

1-471

PLAN 3

PLANNING APPLICATION PLN-19-0154

97 WELLINGTON STREET, LONGFORD

ATTACHMENTS

- A Application & plans
- B Responses from referral agencies
- C Representations & applicant's response

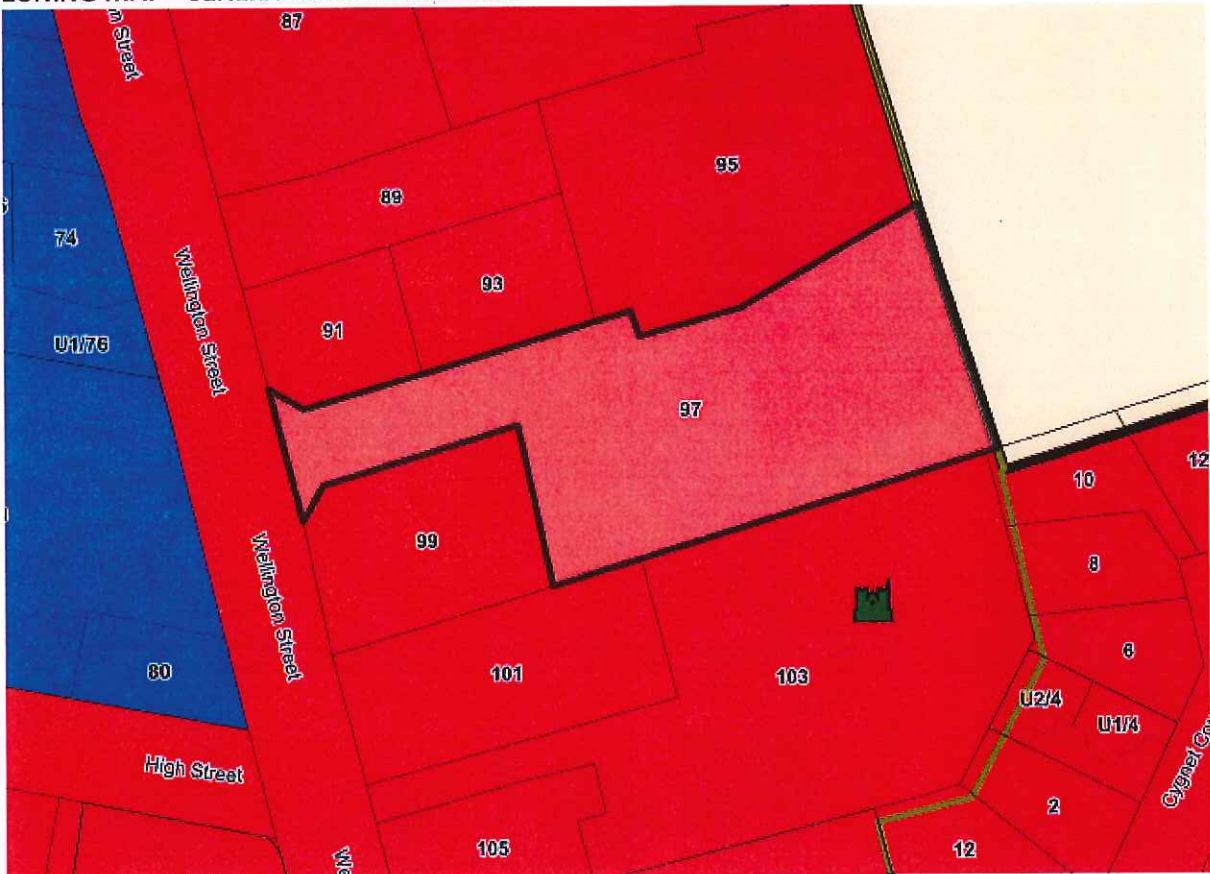
Exhibited

PLN-19-0154

AERIAL PHOTOGRAPH & SERVICES MAP for 97 WELLINGTON STREET, LONGFORD



ZONING MAP - GENERAL RESIDENTIAL ZONE



1-473
PLANNING APPLICATION
Proposal



Description of proposal:NEW GARAGE/SHED

.....
.....
.....

(attach additional sheets if necessary)

Site address: 97 WELLINGTON STREET, LONGFORD TAS

.....

CT no: 122410/3

Estimated cost of project \$60,000 *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? HOUSE UNDER CONSTRUCTION
If yes – main building is used as ...DWELLING

If variation to Planning Scheme provisions requested, justification to be provided:

...REDUCED SET BACK TO THE WESTERN BOUNDARY WILL NOT OVERSHADOW THE NEIGHBOURING RESIDENCE WHICH IS APPROX 16M AWAY. THE SHED HAS BEEN SITED TOWARDS THE SOUTHERN BOUNDARY TO AVOID IMPACTING ON THE NEIGHBOURING RESIDENCE...THERE IS AN EXISTING FENCE AND FOLIAGE IN THE NEIGHBOURS GARDEN THAT ALREADY PROVIDES PRIVACY TO THE DWELLING

.....
.....

(attach additional sheets if necessary)

Is any signage required? NO.

(if yes, provide details)



OWNER Robert MacKinnon Harrison,
 Frank Collier Bond,
 Violet May Barnes.
 DLIO REFERENCE
 C.T. 34552-1, C.T. 33775-1, C.T. 33775-6.
 DISTANCE
 Part of 63° 35' 0" Gtd. to William
 Mason.

PLAN OF SURVEY

BY SURVEYOR M.R ROSE — G.J. WALKER & CO. P/L
 LAUNCESTON.

LOCATION

TOWN OF LONGFORD.

SCALE 1:750.

LENGTHS IN METRES

REGISTERED NUMBER

SP122410

APPROVED
 EFFECTIVE FROM 27 MAY 1996.

