning Assessment

3.1 General Residential Zone

3.2.1 Use Standards

The proposal does not involve a discretionary permit use or a permitted non-residential use, and therefore the use standards in Clauses 10.3.1 and 10.3.2 do not apply.

3.2.1 Development Standards

The acceptable solution requirements in the zone which apply to the development of subdivision and multiple dwellings on a lot are addressed in the following tables. It is noted that the assessment of the multiple dwellings is based on the boundaries of proposed Lot 2 in terms of building setbacks, site coverage and other relevant provisions.

10.4 Development Standards for Residential Buildings and Works			
10.4.1 Residential density for multiple dwellings			
Requirement/s		Assessment	Compliance
A1	Multiple dwellings must have a site area per dwelling of not less than: (a) 325m ² ; or (b) If within a density area specified in Table 10.4.1 below and shown on the planning scheme maps, that are specified for the density area.	The multiple dwellings will have a site area per dwelling of 825.5m ²	Complies.
10.4.2 Setbacks and building envelope for all dwellings			
Requirement/s		Assessment	Compliance
A1	A dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m into the frontage setback, must have a setback from a frontage that is: (a) if the frontage is a primary frontage, at least 4.5 m, or, if the setback from the primary frontage is less	The primary frontage of the site is the boundary which abuts Tabernacle Place.	EXHIBITED Complies with subclause (a).

	<p>than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p> <p>(b) if the frontage is not a primary frontage, at least 3 m, or, if the setback from the frontage is less than 3 m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.</p>	<p>The multiple dwellings will be setback a minimum of 75m from the frontage boundary.</p>	
<p>A2</p>	<p>A garage or carport must have a setback from a primary frontage of at least:</p> <p>(a) 5.5 m, or alternatively 1 m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport;</p>	<p>The garages will be setback a minimum of 85m from the primary frontage of the lot. The garage openings will face away from the primary frontage and will therefore not be visible.</p>	<p>Complies.</p> <p style="text-align: right; color: red; font-weight: bold; font-size: 1.2em;">EXHIBITED</p>

<p>A3</p>	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4 m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3 m above natural ground level at the side boundaries and a distance of 4 m from the rear boundary to a building height of not more than 8.5 m above natural ground level; and <p>(b) only have a setback within 1.5 m of a side boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2 m of the boundary of the adjoining lot; or (ii) does not exceed a total length of 9 m or one-third the length of the side boundary (whichever is the lesser). 	<p>The proposed multiple dwellings comply with the relevant frontage setback standards.</p> <p>The relevant building envelope for the lot described by the diagrams to the clause is 10.4.2D as it relates to an internal lot.</p> <p>The multiple dwellings will be setback 4.8m from the western boundary, 9.1m from the southern boundary, 14.1m from the northern boundary and 7.5m from the eastern boundary.</p> <p>The proposed multiple dwellings will therefore be fully contained within the relevant building envelope. The multiple dwellings will have a maximum height of 6.02m above finished ground level.</p> <p>The proposed multiple dwellings will not include any walls that will be setback within 1.5 m of the northern and southern side boundaries of the site.</p>	<p>Complies.</p>
<p>10.4.3 Site coverage and private open space for all dwellings</p>			
<p>Requirement/s</p>	<p>Assessment</p>	<p>Compliance</p>	

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A1	Dwellings must have: (a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and	The proposed site coverage is approximately 210m ² or 12.7%.	Complies.
10.4.3 Site coverage and private open space for all dwellings			
Requirement/s		Assessment	Compliance
	(b) for multiple dwellings, a total area of private open space of not less than 60m ² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and	Each multiple dwelling will have a minimum area of private open space of 79.1m ² .	Complies.
	(c) a site area of which at least 25% of the site area is free from impervious surfaces.	The total area that will be free from impervious surfaces is approximately 916m ² , which represents 55% of the site area. Accordingly, 45% of the site area will be free from impervious surfaces.	Complies.
A2	A dwelling must have an area of private open space that:	The area of private open space for each dwelling will be mirror images. Both will:	
	(a) is in one location and is at least (i) 24 m ² ;	Have a minimum area of 24m ² .	Complies.
	(b) has a minimum horizontal dimension of: (i) 4 m;	Be rectangular in shape with dimensions of 4 m x 6 m.	Complies.
	(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and	Be directly adjacent to and directly accessible (by sliding glass doors) from the ground floor living rooms of each dwelling.	Complies.
	(d) is not located to the south, south-east or	Be located to the west and north-west of each dwelling.	Complies.

EXHIBITED

	south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and		
(e)	is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and	Not be located between the dwelling and frontage.	Complies.
(f)	has a gradient not steeper than 1 in 10; and	Have a gradient of less than 1:10.	Complies.
(g)	is not used for vehicle access or parking.	Be separate from the vehicle access and parking areas associated with proposed dwellings.	Complies.

10.4.4 Sunlight and overshadowing for all dwellings

Requirement/s	Assessment	Compliance
A1	A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north.	Windows to the dining and kitchen areas of each dwelling will face north. Complies.
A2	A multiple dwelling that is to the north of a window of a habitable room (other than a bedroom) of another dwelling on the same site, which window faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A), must be in accordance with (a) or (b), unless excluded by (c):	Unit 2 will be positioned to the north of three windows that will serve the open plan living, kitchen and lounge room on the ground floor of unit 1. The shadow plan detailing in drawing A05 demonstrates that the open plan living, kitchen and lounge room will receive a minimum of 3 hours of sunlight between 12:00pm and 3:00pm on 21 st June. Complies with acceptable solution A2 (a) and (b).

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	<p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4B):</p> <ul style="list-style-type: none"> (i). at a distance of 3m from the window; and (ii). vertically to a height of 3m above natural ground level and then at an angle of 45 degrees from the horizontal. <p>(b) The multiple dwelling does not cause the habitable room to receive less than 3 hours of sunlight between 9.00 am and 3.00 pm on 21st June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <ul style="list-style-type: none"> (i). an outbuilding with a building height no more than 2.4m; or (ii). protrusions (such as eaves, steps, and awnings) that extend no more than 0.6 m horizontally from the multiple dwelling. 	<p>Further, the location of unit 2 will not inhibit sunlight from entering the west facing windows of the room.</p> <p>Unit 2 will be contained within the envelope defined by Diagram 10.4.4B with respect to the north facing window of the master bedroom located on the first floor.</p>	
<p>A3</p>	<p>A multiple dwelling, that is to the north of the private open space, of another dwelling on the same site, required in accordance with A2 or P2 of subclause 10.4.3, must be in accordance with (a) or (b), unless excluded by (c):</p>	<p>Multiple dwelling 2 will be located to the north of multiple dwelling 1. The western wall of each dwelling will be aligned on the same plane.</p> <p>The private open space required in accordance with</p>	<p>Not applicable.</p> <p style="color: red; font-weight: bold; font-size: 1.2em;">EXHIBITED</p>

	<p>(a) The multiple dwelling is contained within a line projecting (see Diagram 10.4.4C):</p> <ul style="list-style-type: none"> (i). at a distance of 3 m from the northern edge of the private open space; and (ii). vertically to a height of 3 m above natural ground level and then at an angle of 45 degrees from the horizontal. <p>(b) The multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00 am and 3.00 pm on 21st June.</p> <p>(c) That part, of a multiple dwelling, consisting of:</p> <ul style="list-style-type: none"> (i). an outbuilding with a building height no more than 2.4 m; or (ii). protrusions (such as eaves, steps, and awnings) that extend no more than 0.6 m horizontally from the multiple dwelling. 	<p>clause 10.4.3 A2 for multiple dwelling 1 is located to the west of the dwelling. Multiple dwelling 2 will therefore not be directly north of the private open space of multiple dwelling 1.</p>	<p>EXHIBIT E</p>
<p>10.4.5 Width of openings for garages and carports for all dwellings</p>			
<p>Requirement/s</p>	<p>Assessment</p>	<p>Compliance</p>	

A1	A garage or carport within 12 m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6 m or half the width of the frontage (whichever is the lesser).	The garages will be setback a minimum of 85m from the primary frontage of the lot. The garage openings will face away from the primary frontage and will therefore not be visible.	Complies.
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10.4.6 Privacy for all dwellings

Requirement/s	Assessment	Compliance
<p>A1 A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1 m above natural ground level must have a permanently fixed screen to a height of at least 1.7 m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <ul style="list-style-type: none"> (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3 m from the side boundary; and (b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4 m from the rear boundary; and (c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6 m: <ul style="list-style-type: none"> (i) from a window or glazed door, to a habitable room of 	No balconies, decks, roof terraces, parking spaces or carports that have a finished floor level of more than 1m above natural ground level are proposed.	Not applicable.

EXHIBITED

	<p>the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	
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10.4.6 Privacy for all dwellings

Requirement/s	Assessment	Compliance
<p>A2</p> <p>A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is to have a setback of at least 3 m from a side boundary; and</p> <p>(ii) is to have a setback of at least 4 m from a rear boundary; and</p> <p>(iii) if the dwelling is a multiple dwelling, is to be at least 6 m from a window or</p>	<p>The first floor of each dwelling will contain windows to habitable rooms.</p> <p>The master bedroom includes two windows on the eastern elevation and two windows on the northern elevation. The remaining windows on these elevations are associated with non-habitable rooms.</p> <p>The western elevation will include two bedroom windows.</p> <p>There are no windows located on the southern elevation of the first floor.</p> <p>All habitable room windows will be located at least 3m from the northern and southern side boundaries. They will also be setback a minimum of 3m from the western boundary.</p> <p>All habitable room windows will be located at least 4m from the eastern rear boundary.</p> <p>All habitable room windows of both multiple dwellings will be at least 6m from a</p>	<p>Complies with subclause (a).</p>

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	<p>glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be at least 6 m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or</p> <p>(ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.</p>	<p>habitable room window of the other dwelling.</p> <p>All habitable room windows of both multiple dwellings will be at least 6m from the private open space of the other dwelling required by clause 10.4.3 A2.</p>	
<p>A3</p>	<p>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling</p>	<p>The southern elevation on the ground floor of multiple dwelling 1 adjacent to the shared driveway does not contain a window to a habitable room. The windows to the master bedroom located on</p>	<p>Complies with subclause (b).</p>

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	<p>by a horizontal distance of at least:</p> <p>(a) 2.5 m; or</p> <p>(b) 1 m if:</p> <p>(i) it is separated by a screen of at least 1.7 m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of at least 1.7 m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level.</p>	<p>eastern elevation of the first floor will be setback a minimum horizontal distance from the shared driveway of 1m. The sill height of these windows will be 4.2m above the shared driveway.</p>	
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10.4.7 Frontage fences for all dwellings

Requirement/s	Assessment	Compliance
<p>A1</p> <p>A fence (including a free-standing wall) within 4.5 m of a frontage must have a height above natural ground level of not more than:</p> <p>(a) 1.2 m if the fence is solid; or</p> <p>(b) 1.8 m, if any part of the fence that is within 4.5 m of a primary frontage has openings above a height of 1.2 m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).</p>	<p>No frontage fence is proposed.</p>	<p>Not applicable.</p>

EXHIBITED

10.4.8 Waste storage for multiple dwellings

Requirement/s	Assessment	Compliance
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<p>A1</p>	<p>A multiple dwelling must have a storage area, for waste and recycling bins, that is an area of at least 1.5 m² per dwelling and is within one of the following locations:</p> <p>(a) in an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or</p> <p>(b) in a communal storage area with an impervious surface that:</p> <ul style="list-style-type: none"> (i). has a setback of at least 4.5m from a frontage; and (ii). is at least 5.5m from any dwelling; and (iii). is screened from the frontage and any dwelling by a wall to a height of at least 1.2m above the finished surface level of the storage area. 	<p>Each dwelling will be provided with a storage area for waste and recycling bins. The storage area will be located on the southern side of each dwelling and will have a minimum area of 1.5m². The location of each storage area is shown on drawing A06.</p>	<p>Complies with acceptable solution A1(a).</p>
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10.4.9 Site facilities for multiple dwellings

Requirement/s	Assessment	Compliance
<p>A1</p>	<p>Each multiple dwelling must have access to 6 cubic metres of secure storage space.</p>	<p>Each dwelling will be provided with a garden shed that will have 7m³ of storage space.</p> <p>Complies.</p>

10.4.10 Common property for multiple dwellings

Requirement/s	Assessment	Compliance
<p>A1</p>	<p>Development for multiple dwellings must clearly delineate public, communal and private areas such as:</p>	<p>Drawing A02 demarcates the private and communal areas of the multiple dwelling development.</p> <p>Complies.</p>

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	(a) driveways; (b) site services and any waste collection points.		
10.4.11 Outbuildings, swimming pools and fences			
Requirement/s		Assessment	Compliance
A1.1	Outbuildings for each multiple dwelling must have a combined gross floor area not exceeding 45m ² .	The outbuildings will have a combined gross floor area of 6.7m ² .	Complies.
A2	A swimming pool for private use must be located: (a) behind the setback from a primary frontage; or (b) in the rear yard.	No swimming pools are proposed.	Not applicable.
10.4.12 Site services for multiple dwellings			
Requirement/s		Assessment	Compliance
A1.1	Provision for mailboxes must be made at the frontage.	Mailboxes are proposed to be located adjacent to the Tabernacle Place frontage.	Complies.
Clauses 10.4.13.1 to 10.4.13.9 do not apply to the multiple dwelling development.			
10.4.15 Subdivision			
10.4.15.1 Lot Area, Building Envelopes and Frontage			
Requirement/s		Assessment	Compliance
A1(a)	Lots must: (a) have a minimum area of at least 450m ² which: (i). is capable of containing a rectangle measuring 10m by 15m; and (ii). has new boundaries aligned from buildings that satisfy the relevant	Each lot will have a minimum area of 450m ² and will be capable of containing a rectangular building area that has a minimum dimension of 10m by 15m. The new boundary that will be aligned perpendicular to the northern boundary and that will separate the existing dwelling from proposed Lot 2 will be setback 3.9m from the wall of the dwelling. The new boundary that will separate the existing dwelling from access strip	Relies on performance criteria.

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	acceptable solutions.	of proposed Lot 2 will be setback 1.87m from the wall of the dwelling. These setback distances comply with the requirements of clause 10.4.2 A3, in particular diagram 10.4.2D with respect to the southern boundary adjacent to the access strip of lot 2, but not for the shared boundary that will be perpendicular to the northern boundary.	
A2	Each lot must have a frontage of at least 3.6m.	Lot 1 will not have a frontage. Lot 2 will have a frontage of 12.5m.	Relies on performance criteria.
10.4.15.2 Provision of Services			
A1	Each lot must be connected to a reticulated: (a) water supply; and (b) sewerage system.	The site is located within an area that is serviced by reticulated water and sewerage infrastructure. Each lot is therefore capable of being connected to a water supply and sewerage system.	Complies.
A2	Each lot must be connected to a reticulated stormwater system.	The site is located within an area that is serviced by a reticulated stormwater system. Each lot is therefore capable of being connected to a stormwater system.	Complies.
10.4.15.3 Solar Orientation of Lots			
A1	At least 50% of lots must have a long axis within the range of: (a) north 20 degrees west to north 30 degrees east; or (b) east 20 degrees north to east 30 degrees south.	Each lot will have a long axis that will be oriented north.	Complies.
Clauses 10.4.15.5 to 10.4.15.7 are not applicable to the proposed subdivision on the basis that it will not create any new roads, public open space or			

EXHIBITED

3.2 Parking and Sustainable Transport Code

E6.6 Use Standards			
Standard	Requirement/s	Assessment	Compliance
E6.6.1 Car parking numbers			
A1	The number of car parking spaces must not be less than the requirements of Table E6.1.	<p>Table E6.1 requires dwellings with 2 or more bedrooms in the General Residential zone to be provided with 2 spaces per dwelling. Each dwelling will be provided with 2 car parking spaces which will be located in the garage.</p> <p>Additionally, Table E6.1 requires 1 dedicated visitor parking space per 3 dwellings (rounded up to the nearest whole number) where they are located on an internal lot. In this instance, 1 dedicated visitor parking space will be provided to serve the multiple dwellings. It will be located parallel to the southern side of unit 1 adjacent to the shared driveway.</p>	Complies.
E6.6.2 Bicycle Parking Numbers			
A1.1	Permanently accessible bicycle parking or storage spaces must be provided either on the site or within 50m of the site in accordance with the requirements of Table E6.1,	Table E6.1 requires 1 bicycle space per dwelling. Each dwelling will be able to store a bicycle within the garage or garden shed.	Complies.
E6.6.4 Motorbike Parking Provisions			
A1	One motorbike parking space must be provided for each 20 car spaces	A single motorbike parking space will be provided for the multiple dwelling development.	Complies.

EXHIBITED

E6.6 Use Standards			
Standard	Requirement/s	Assessment	Compliance
	required by Table E6.1 or part thereof.	It will be located at the western end of the visitor car parking space.	

E6.7 Development Standards			
Standard	Requirement/s	Assessment	Compliance
E6.7.1 Construction of Parking Areas and Access Strips			
A1	All parking, access ways, manoeuvring and circulation spaces must be: (a) formed to an adequate level and drained; (b) except for a single dwelling, provided with an impervious all weather seal; and (c) except for a single dwelling, line marked or provided with other clear physical means to delineate car spaces.	Car parking spaces for each of the dwellings will be located within the garage where they will have a level surface. The visitor car parking space can be delineated by line marking. The driveway will be hardstand and will be formed and drained to an appropriate stormwater discharge point.	Complies.
E6.7.2 Design and Layout of Car Parking			
A1.1	Where providing for 4 or more spaces, parking areas (other than for parking located in garages and carports for dwellings in the General Residential Zone) must be located behind the building line.	The dedicated visitor car parking space will be located behind the building line of the multiple dwellings.	Complies.
A1.2	Within the General Residential Zone, provision for turning must not be located within the front setback	All vehicle manoeuvring will be located behind the building line of the multiple dwellings.	Complies.

EXHIBITED

E6.7 Development Standards			
Standard	Requirement/s	Assessment	Compliance
	for residential buildings or multiple dwellings.		
A2.1	<p>Car parking and manoeuvring space must:</p> <p>(a) have a gradient of 10% or less; and</p> <p>(b) where providing for more than 4 cars, provide for vehicles to enter and exit the site in a forward direction; and</p> <p>(c) have a width of vehicular access no less than prescribed in Table E6.2 and Table E6.3; and</p> <p>(d) the layout of car spaces and access ways must be designed in accordance with <i>Australian Standards AS 2890.1 - 2004 Parking Facilities, Part 1: Off Road Car Parking.</i></p>	<p>All car parking spaces and manoeuvring areas will have a gradient less than 10% and will be of sufficient dimensions to allow vehicles to enter and exist in a forward direction. The driveway adjacent to each garage will be 5.9m in width which will allow vehicles to enter in a forward direction and exit in a reversing manoeuvre.</p> <p>The multiple dwelling development will 5 parking spaces. The access width to the dwellings will range between 12.5m and 4m. Two passing bays will be located on the southern side of the driveway. They will have a minimum width of 2m and length of 5m and will include entry and exit tapers.</p> <p>The garage car parking spaces will comply with Table E6.3 for 90° parking spaces with a width of 3m and length of 5.4m. The visitor parking space will have a minimum width of 2.3m and length of 6.7m. The access with will be 4m in width.</p> <p>The carparking spaces will comply with <i>AS 2890.1 - 2004 Parking Facilities, Part 1: Off</i></p>	Complies.

EXHIBITED

E6.7 Development Standards			
Standard	Requirement/s	Assessment	Compliance
		<i>Road Car Parking</i> which requires a minimum doorway/entry width of 3m and minimum apron width of 5.6m. The doorway/entry width will be 4.8m and the apron width will be 5.9m.	

3.3 Recreation and Open Space Code

E10.6 Development Standards			
	Requirement/s	Assessment	Compliance
E10.6.1 Provision of Public Open Space			
A1	The application must: (a) include consent in writing from the General Manager that no land is required for public open space but instead there is to be a cash payment in lieu; or	The application is accompanied with a letter requesting advice from Council's General Manager that no land is required to be provided for public open space but instead there is to be a cash payment in lieu.	Complies with acceptable solution upon receipt of advice from Council's General Manager.

EXHIBITED

4.0 Performance Criteria Assessment

4.1 Clause 10.4.15.1 Lot Area, Building Envelope and Frontage - Performance Criteria P1

10.4.15.1 Lot Area, Building Envelope and Frontage	
<p>Objective</p> <p>To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, private open space, vehicle access and parking, easements and site features.</p>	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Lots must:</p> <ul style="list-style-type: none"> a) have a minimum area of at least 450m² which: <ul style="list-style-type: none"> (i) is capable of containing a rectangle measuring 10m by 15m; and (ii) has new boundaries aligned from buildings that satisfy the relevant acceptable solutions for setbacks; or b) be required for public use by the Crown, an agency, or a corporation all the shares of which are held by Councils or a municipality; or c) be for the provision of utilities; or d) be for the consolidation of a lot with another lot with no additional titles created; or e) be to align existing titles with zone boundaries and no additional lots are created. 	<p>P1</p> <p>Each lot for residential use must provide sufficient useable area and dimensions to allow for:</p> <ul style="list-style-type: none"> a) a dwelling to be erected in a convenient and hazard-free location; b) on-site parking and manoeuvrability; and c) adequate private open space.

EXHIBITED

Response

The new boundary that will be aligned perpendicular to the northern boundary and that will separate the existing dwelling from proposed Lot 2 will be setback 3.9m from the wall of the dwelling. This setback does not satisfy acceptable solution 10.4.2 A3 (a) that requires a 4m setback from the respective boundary for an internal lot.

The application relies on the performance criteria.

Performance Criteria Assessment

Each lot is intended for residential use.

Lot 1 will have an area of 1,849m². It will contain the existing single dwelling, garage and small garden shed. The existing dwelling will be located within a convenient and hazard-free location. The existing vehicle manoeuvring, circulation and parking areas will be retained and will not be adversely impact by the location of new lot boundaries. Adequate private open space will be retained to the north and east of the dwelling.

Lot 2 will have an area of 1,615m². It will contain multiple dwellings. It has been determined that each dwelling can be accommodated on the lot in a manner that achieves compliance with the relevant acceptable solutions relating to boundary setbacks, building envelope, privacy, solar access, parking and private open space.

The performance criteria is therefore met.

4.2 Clause 10.4.15.1 Lot Area, Building Envelope and Frontage - Performance Criteria P2

10.4.15.1 Lot Area, Building Envelope and Frontage	
Objective	
To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, private open space, vehicle access and parking, easements and site features.	
Acceptable Solutions	Performance Criteria
A2	P2
Each lot must have a frontage of at least 3.6m.	Each lot must have appropriate permanent access by a Right of Carriageway registered over all relevant titles.

Response

EXHIBITED

Lot 1 will not have a frontage. Lot 2 will have a frontage of 12.5m. The application relies on the performance criteria.

Performance Criteria Assessment

Lot 1 will have appropriate and secured access from Tabernacle Place by a right or carriageway that will be registered over the sealed plan of lot 2. The right of way will extend over the access strip of lot 2 and will terminate at the eastern boundary of lot 1.

The performance criteria is therefore met.

EXHIBITED

5.0 Conclusion

The proposed development involves subdivision of land to create two (2) lots and the construction and use of two (2) multiple dwellings.

The proposed use and development complies with the applicable Scheme provisions in the General Residential zone and relevant code standards, including the following performance criteria:

- **Clause 10.4.15.1 Lot Area, Building Envelope and Frontage - Performance Criteria P1; and**
- **Clause 10.4.15.1 Lot Area, Building Envelope and Frontage - Performance Criteria P2; and**

It is therefore submitted that a discretionary permit can be issued for the subdivision development in accordance with Section 57 of the *Land Use Planning and Approvals Act 1993*.

EXHIBITED

Planning Submission

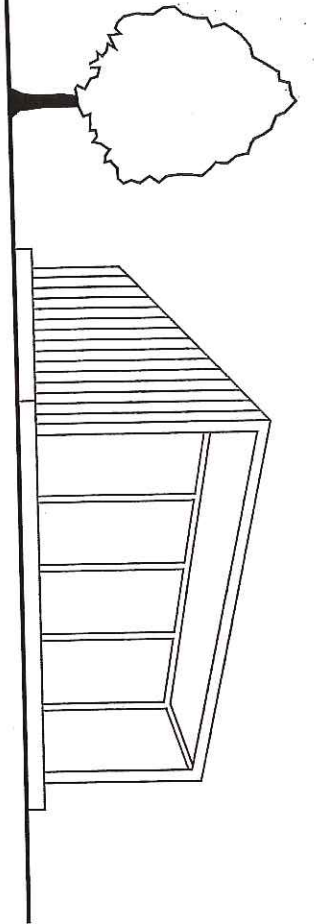
Appendix A
Development Plans

EXHIBITED

Planning Submission

Appendix B

Certificate of Title



UNIT DEVELOPMENT
3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

DRAWING SCHEDULE

- A00 COVER PAGE
- A01 SUBDIVISION AND STRATA PLAN
- A02 SUBDIVISION AND STRATA PART PLAN
- A03 PART SITE PLAN
- A04 DRAINAGE PLAN
- A05 SITE SHADOW PLANS
- A06 LANDSCAPING PLAN
- A07 SITE ELEVATIONS AND SECTIONS
- A08 3D SITE PERSPECTIVES
- A09 3D SITE PERSPECTIVES
- A10 UNIT 1 - GROUND FLOOR PLAN
- A11 UNIT 1 - FIRST FLOOR PLAN
- A12 UNIT 1 - ROOF PLAN
- A13 UNIT 1 - ELEVATIONS
- A14 UNIT 2 - GROUND FLOOR PLAN
- A15 UNIT 2 - FIRST FLOOR PLAN
- A16 UNIT 2 - ROOF PLAN
- A17 UNIT 2 - ELEVATIONS

PROJECT INFORMATION:

SITE AREA:	
EXISTING SITE	3,500m ²
FLOOR AREAS:	
EXISTING RESIDENCE FLOOR AREA	- 269m ²
EXISTING GARAGE FLOOR AREA	- 75m ² CASFOK 42m ²
PROPOSED UNIT 1 FLOOR AREA	- GF 105m ² FF 89m ²
PROPOSED UNIT 2 FLOOR AREA	- GF 105m ² FF 89m ²
LAND TITLE, VOLUME & FOLIO	
CT.	141 6712
SITE CLASSIFICATION :	
#/	TERRAIN CLASSIFICATION:
A3	T2
WIND REGION:	
#/	BUSHFIRE ATTACK LEVEL:
A3	N2
ALPINE AREA:	
N/A	DESIGN WIND SPEED
CLIMATE ZONE:	
7	SCHEME / ZONE:
	GENERAL RESIDENTIAL
COUNCIL:	
NORTHERN MIDLANDS	SITE OVERLAYS:
	N/A

DRAWN BY: Bill/Lucie/Vicki
 Ph - 0437 095 284 E - bill@egane@hotmail.com.au

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
rev.	Amendment	Date
PAGE SIZE	PRINT DATE:	PROJECT NUMBER:
A3	16/02/2019	18001
DRAWING No:		
A00	1 of 18	ISSUE: /Issue
		REV: 0

NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS IN ACCORDANCE WITH PART D2, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

ALL STORMWATER FROM NEW BUILDINGS TO BE COLLECTED VIA 90mm DIA UPVC DOWNPIPES FROM EAVES GUTTERS AND PIPES USING 100mm UPVC SUB SURFACE DRAINAGE TO NEW OR EXISTING ON-SITE ABSORPTION & OVERLAND DRAINAGE SYSTEMS. STORMWATER RUNOFF SHALL BE DIRECTED AWAY FROM ADJOINING PROPERTIES & OUTBUILDINGS.

ALL STORMWATER FROM NEW BUILDINGS TO BE COLLECTED VIA 90mm DIA UPVC DOWNPIPES FROM EAVES GUTTERS AND PIPES USING 100mm DIA SUB SURFACE DRAINAGE TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

ALL SEWER FROM NEW BUILDINGS IS TO BE COLLECTED VIA 100mm UPVC SUB SURFACE DRAINAGE PIPES TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

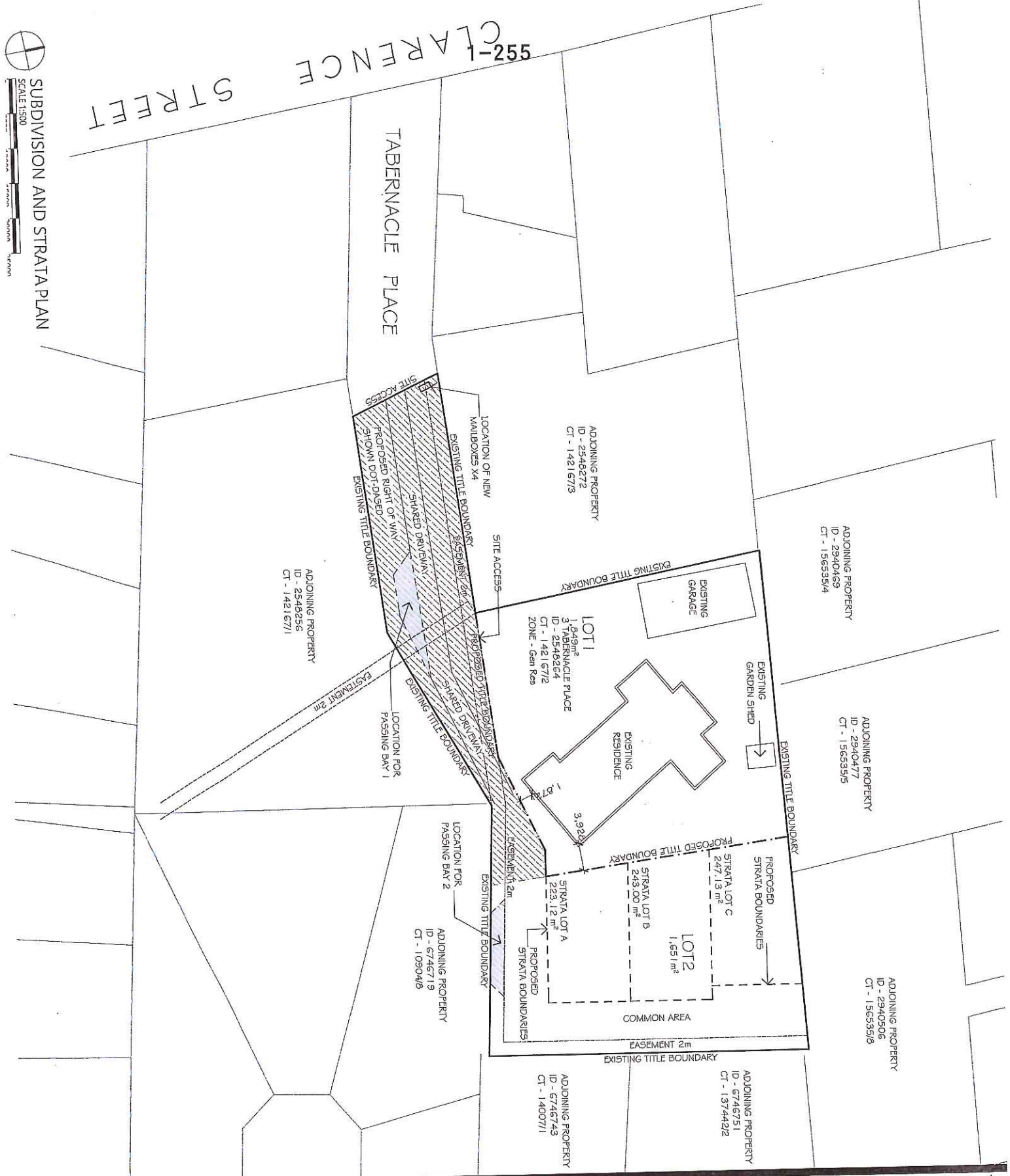
UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED



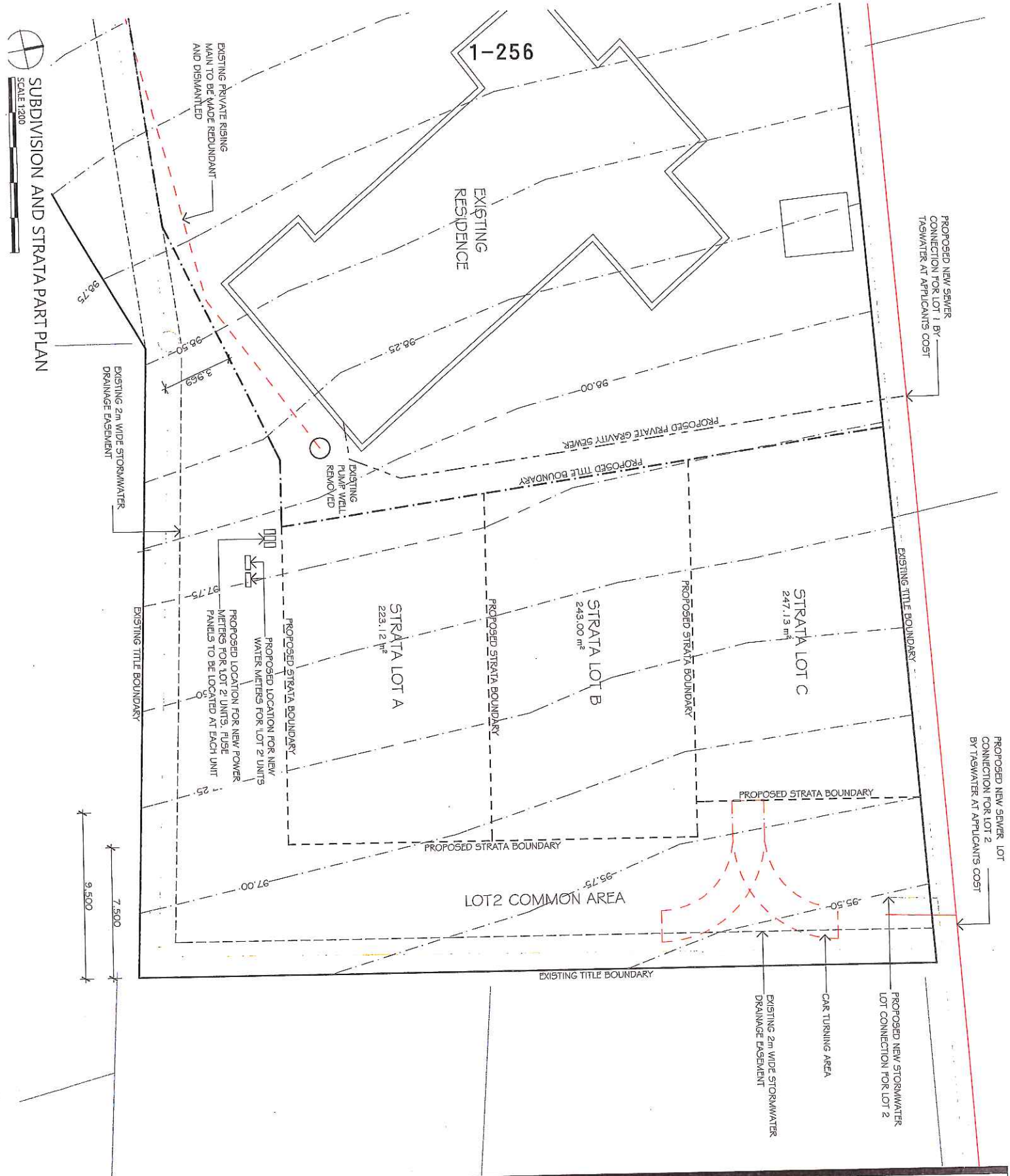
DRAWN BY - Billy Leslie-Wilson
 Ph - 0437 035 284 E - billydane@hotmail.com.au

0	ISSUED FOR DEVELOPMENT APPROVAL	11/10/17
1	Amendment	Date
A3	PRINT DATE: 16/02/2019	PROJECT NUMBER: 18001
	DRAWING No: 2 of 18	ISSUE: Issue
AO1	REV: 0	



SUBDIVISION AND STRATA PLAN
 SCALE 1:500







 SUBDIVISION AND STRATA PART PLAN

 SCALE 1:200

PROPOSED NEW SEWER LOT CONNECTION FOR LOT 2 BY TOWNWATER AT APPLICANTS COST

PROPOSED NEW SEWER LOT CONNECTION FOR LOT 2 BY TOWNWATER AT APPLICANTS COST

NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS IN ACCORDANCE WITH PART D2, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3
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 ALL STORMWATER FROM NEW BUILDINGS TO BE COLLECTED VIA 90mm DIA UPVC DOWNPIPES FROM EAVES GUTTERS AND PIPES USING 100mm DIA SUB SURFACE DRAINAGE TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS
 ALL SEWER FROM NEW BUILDINGS IS TO BE COLLECTED VIA 100mm UPVC SUB SURFACE DRAINAGE PIPES TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

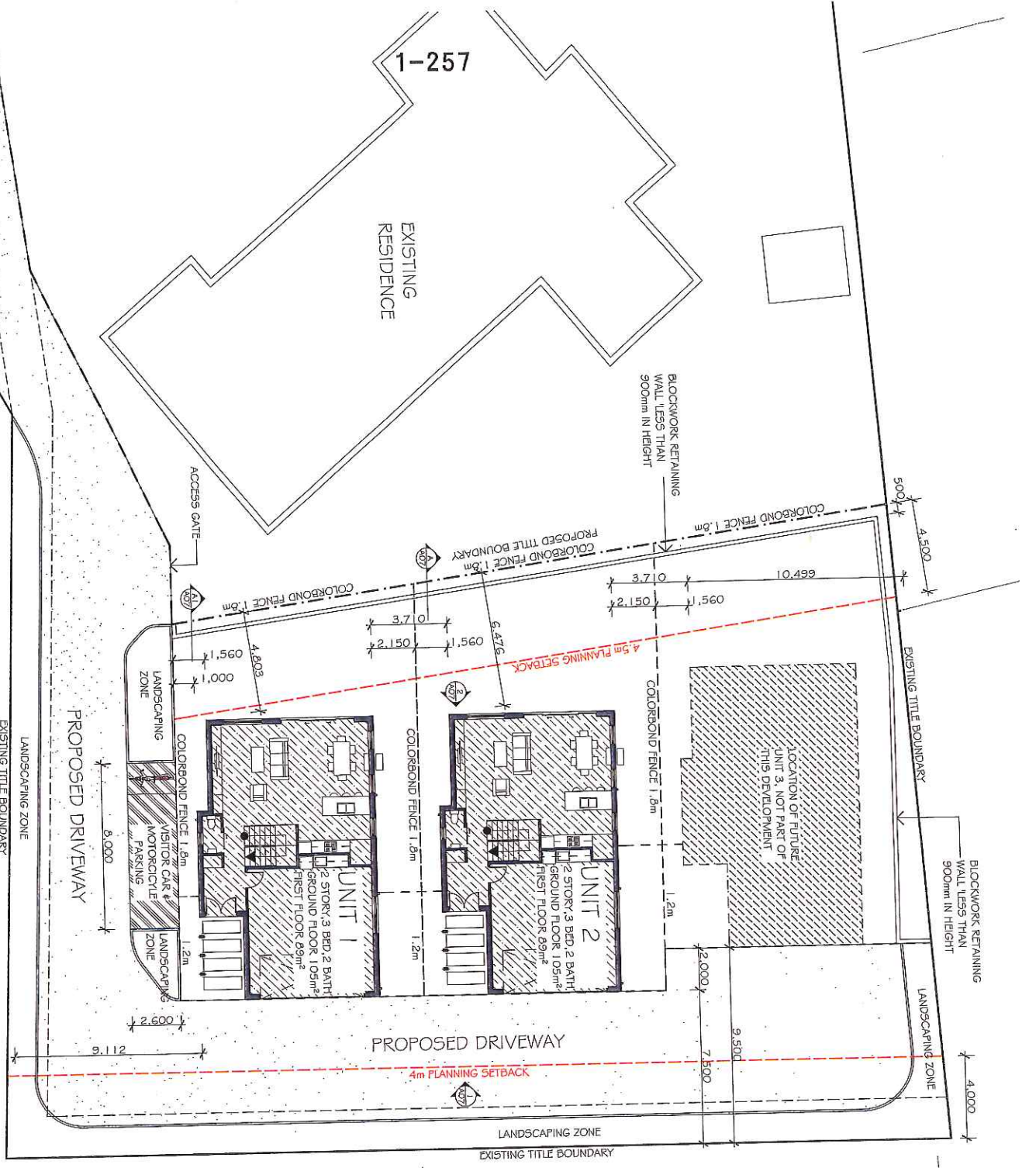
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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED

0. ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
Rev. / Amendment:	Date
PAGE SIZE	PRINT DATE:
A3	16/02/2019
DRAWING NO:	PROJECT NUMBER:
A02	18001
3 of 8	ISSUE: Issue
REV: 0	



NOTES

SURFACE AND SUBSURFACE DRAINAGE SYSTEMS IN ACCORDANCE WITH PART D2, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A STORMWATER DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3

ALL STORMWATER FROM NEW BUILDINGS TO BE COLLECTED VIA 50mm DIA UPVC DOWNPIPES FROM EAVES GUTTERS AND PIPES USING 100mm UPVC SUB SURFACE DRAINAGE TO NEW OR EXISTING ON-SITE ABSORPTION & OVERLAND DRAINAGE SYSTEMS. STORMWATER RUNOFF SHALL BE DIRECTED AWAY FROM ADJOINING PROPERTIES & OUTBUILDINGS.

ALL STORMWATER FROM NEW BUILDINGS TO BE COLLECTED VIA 50mm DIA UPVC DOWNPIPES FROM EAVES GUTTERS AND PIPES USING 100mm UPVC SUB SURFACE DRAINAGE TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

ALL SEWER FROM NEW BUILDINGS IS TO BE COLLECTED VIA 100mm UPVC SUB SURFACE DRAINAGE PIPES TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS

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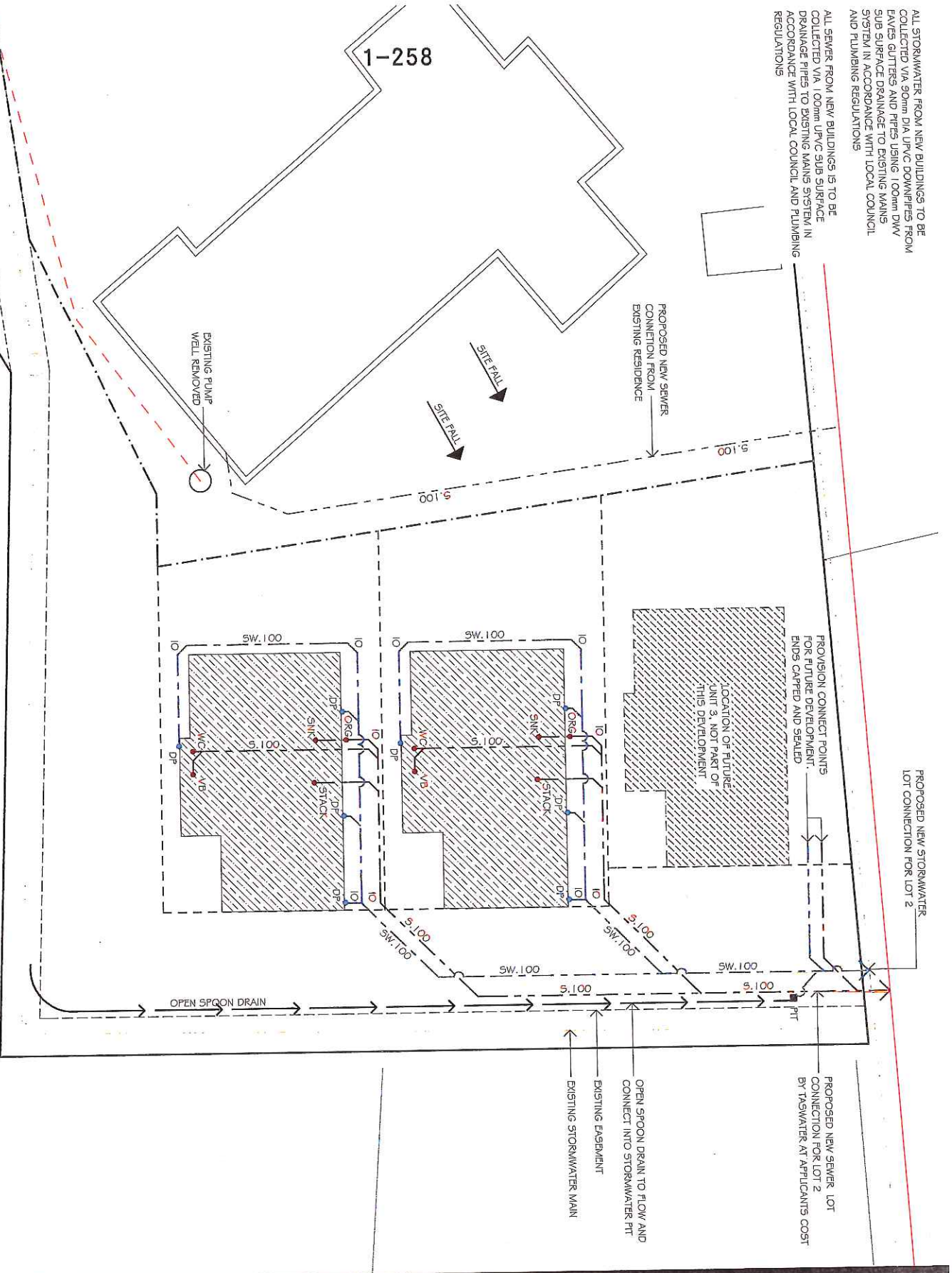
UNIT DEVELOPMENT
3 TABERNACLE PL, PERTH 7300
for DAVID and MICHELLE EGAN

EXHIBITED

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REV: Amendment	Date
PAGE SIZE A3	PROJECT NUMBER 18001
PRINT DATE: 16/02/2019	ISSUE: Issue
DRAWING No: A03	REV: 0

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ALL SEWER FROM NEW BUILDINGS IS TO BE COLLECTED VIA 100mm UPVC SUB SURFACE DRAINAGE PIPES TO EXISTING MAINS SYSTEM IN ACCORDANCE WITH LOCAL COUNCIL AND PLUMBING REGULATIONS



DRAINAGE PLAN
SCALE 1:200

PROPOSED NEW STORMWATER LOT CONNECTION FOR LOT 2

PROVISION OF FUTURE UNIT 3, NOT PART OF THIS DEVELOPMENT

PROPOSED NEW SEWER LOT CONNECTION FOR LOT 2 BY TSWATER AT APPLICANTS COST

OPEN SPOON DRAIN TO FLOW AND CONNECT INTO STORMWATER PIT
EXISTING EMBANKMENT
EXISTING STORMWATER MAIN

NOTES

- NEW 100mm DWV PVC SNG STORMWATER PIPE WITH 1: 100 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW
- NEW 100mm DWV PVC SNG SEWER PIPE WITH 1: 50 MINIMUM GRADE UNLESS NOTED OTHERWISE BELOW

COLD WATER SERVICES IN ACCORDANCE WITH PART B1, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF COLD WATER SERVICES MUST BE IN ACCORDANCE WITH AS/NZS 3500.1 OR SECTION 2 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART BACKFLOW SHALL BE INSTALLED TO ALL COLD WATER SUPPLY IN ACCORDANCE WITH AS/NZS 2845. WATER SUPPLY PRESSURE SHALL BE SET TO MAXIMUM 500kpa

HEATED WATER SERVICES IN ACCORDANCE WITH PART B2, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A HEATED WATER SERVICE MUST BE IN ACCORDANCE WITH AS/NZS 3500.4 OR SECTION 3 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART. HEATED WATER MUST BE STORED AT A MINIMUM OF 60°. HEATED WATER SHALL BE TEMPERED TO 50° TO ALL SANITARY FIXTURES FOR PERSONAL HYGIENE PURPOSES. HEATED WATER SHALL BE DELIVERED AT 60° FOR KITCHEN AND LAUNDRY FIXTURES.

NON-DRINKING WATER SERVICES IN ACCORDANCE WITH PART B3, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A NON-DRINKING WATER SERVICE MUST BE IN ACCORDANCE WITH AS/NZS 3500.1 OR SECTION 2 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART

SANITARY PLUMBING SYSTEMS IN ACCORDANCE WITH PART C1, NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A SANITARY PLUMBING SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.2 OR SECTION 4 OF AS/NZS 3500.5 AS APPROPRIATE AND THE REQUIREMENTS OF THIS PART



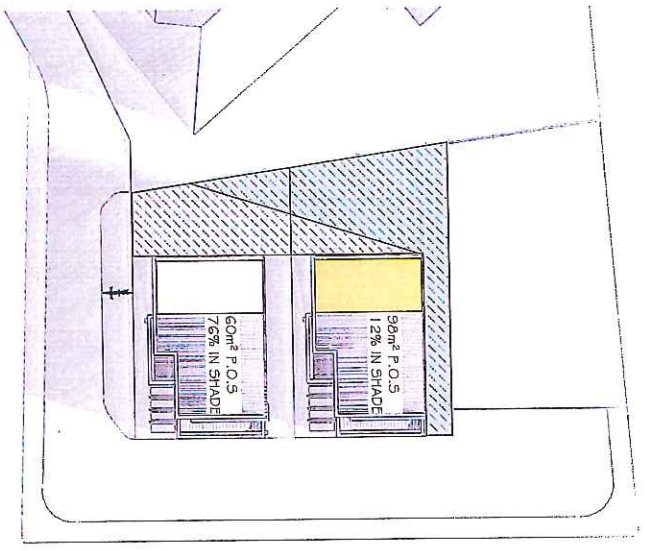
DRAWN BY: Billy Keble Wilson
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UNIT DEVELOPMENT
3 TABERNACLE PL, PERTH 7300
for DAVID and MICHELLE EGAN

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
rev.	Amendments	Date
A3	PRINT DATE: 16/02/2019 PROJECT NUMBER: 18001	
DRAWING No: 5 of 18 rev. 0		
ISSUE: Issue		

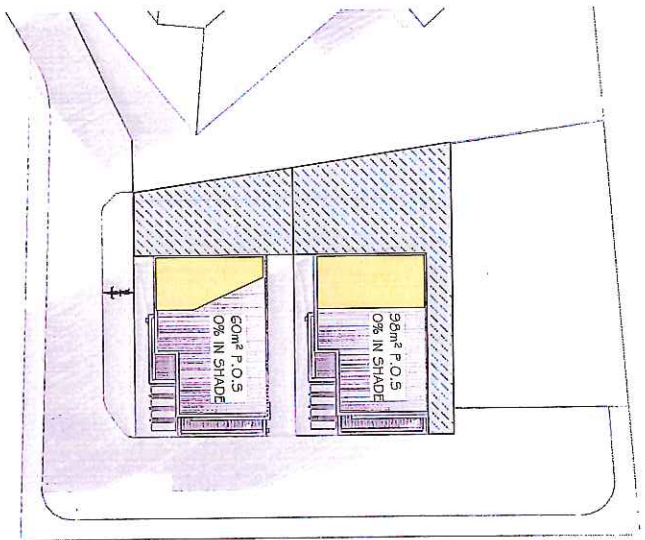
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10:30am SHADOW PLAN



12pm SHADOW PLAN



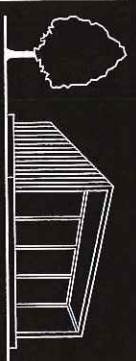
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3pm SHADOW PLAN



- NOTES**
- LIGHT ENTERING HABITABLE LIVING AREAS
 - LIGHT COVERAGE TO PRIVATE OPEN SPACES
 - SHADE COVERAGE TO PRIVATE OPEN SPACES



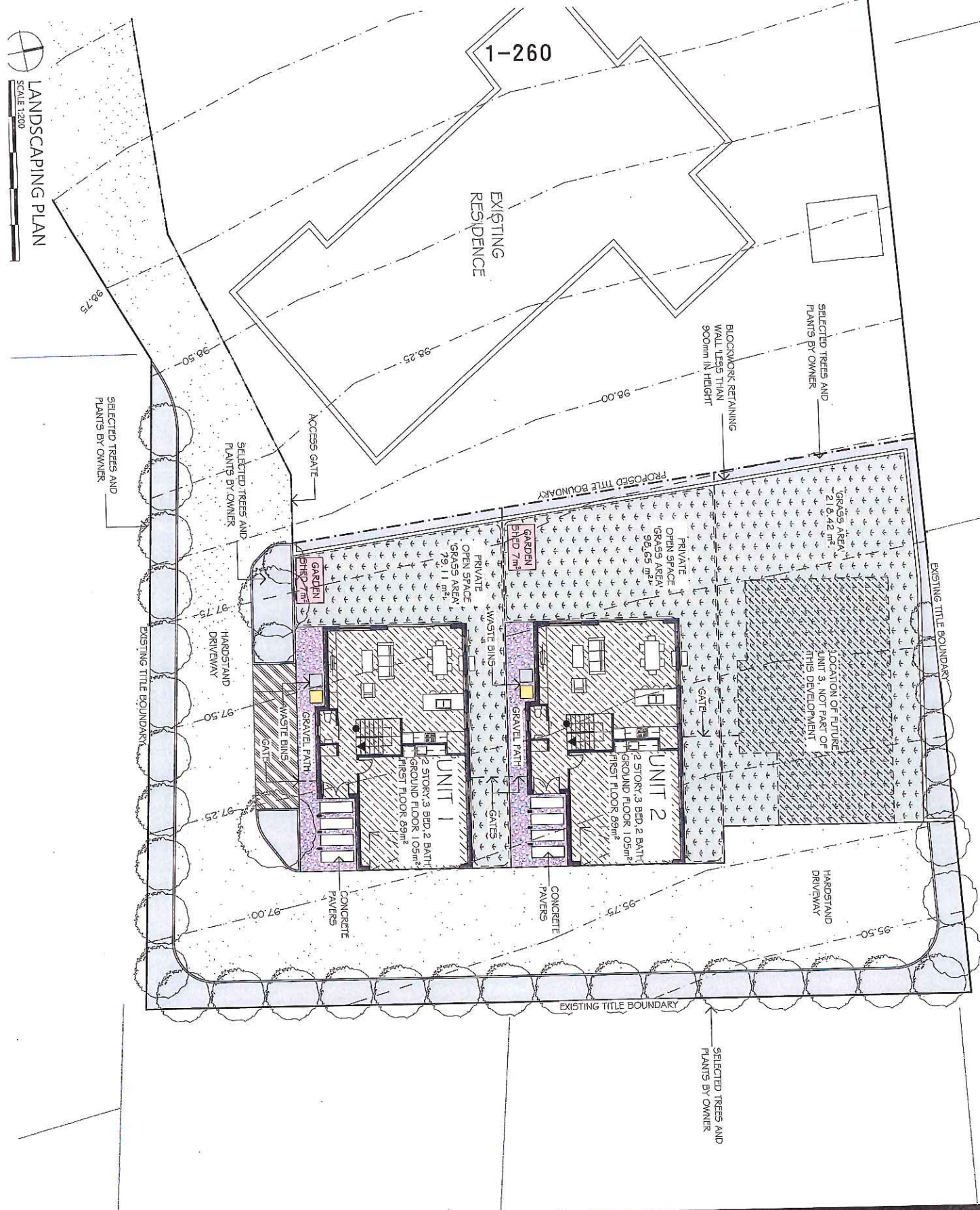
DRAWN BY - Lilly Leake-Wilson
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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	1.1.10.17
1	Rev: Amendment	Date
A3	PRINT DATE: 16/02/2019	PROJECT NUMBER: 18001
DRAWING No.: 6 of 18		ISSUE: Revise
		REV: 0

NOTES
 NON PERVIOUS AREA - 91.6m²
 PERVIOUS AREAS - 735m²
 LOT2 TOTAL AREA - 1,651 m²



LANDSCAPING PLAN
 SCALE 1:200

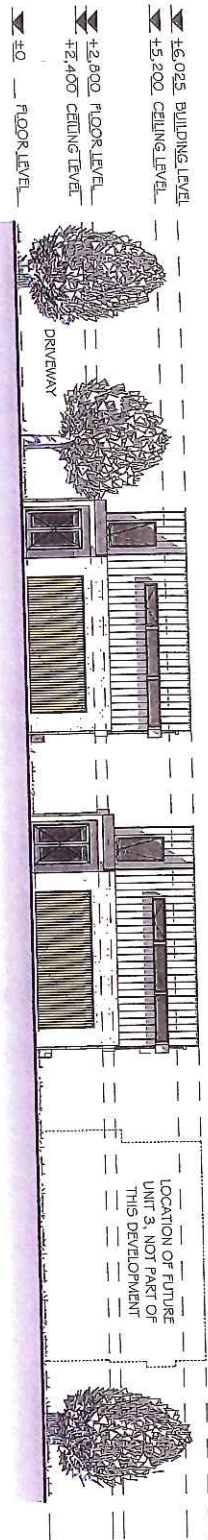
UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

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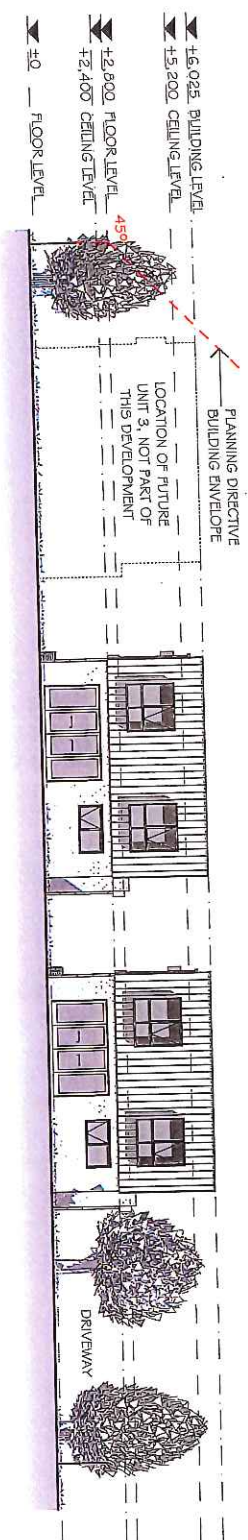
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16/02/2019	Issue
DRAWING NO.:	REV.:
A06	0
7 of 18	

Drawn by - Ealy Leslie-Wilson
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NOTES



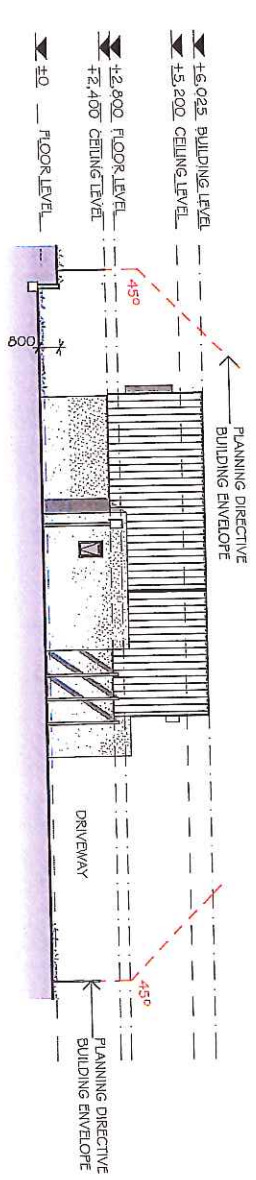
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SCALE 1:200
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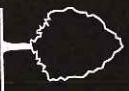
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SCALE 1:200
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4 SOUTHERN SECTION BB
SCALE 1:200
0mm 2000 4000 6000 8000 10000



3 SOUTHERN SECTION AA
SCALE 1:200

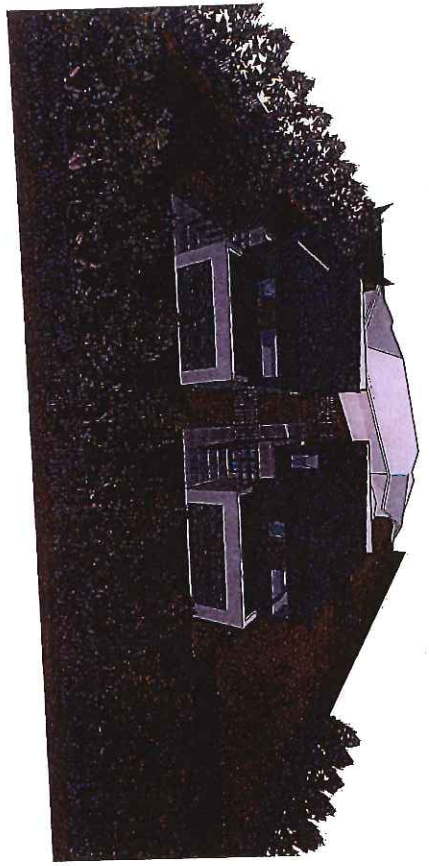

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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

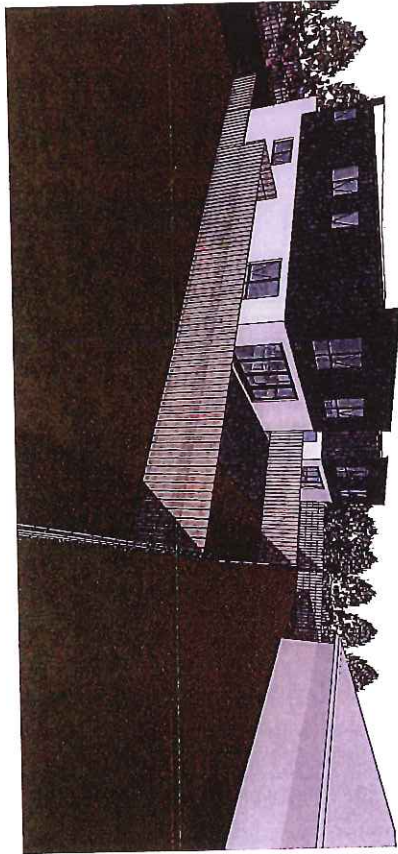
EXHIBITED

0	ISSUED FOR DEVELOPER/CLIENT APPROVAL.	11.10.17
rev.	Amendment	Date
A3	PRINT DATE: 16/02/2019	PROJECT NUMBER: 18001
DRAWING No: A07	8 of 18	ISSUE: #/Issue
	REV: 0	

SITE PERSPECTIVE

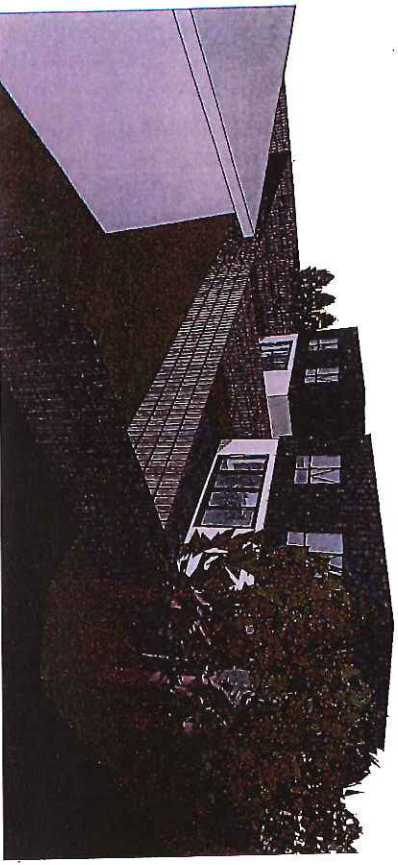


SITE PERSPECTIVE




1-262

SITE PERSPECTIVE



NOTES



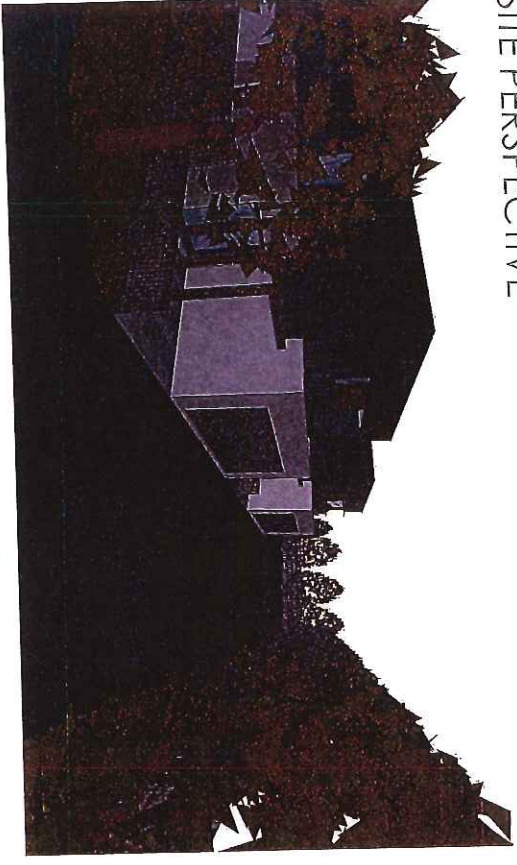
 DRAWN BY - Lilly Leslie-Mason
 Ph - 0437 095 294 E - lilyl@lmsm.com.au

UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED

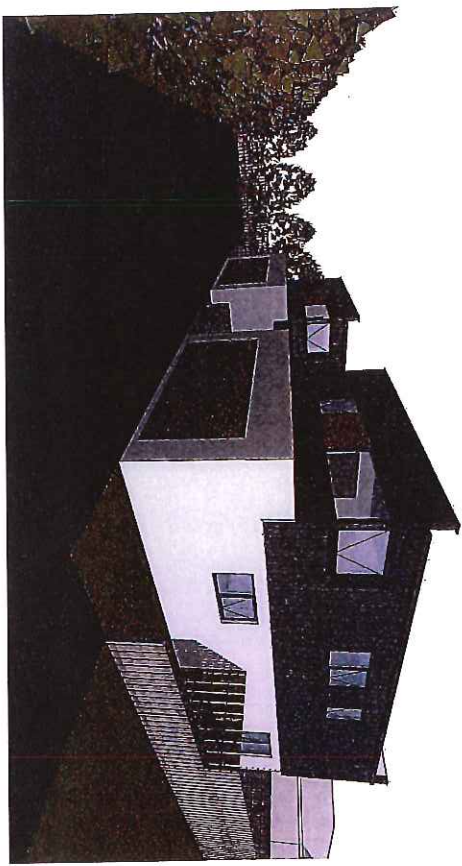
0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
rev.	Amendment	Date
PAGE SIZE	PRINT DATE:	PROJECT NUMBER
A3	16/02/2019	18001
DRAWING No:	ISSUE:	Issue
A08	9 of 18	REV: 0

SITE PERSPECTIVE

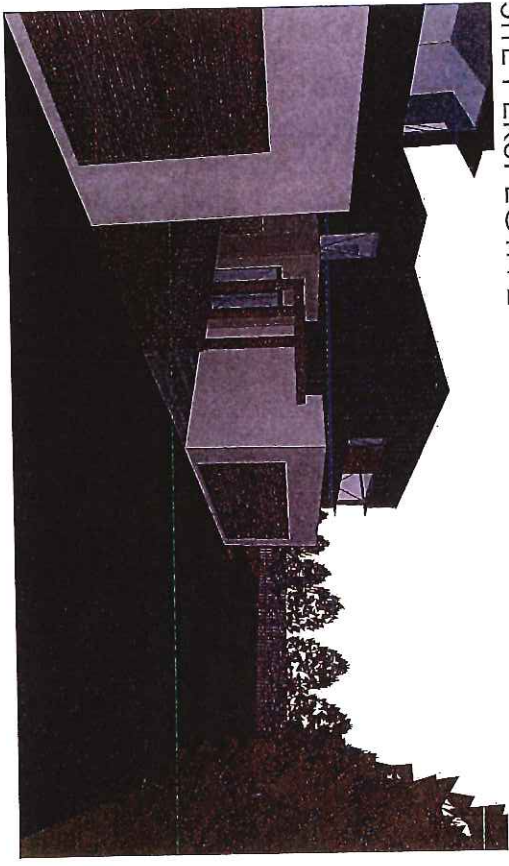


1-263


SITE PERSPECTIVE



SITE PERSPECTIVE



NOTES



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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

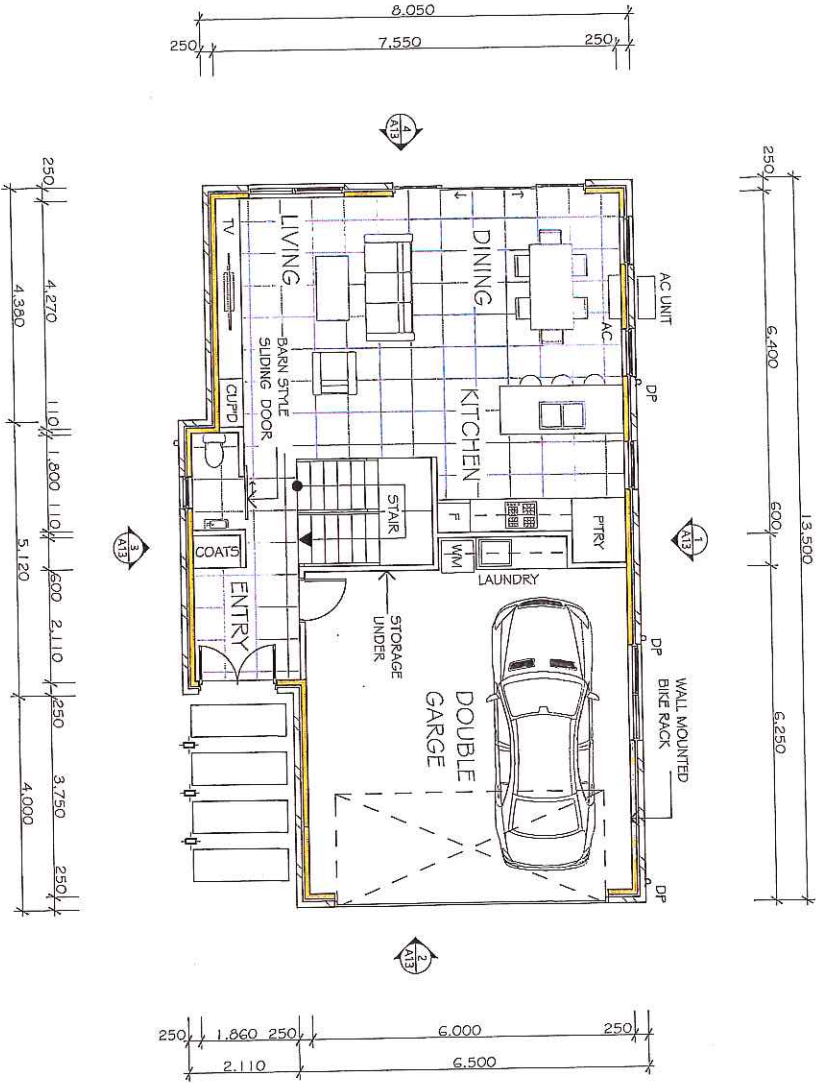
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0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
rev. 1	Amendment	Date
PAGE SIZE	PRINT DATE:	PROJECT NUMBER
A3	16/02/2019	18001
DRAWING No:	ISSUE:	Issue
A09	10 of 18	REV: 0



UNIT 1 - GROUND FLOOR PLAN

SCALE 1:100
 0m 1000m 2000m 3000m 4000m 5000m



NOTES

- 90mm SELECTED BRICK VENEER WALL.
- INSULATED 90x35mm MGF .10 OR .12 TIMBER STUD FRAME, Pp LINING INTERNALLY, PAINT FINISH
- INSULATED EXTERNAL 90x35mm MGF .10 OR .12 TIMBER STUD WALL Pp LINING, PAINT FINISH
- INTERNAL 90x35mm MGF .10 OR .12 TIMBER STUD WALL Pp LINING, PAINT FINISH
- PAINT GRADE HOLLOW CORE INTERIOR SWING DOOR WITH ARCHTRAVES, JAMBES AND STOPS, PAINT FINISH
- PAINT GRADE HOLLOW CORE (SOLID IN WEAREAS) INTERIOR CAVITY SLIDING DOOR WITH ARCHTRAVES AND JAMBES, PAINT FINISH
- POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOWS

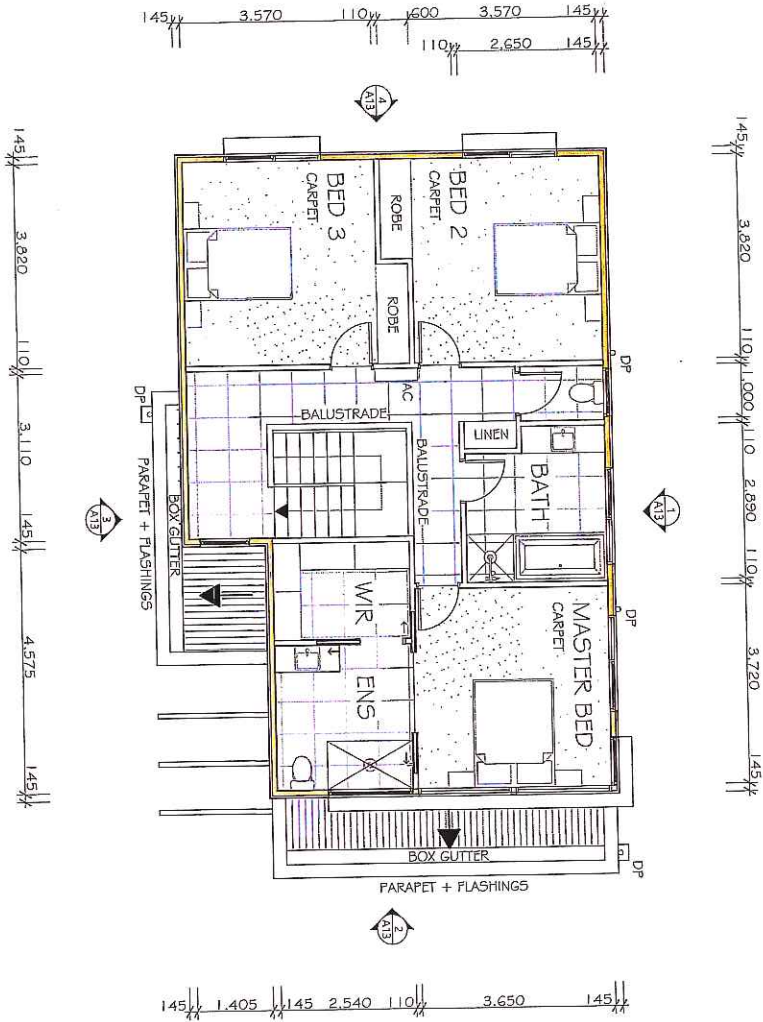


DRAWN BY - Billy Leslie-Wilson
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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
rev	Amendments	Date
A3	PRINT DATE: 16/02/2019 PROJECT NUMBER: 18001	
DRAWING No: A10	ISSUE #/Issue	REV: 0
	11 of 18	



NOTES

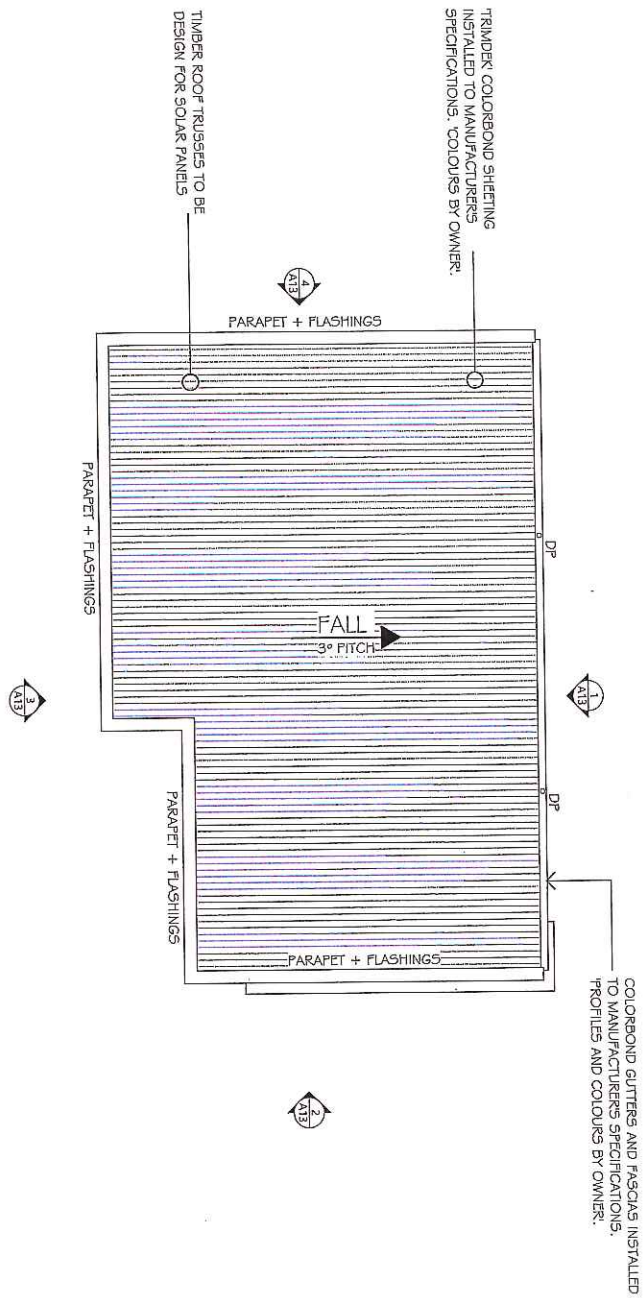
- 90mm SELECTED BRICK VENEER WALL
- INSULATED 90x35mm MGR .10 OR .12
- TIMBER STUD FRAME, FP LINING
- INTERNALLY, PAINT FINISH
- INSULATED EXTERNAL 90x35mm
- MGR .10 OR .12 TIMBER STUD WALL
- FP LINING, PAINT FINISH
- INTERNAL 90x35mm MGR .10 OR .12
- TIMBER STUD WALL FP LINING,
- PAINT FINISH
- PAINT GRADE HOLLOW CORE INTERIOR
- SWING DOOR WITH ARCHITRAVES, JAMBS
- AND STOPS, PAINT FINISH
- PAINT GRADE HOLLOW CORE (SOLID IN
- WEATHERAS) INTERIOR CAVITY SLIDING
- DOOR WITH ARCHITRAVES AND JAMBS,
- PAINT FINISH
- POWDERCOATED ALUMINIUM
- FRAMED GLAZED WINDOWS

DRAWN BY - Billy Leslie-Wilson
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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
rev.	Amendment	Date
A3	PRINT DATE: 16/02/2019	PROJECT NUMBER: 18001
DRAWING No: 12 of 18		ISSUE: #Issue
A11	REV: 0	



NOTES
METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA. WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.
GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2. OF THE BCA. ALL D/WY PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH. AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.
ROOF SHEETS MUST BE LAID WHEREVER POSSIBLE USING COMPLETE LENGTHS FROM RIDGES TO EAVES. SHEET METAL ROOF, CAPPING, FLASHINGS AND PENETRATIONS ARE TO COMPLY WITH PARTS 3.5.1.2 & 3.5.1.3 AND OF THE BCA.
REFER TO ENGINEERS DETAILS FOR ROOF FRAMING. ENSURE THE ROOF SPACE IS VENTILATED AT THE RIDGE CAPPING AND VIA VENTS LOCATED AT THE EAVES.
ROOF BATTENS MUST BE FIXED IN ACCORDANCE WITH AS 1604.4 SECTION 9 TABLES 9.2 TO 9.7. REFER TO INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
ROOF DRAINAGE SYSTEMS IN ACCORDANCE WITH PART D.1. NCC PLUMBING CODE OF AUSTRALIA VOLUME THREE THE DESIGN, CONSTRUCTION AND INSTALLATION OF A ROOF DRAINAGE SYSTEM MUST BE IN ACCORDANCE WITH AS/NZS 3500.3 OR FOR CLASS 1 AND CLASS 10 BUILDINGS, COMPLY WITH THE DEMED-TO-SATISFY PROVISIONS OF PARTS 3.1.2 AND 3.5.2 OF VOLUME TWO OF THE BUILDING CODE OF AUSTRALIA

EXHIBITED

UNIT DEVELOPMENT
3 TABERNACLE PL, PERTH 7300
for DAVID and MICHELLE EGAN

DRAWN BY - Billy Leslie-Wilson
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0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
1	Amendment	Date
A3	PRINT DATE: 16/02/2019 PROJECT NUMBER: 18001	
DRAWING NO: 13 of 18		ISSUE #/ISSUE REV: 0

BUILDING HEIGHT
 ▲ +5.200
 ▲ +6.025

CEILING LEVEL
 ▲ +2.800

FLOOR LEVEL
 ▲ +2.400

CEILING LEVEL
 ▲ +2.400

FLOOR LEVEL
 ▲ +0

TRIMMER COLORBOND SHEETING
 INSTALLED TO MANUFACTURERS'
 SPECIFICATIONS. COLOURS BY OWNER.

90mm DOWNPIPE, PAINT FINISH. CONNECT
 ALL DOWNPIPES INTO STORMWATER SYSTEM
 IN ACCORDANCE WITH LOCAL COUNCIL AND
 PLUMBING REGULATIONS

POWDER COATED
 FEATURE AWNING
 COLOURS BY OWNER

SELECTED TIMBER LOOK
 PANEL LIFT GARAGE DOOR.

1
 SCALE 1:100

UNIT 1 - NORTHERN ELEVATION
 0mm 1000 2000 3000 4000 5000

2
 SCALE 1:100

UNIT 1 - EASTERN ELEVATION
 0mm 1000 2000 3000 4000 5000

SHADOW LINE FIELDS SHEETING
 INSTALLED TO MANUFACTURERS'
 SPECIFICATIONS. COLOURS BY OWNER.

POWDERCOATED ALUMINIUM FRAMED
 GLAZED DOORS AND WINDOWS

CEILING LEVEL
 ▲ +5.200

FLOOR LEVEL
 ▲ +2.800

CEILING LEVEL
 ▲ +2.400

FLOOR LEVEL
 ▲ +0

RENDER FINISH TO BLOCK VENEER
 WALL COLOURS BY OWNER

RENDER FINISH TO BLOCK VENEER
 WALL COLOURS BY OWNER

3
 SCALE 1:100

UNIT 1 - SOUTHERN ELEVATION
 0mm 1000 2000 3000 4000 5000

4
 SCALE 1:100

UNIT 1 - WESTERN ELEVATION
 0mm 1000 2000 3000 4000 5000

NOTES

WALL CLADDING SYSTEMS MUST BE INSTALLED
 IN STRICT ACCORDANCE WITH MANUFACTURERS'
 DETAILS, INSTRUCTIONS & SPECIFICATIONS.

INSTALL THE WALL CLADDING SYSTEM COMPLETE
 WITH JOINTS, TRIMS, FLASHINGS, SEALS, FINISHES
 & FINISHES IN STRICT ACCORDANCE WITH
 MANUFACTURERS' DETAILS TO ENSURE A WEATHER-
 PROOF AND WATERTIGHT INSTALLATION.

REFER TO GLAZING CALCULATOR FOR WINDOW &
 GLAZING DETAILS TYP.

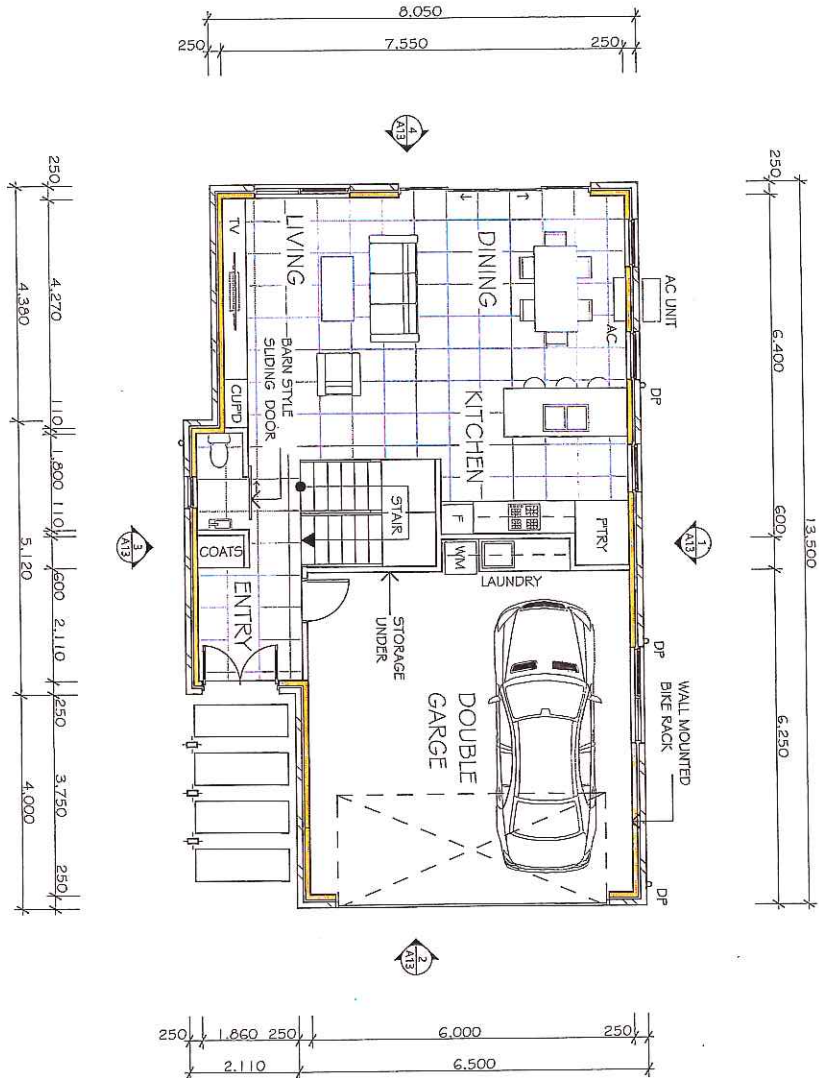
DRAWN BY: Billy Leake-Wilson
 PH: 0437 093 824 E: billy@vane@icdnal.com.au

UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 FOR DAVID and MICHELLE EGAN

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	11.10.17
1	Amendment	Date
A3	PRINT DATE: 16/02/2019	PROJECT NUMBER: 18001
DRAWING No.: A13	14 of 18	ISSUE: Issue
		REV: 0

1-268



NOTES

- 90mm SELECTED BRICK VENEER WALL.
- INSULATED 90x35mm MGF, 10 OR .12
- TIMBER STUD FRAME, Pp LINING
- INTERNALLY, PAINT FINISH
- INSULATED EXTERNAL 90x35mm
- MGF, 10 OR .12 TIMBER STUD WALL
- Pp LINING, PAINT FINISH
- INTERNAL 90x35mm MGF, 10 OR .12
- TIMBER STUD WALL Pp LINING,
- PAINT FINISH
- PAINT GRADE HOLLOW CORE INTERIOR
- SWING DOOR WITH ARCHITRAVES, JAMBS
- AND STOPS, PAINT FINISH
- PAINT GRADE HOLLOW CORE (OULD IN
- WEAR/ARE) INTERIOR CAVITY SLIDING
- DOOR WITH ARCHITRAVES AND JAMBS,
- PAINT FINISH
- POWDERCOATED ALUMINIUM
- W/## FRAMED GLAZED WINDOWS

DRAWN BY - Bill Leslie-Wilson
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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 For DAVID and MICHELLE EGAN

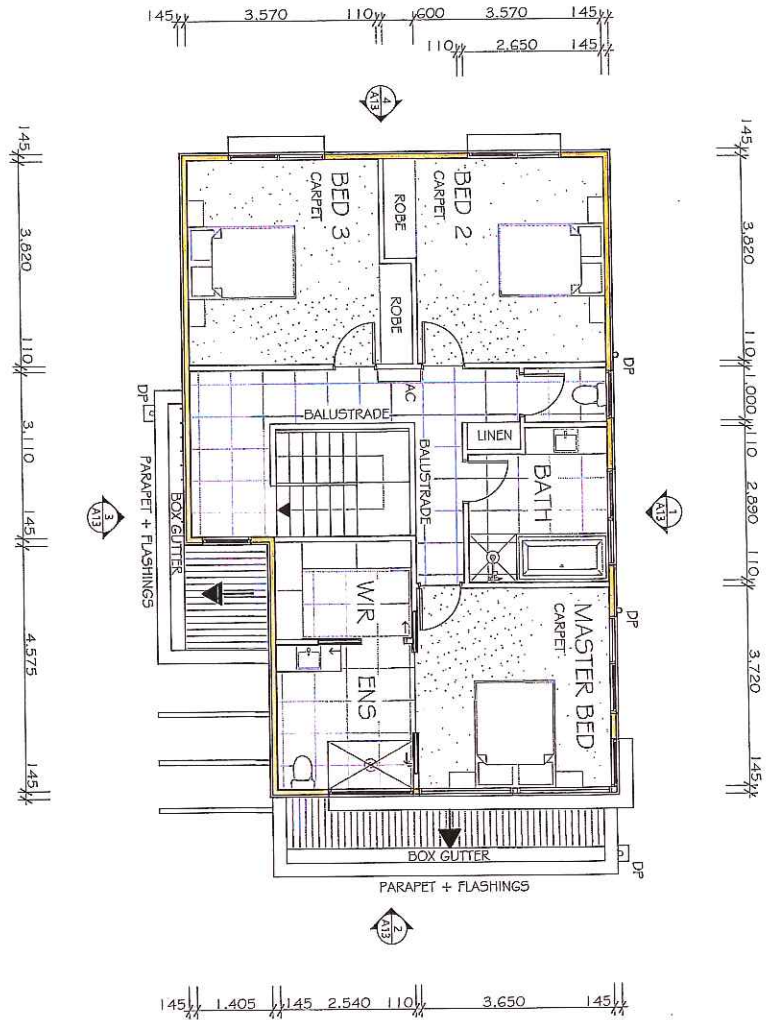
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0 ISSUED FOR DEVELOPMENT APPROVAL Level: Administrative PAGE SIZE: A3 DRAWING No.: A14	11.10.17 Date PROJECT NUMBER: 18001 ISSUE: #issue REV: 0
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UNIT 2 - FIRST FLOOR PLAN

SCALE 1:100
 1000mm 2000mm 3000mm 4000mm 5000mm



NOTES

- 90mm SELECTED BRICK VENEER WALL
- INSULATED 90x35mm MGF, 1.0 OR, 1.2
- TIMBER STUD FRAME, Fp LINING
- INTERIALLY, PAINT FINISH
- INSULATED EXTERNAL 90x35mm
- MGF, 1.0 OR, 1.2 TIMBER STUD WALL
- Fp LINING, PAINT FINISH
- INTERNAL 90x35mm MGF, 1.0 OR, 1.2
- TIMBER STUD WALL Fp LINING,
- PAINT FINISH
- PAINT GRADE HOLLOW CORE INTERIOR
- SWING DOOR WITH ARCHITRAVES, JAMB/S
- AND STOPS, PAINT FINISH
- PAINT GRADE HOLLOW CORE (SOLID IN
- WEATHERAS) INTERIOR CAVITY SLIDING
- DOOR WITH ARCHITRAVES AND JAMB/S.
- PAINT FINISH
- POWDERCOATED ALUMINIUM
- FRAMED GLAZED WINDOWS



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UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

EXHIBITED

0	ISSUED FOR DEVELOPMENT APPROVAL	1.1.10.17
1	rev. Amendment	Date
A3	PRINT DATE: 16/02/2019	PROJECT NUMBER: 18001
DRAWING No: 16 of 18	ISSUE: Issue	REV: 0

NOTES

METAL SHEET ROOFING SHALL BE IN ACCORDANCE WITH PART 3.5.1. OF THE BCA, WHEREVER POSSIBLE HAVE THE SHEETS LAID SO THAT THE SIDE LAPS ARE FACING AWAY FROM THE PREVAILING WEATHER.

GUTTERS AND DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA. ALL DWV PVC DOWNPIPES TO BE JOINTED WITH APPROVED SOLVENT AND PRIMER. PAINT FINISH. AN AUSTRALIAN STANDARD ROOF SAFETY MESH OR AN APPROVED ROOF SAFETY HARNESS OR RESTRAINT SYSTEM SHALL BE USED DURING INSTALLATION.

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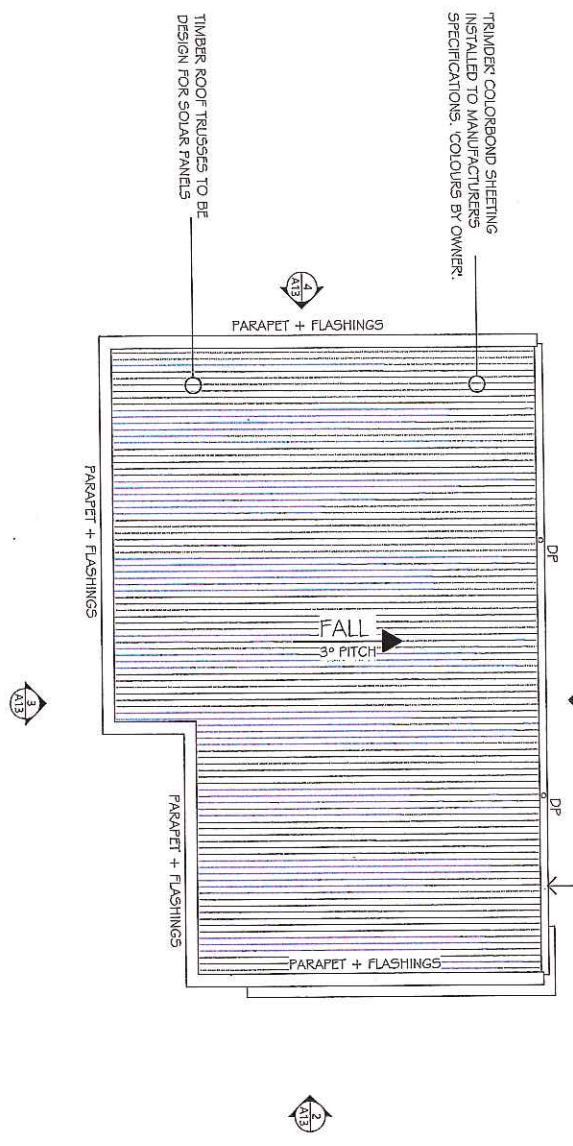
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COLORBOND GUTTERS AND FASCIAE INSTALLED TO MANUFACTURERS SPECIFICATIONS, PROFILES AND COLOURS BY OWNER.

TRIMBER COLORBOND SHEETING INSTALLED TO MANUFACTURERS SPECIFICATIONS, COLOURS BY OWNER.

TIMBER ROOF TRUSSELS TO BE DESIGN FOR SOLAR PANELS



1-270

UNIT DEVELOPMENT
 3 TABERNACLE PL, PERTH 7300
 for DAVID and MICHELLE EGAN

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EXHIBITED

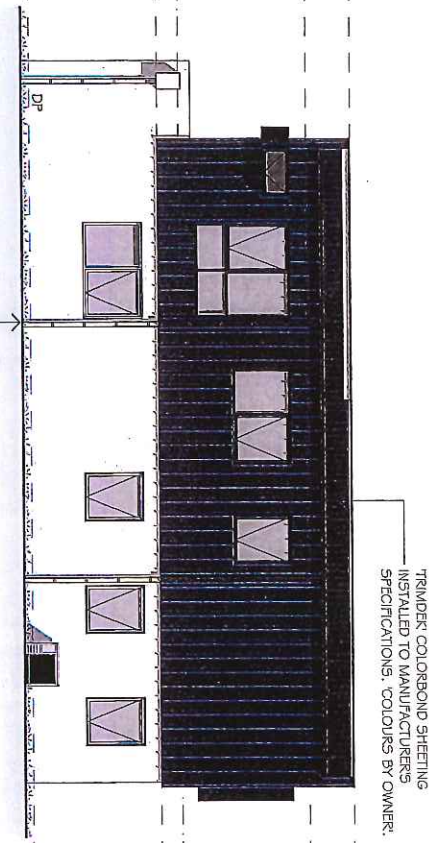
0	ISSUED FOR DEVELOPMENT APPROVAL	1.1.10.17
1	Amendment	Date
PAGE SIZE	PRINT DATE:	PROJECT NUMBER
A3	16/02/2019	18001
DRAWING No:	Issue	Issue
A16	17 of 18	REV: 0

BUILDING HEIGHT
+6.025

CEILING LEVEL
+5.200

FLOOR LEVEL
+2.800
CEILING LEVEL
+2.400

FLOOR LEVEL
+0



1 UNIT 2 - NORTHERN ELEVATION

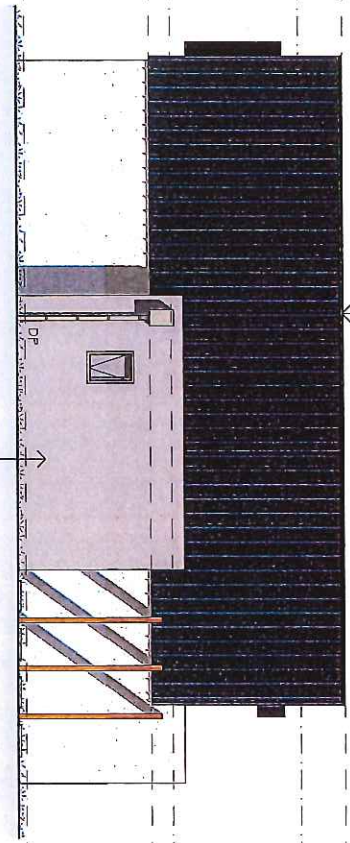
SCALE 1:100
0mm 1000 2000 3000 4000 5000

SHADOW LINE FIELDERS SHEETING
INSTALLED TO MANUFACTURERS
SPECIFICATIONS, COLOURS BY OWNER.

CEILING LEVEL
+5.200

FLOOR LEVEL
+2.800
CEILING LEVEL
+2.400

FLOOR LEVEL
+0



3 UNIT 2 - SOUTHERN ELEVATION

SCALE 1:100
0mm 1000 2000 3000 4000 5000

TRIMMER COLORBOND SHEETING
INSTALLED TO MANUFACTURERS
SPECIFICATIONS - COLOURS BY OWNER.

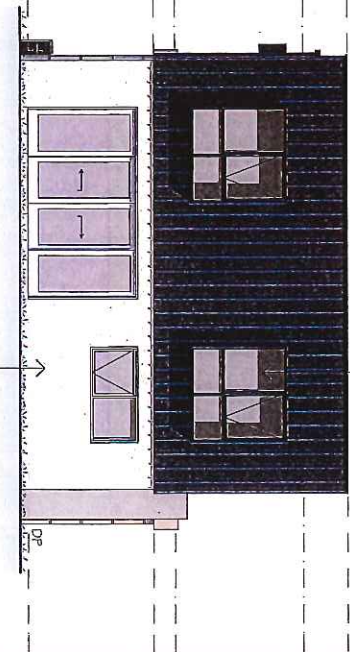
POWDER COATED
FEATURE AWNING
COLOURS BY OWNER

90mm DOWNPIPE, PAINT FINISH, CONNECT
ALL DOWNPIPES INTO STORMWATER SYSTEM
IN ACCORDANCE WITH LOCAL COUNCIL AND
PLUMBING REGULATIONS

2 UNIT 2 - EASTERN ELEVATION

SCALE 1:100
0mm 1000 2000 3000 4000 5000

POWDERCOATED ALUMINIUM FRAMED
GLAZED DOORS AND WINDOWS



4 UNIT 2 - WESTERN ELEVATION

SCALE 1:100
0mm 1000 2000 3000 4000 5000

NOTES

WALL GLAZING SYSTEMS MUST BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS, INSTRUCTIONS & SPECIFICATIONS.
INSTALL THE WALL GLAZING SYSTEM COMPLETE WITH JOINTS, TRIMS, FLASHINGS, SEALS, FINISHES & FINISHES IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS TO ENSURE A WEATHER-PROOF AND WATER-TIGHT INSTALLATION.
REFER TO GLAZING CALCULATOR FOR WINDOW & GLAZING DETAILS TYP.



DRAWN BY - Billy Leake-Watson
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UNIT DEVELOPMENT
3 TABERNACLE PL, PERTH 7300
for DAVID and MICHELLE EGAN

EXHIBITED

ISSUED FOR DEVELOPMENT APPROVAL 11.10.17

Rev. Amendments	Date
0	11.10.17
PAGE SIZE	PROJECT NUMBER
A3	18001
PRINT DATE	ISSUE
16/02/2019	Issue
DRAWING No:	Rev.
A17	1 of 18

REFERRAL OF DEVELOPMENT APPLICATION PLN-19-0049 TO WORKS & INFRASTRUCTURE DEPARTMENT

Property/Subdivision No: 105750.06
Date: 15.03.19
Applicant: David & Michelle Eagan
Proposal: 142167/2
Location: 3 Tabernacle Place, Perth

W&I referral PLN-19-0049, 3 Tabernacle Place, Perth

Planning admin: W&I fees paid.

Please inspect the property and advise regarding stormwater/drainage, access, traffic, and any other engineering concerns.

Is there is a house on one of the lots?	Yes
Is it connected to all Council services?	Yes
Are any changes / works required to the house lot?	No
Are the discharge points for stormwater, infrastructure that is maintained by Council? (This requires a check to ensure the downstream infrastructure is entirely owned, maintained, operated by Council and have been taken over as Council assets.)	Yes

Stormwater:

Does the physical location of stormwater services match the location shown on the plan? (Requires an on-site inspection)	Yes
Is the property connected to Council's stormwater services?	Yes
If so, where is the current connection/s?	Connects to piped system
Can all lots access stormwater services?	Yes
If so, are any works required?	No
Stormwater works required:	
<i>In accordance with plan</i>	
Is there kerb and gutter at the front of the property?	No
Are any kerb-and-gutter works required?	No

Road Access:

Does the property have access to a made road?	Yes
If so, is the existing access suitable?	Yes
Does the new lot/s have access to a made road?	Yes
If so, are any works required?	No
Is off-street parking available/provided?	Yes
Road / access works required:	
<i>In accordance with approved plans</i>	
Is an application for vehicular crossing form required?	No
Is a footpath required?	Yes
Extra information required regarding driveway approach and departure angles	No
Are any road works required?	No
Are street trees required?	No
Additional Comments:	An Engineer's design is required.

Engineer's comment:

CONDITIONS FOR TWO LOT SUBDIVISION

WORKS & INFRASTRUCTURE DEPARTMENT CONDITIONS

W.1 Stormwater

Each lot must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works & Infrastructure Department.

W.3 As constructed information

As Constructed Plans and Asset Management Information must be provided in accordance with Council's standard requirements.

W.4 Municipal standards & certification of works

Unless otherwise specified within a condition, all works must comply with the Municipal Standards including specifications and standard drawings. Any design must be completed in accordance with Council's subdivision design guidelines to the satisfaction of the Works & Infrastructure Department. Any construction, including maintenance periods, must also be completed to the approval of the Works & Infrastructure Department.

W.6 Separation of hydraulic services

- a) All existing hydraulic services and connections, including stormwater must be located.
- b) Where required, pipes are to be rerouted to provide an independent system for each lot.
- c) Certification must be provided that hydraulic services have been separated between the lots.

W.7 Easements to be created

Easements must be created over all Council owned services in favour of the Northern Midlands Council. Such easements must be created on the final plan to the satisfaction of the General Manager.

W.8 Pollutants

- a) The developer/property owner must ensure that pollutants such as mud, silt or chemicals are not released from the site.
- b) Prior to the commencement of the development authorised by this permit the developer/property owner must install all necessary silt fences and cut-off drains to prevent soil, gravel and other debris from escaping the site. Material or debris must not be transported onto the road reserve (including the nature strip, footpath and road pavement). Any material that is deposited on the road reserve must be removed by the developer/property owner. Should Council be required to clean or carry out works on any of their infrastructure as a result of pollutants being released from the site the cost of these works may be charged to the developer/property owner.

CONDITIONS FOR MULTIPLE DWELLINGS

W.1 Stormwater

- a) Each dwelling must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works & Infrastructure Department.
- b) Concentrated stormwater must not be discharged into neighbouring properties
- c) Landscaping and hardstand areas must not interfere with natural stormwater run-off from neighbouring properties.
- d) All driveways and hardstand areas must be designed to allow stormwater run-off to be adequately drained to the Council stormwater system.
- e) Prior to the issue of a building permit, or the commencement of development authorised by this permit, the applicant must design and provide plans for

underground stormwater drainage to collect stormwater from the driveways and roofed area of buildings. The system must connect through properly-jointed pipes to the stormwater main, inter-allotment drainage or other lawful point of discharge to the satisfaction of the Plumbing Inspector.

- f) A plumbing permit is required prior to commencing any plumbing or civil works within the property.
- g) Onsite stormwater detention shall be provided for the peak storage 100 year ARI event. The discharge from the site must be limited to the 5 year event equivalent to a site impervious coverage of 50%. Plans and calculations detailing the detention must be provided for approval by Council prior to the commencement of any works on site.
- h)

W.3 Municipal standards & approvals

Unless otherwise specified within a condition, all works must comply with the Municipal Standards including specifications and standard drawings. All works must be constructed to the satisfaction of Council. Where works are required to be designed prior to construction, such designs and specifications must be approved by Council prior to commencement of any *in situ* works.

W.5 Pollutants

- a) The developer/property owner must ensure that pollutants such as mud, silt or chemicals are not released from the site.
- b) Prior to the commencement of development authorised by this permit the developer/property owner must install all necessary silt fences and cut-off drains to prevent soil, gravel and other debris from escaping the site. Material or debris must not be transported onto the road reserve (including the nature strip, footpath and road pavement). Any material that is deposited on the road reserve must be removed by the developer/property owner. Should Council be required to clean or carry out works on any of their infrastructure as a result of pollutants being released from the site the cost of these works may be charged to the developer/property owner.

W.6 Works damage bond

- a) Prior to the issue of a building permit, or the commencement of development authorised by this permit, a \$500 bond must be provided to Council, which will be refunded if Council's infrastructure is not damaged.
- b) This bond is not taken in place of the Building Department's construction compliance bond.
- c) The nature strip, crossover, apron and kerb and gutter and stormwater infrastructure must be reinstated to Council's standards if damaged.
- d) The bond will be returned after building completion if no damage has been done to Council's infrastructure and all engineering works are done to the satisfaction of the Works & Infrastructure Department.

Jonathan Galbraith (Engineering Officer)

Stormwater requirements discussed with Cameron Oakley (Consultant Engineer)

Date: 2/4/19

Submission to Planning Authority Notice

Council Planning Permit No.	PLN-19-0049	Council notice date	15/03/2019
TasWater details			
TasWater Reference No.	TWDA 2019/00354-NMC	Date of response	29/03/2019
TasWater Contact	Anthony Cengia	Phone No.	(03) 6237 8243
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	3 TABERNACLE PL, PERTH	Property ID (PID)	2548264
Description of development	Subdivision & Multiple dwellings - one existing		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Billy Leslie-Wilson	18001 Sheets A02, A03	1	24/03/2019
Billy Leslie-Wilson	18001 Sheets A04, A05, A06, A07, A10, A11, A12, A13, A14, A15, A16, A17	0	24/03/2019
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
<ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections / sewerage system and connections to each dwelling unit / lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. 			
FINAL PLANS, EASEMENTS & ENDORSEMENTS			
<ol style="list-style-type: none"> 4. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made. <i>Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.</i> 5. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions. 			

DEVELOPMENT ASSESSMENT FEES

6. The applicant or landowner as the case may be, must pay a development assessment and Consent to Register a Legal Document fee TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date they are paid to TasWater, as follows:
- \$351.28 for development assessment; and
 - \$149.20 for Consent to Register a Legal Document
- The payment is required within 30 days of the issue of an invoice by TasWater.
7. In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice**General**

For information on TasWater development standards, please visit
<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Marnie Dell-Jory
Graeme Jory
34 William St
Perth TAS 7300

Northern Midlands Council
PO BOX 156 Longford TAS 7301

General Manager

Dear Sir

We wish to put in a representation to council regarding the proposed
2 - LOT SUBDIVISION (VARY SET BACK OF EXSTING BUILDING & ACCESS
(RIGHT OF WAY)) & 2 X MUTIPLE DWELLINGS ON LOT 2 & VACANT STRATA
LOT
3 TABERNACLE PLACE PERTH TAS, 7300

After viewing the attached documentation I would like to put forward the following points against this high density proposed development.

2.0 Location:

- **2.1 Subject site** - This states that the access strip to the new proposed development Lot 2 (2 x 3 bedroom townhouses and future townhouse 3 with no individual off street parking) will accessed via a shared drive way with Lot 1. The amount of traffic is expected to increase from the existing dwellings vehicles to a likely additional 9 residential vehicles plus visitors and service vehicles.
- Access to Lot 2 for vehicles and pedestrians must pass through a narrow 3.9m point between the existing dwelling and boundary fence which will create a hazard for safe movement to and from these townhouses.
- The narrowness of parts of the access road and the left hand turn that all vehicle's including service and emergency vehicle's must take to gain entry to the proposed town houses is of great concern to us especially if there is a fire.
- We also fear that the garden bed on the eastern boundary fence (our boundary) will be eventually removed and cars will park their due to there being no off street parking and only 1 visitor parking for the proposed townhouses and strata vacant block until the 3rd town house is built.



These pictures were taken on the 28/3/19 at 4.35pm showing cars parked on the nature strip in front of the homes in the cul-de-sac from which it is proposed to add another 6 cars with only 1 visitor car park. The nearest legal visitor parking is approximately 180m from the furthest townhouse.

The surrounding area is predominantly made up of older homes on larger blocks which have always been a very quiet area. The unexpected additional noise and loss of privacy from this high density development was never anticipated and will certainly not add to the enjoyment

of our backyard and homes. The access road and therefore this development do not add to or compliment the surrounding area.

- **2.2 Location** is reported as being in the urban area growth boundary, but this area is also zoned as **medium density (not high density)**, the majority of homes surrounding the area of this proposed development are on substantial block sizes as can be seen on the plans and therefore this development does not add to or compliment the surround area.

- **10.4.1 Residential density for multiple dwelling**

Requirements part (B): the density of this area is zoned medium density - the proposed development document has not addressed this or to the performance requirement that the development P1 part (a) -is compatible with the density of the surrounding area.

This area is zoned as **medium density (not high density)**, the majority of homes surrounding the area of this proposed development are on substantial block sizes as can be seen on the plans and therefore this development does not add to or compliment the surround area.

- **10.4.1 Residential density for multiple dwellings Objective:** To provide for suburban densities for multiple dwellings that: (a) make efficient use of suburban land for housing; and (b) optimise the use of infrastructure and community services. Acceptable Solutions Performance Criteria A1 Multiple dwellings must have a site area per dwelling of not less than: (a) 325m²;

The site area of strata lot A is 223.12m²

The site area of strata lot B is 243.00m²

The site area of strata lot C is 247.13m²

- **10.42 setbacks and building envelope for all dwellings**

Objective: To control the siting and scale of dwellings to:

Part (c) and (d) does not appear to have been be responded to

(C) stated provide consistency in the apparent scale and bulk, massing and proportion of dwelling; and

(d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable room and private open spaces.

The density, of the proposal is not in keeping with the surrounding areas and the shadow plan supplied does not show the "shadowing: on the to the adjacent properties it just stops at the boundary fence and as we have always enjoyed beautiful late afternoon sun, evening

skies and sunsets from our yard and lounge room for which our house was designed for will be lost.

As the 2 storey townhouses are 6.02 meters in height it would be assumed due the fall of the land that any sensor lights /outdoor light will face directly down our yard and in winter when our trees are bare due to being deciduous we will be able to look straight our lounge room window and we will see the bedroom windows of the proposed buildings.

Are these townhouses going to be short term holiday stay, rented or sold? And then if these are approved will that make it easier for the building of the 3rd town house. The plans are very confusing in regard to group housing conditions and individual townhouse requirements to a lay person. And what is the rear and frontage of these Town houses as the only street entrance is from is the apparent rear of the property.

This development is significant and can change the outlook, usability and enjoyment of our homes and backyards. Our property also has a vacant lot that backs on to the proposed development and whether this development will impede on a development in the future is an unknown.

Yours sincerely Marnie & Graeme Jory

From: Kim Hayward < >
Sent: Friday, 29 March 2019 7:57 AM
To: NMC Planning
Subject: Development Application # PLN-19-0049

NMC
Planning Department

I am writing to express a concern we have to the above proposed development of 2 strata buildings and 1 future strata building.

The application indicates the creation of a right-of-way for vehicular access, a vehicular turning circle at the end of lot 3 and parking at the rear of each of the strata buildings. The proposed subdivision vehicular right-of-way borders the rear of our property and will be in use 24/7 thereby creating a significant increase in noise to ourselves and other neighbors that are affected by the proposal.

We recommend that the developer build some sort of acoustic barrier along the pathway of the vehicular right-of-way or alternatively reverse the imprint of strata buildings so the vehicular access to the site is between the current building and the proposed buildings

Sincerely

Michael Salhani and Kim Hayward

Sent from my iPad

The General Manager
Po Box 156
LONGFORD TAS 7301

Date: 27th March 2019

We, Luke Midson and Linda Richardson, owners of the property situate at 5 Talisker Street, Perth, wish to make a representation to planning application number: PLN-19-0049 (3 Tabernacle Place, Perth) based on the following grounds:

The development requires access to an existing easement on our property. Our Title clearly shows that only the lots in SP156535 have rights over the easements shown on the Plan. The land shown in SP142167 is outside of SP156535 and has no such rights and Council have approved SP156535 as being correct as of 2FEB 2009.

We note the access to our property to do the works they wish to do will require the removal of part of the existing fence. Upon making enquiries with Council, we mentioned our safety concerns as we have young children and a dog and removal of the fence and digging on our property would pose a major safety risk to them. We enquired as to how long the process would take to be told it would be the developer's private contractor and they could take as long as they needed to (day/s? A week? Longer?) We were advised that any dog boarding fees needed as we no longer had a fully secure yard would be our responsibility. The location of our dog run is right beside where the developers are wanting to dig would be distressing to our dog and she would bark continuously throughout the time it takes to complete the proposed work. Besides the barking issue, we have no idea how long it will take and it will be incredibly cruel to keep a large dog enclosed in a small yard for an undisclosed amount of time. We were further advised that our concerns with our children's safety were our responsibility and they couldn't tell us what, if any, appropriate safety measures would be taken by the developer.

For the reasons above we therefore **do not give permission** for the developer to have access to our property.

Loss of Privacy:

The existing fence between our property and that of the developer is an old 6 foot (approx.) single paling fence which has up to approx. 20mm gaps between each paling. This fence will not provide adequate privacy with the proposed development. In the proposed drive way area, car headlights will be beaming through the gaps in the fence and into a number of windows we have on that side of the house including one window located directly opposite the proposed driveway location. Any landscaping will likely take years to provide any kind of reasonable privacy. As this boundary has the easement on our side and the current proposal shows, we are unable to plant our own landscaping for privacy for it is subject for removal anytime easement work should need to be undertaken.

The driveway, together with up to 3 more 3 bedroom residences will also bring with it a huge increase in noise in the area. There is provision for 4 cars to be garaged in the initial stage and we note a further 2 should proposed Lot C be built on too. The visitor parking space on the property will not be visible from the street so further visitors will need to drive right into the property before

knowing that there is no parking available and will need to drive to the end in front of proposed unit 3 for sufficient area to turn. Again causing more excess noise and of a night more light flashing directly into our residence.

Should the unit that is proposed to be built at a later date on Lot C of the development be the same as the 2 units proposed for the initial stage, the unit will look down straight into our property including straight into our young daughter's bedroom. Due to the easement on our property that runs the length of that boundary we have very little options with landscaping to provide privacy to our property. Any plants we plant could be dug up at anytime and any screens built could be removed at any time. The existing 6 foot fence will do very little to provide privacy from a 2 storey building that will be built close to the fence. Currently unit 2 has windows on the northern elevation that will impact greatly on our privacy only proceeding to get worse should unit 3 go ahead.

We note there is an existing hedge on the developer's property which currently provides some privacy to our property. Will this hedge remain following the development? If it is to remain what happens if the hedge is damaged with the extensive excavation works that will be done as part of the proposed development? If the 3rd unit is built and the buyers of the property don't like the hedge what will prevent them from removing it? Any landscaping along that boundary will take years to provide any real privacy. Prior to moving into our home almost 3.5 years ago we planted quick growing hedges on 2 of our boundaries to provide more privacy. Those hedges are now only just fence height.

The proposed development on our boundary could not be more imposing. We purposely bought our property in an already developed area knowing we were one of the last to build. Our home was designed around the existing properties to provide us with privacy. What we see proposed is highly out of keeping for the area and seems to be more akin to an inner city, densely populated area. It is intrusive and ultimately with its close proximity to our boundary strips us of our privacy, tranquility and has the potential to devalue our property. Not only that it will cause our family significant stress due to the invasion of our backyard by private contractors who do not have our consent for an unspecified amount of time that will raise many security/safety concerns.

Yours sincerely

Luke Midson and Linda Richardson

26TH March 2019

Northern Midlands Council
 Att: The General Manager
 Po Box 156
 LONGFORD, TAS, 7301

NORTHERN MIDLANDS COUNCIL					
LUGHRAN					
File No					
Property					
Attachments					
REC'D 26 MAR 2019					
GM			JMYB		
P&DM			JCRS		
CSM			PLAN		✓
E&DM			ELD		
WM			HLT		
HR					

REF Number: PLN-19-0049

I refer to the application to subdivide and development of 3 Tabernacle Place in Perth and lodge objection (representation) based on the following:

The plan indicates that the sewerage line will need to be redirected into the existing sewerage line at the back of my property 11 Talisker Street.

In order to access and join this line the fence will need to be removed, with young children and a dog this will leave my yard unsecured which is unacceptable. With my partner and I working rotating shift work and our children often playing outside with limited supervision and our energetic dog requiring space to exercise It is imperative that our yard is secure for child and animal at all times.

If the developer can provide me with written undertaking that

- Temporary fencing or other suitable child and pet friendly barriers can be put in place maintaining security of my premises through the works
- Agreement that my yard will be returned to its current state once the sewerage works are completed
- A new fence will be erected at the develops cost
- Indemnifying me of any legal or financial responsibilities for the duration of the development

I would be happy to revoke my objection (reservation) if the developer agrees the above and once this is received in writing

Regards

Gwenaelle Manier
 11 Talisker Street
 PERTH TAS 7300
 Ph: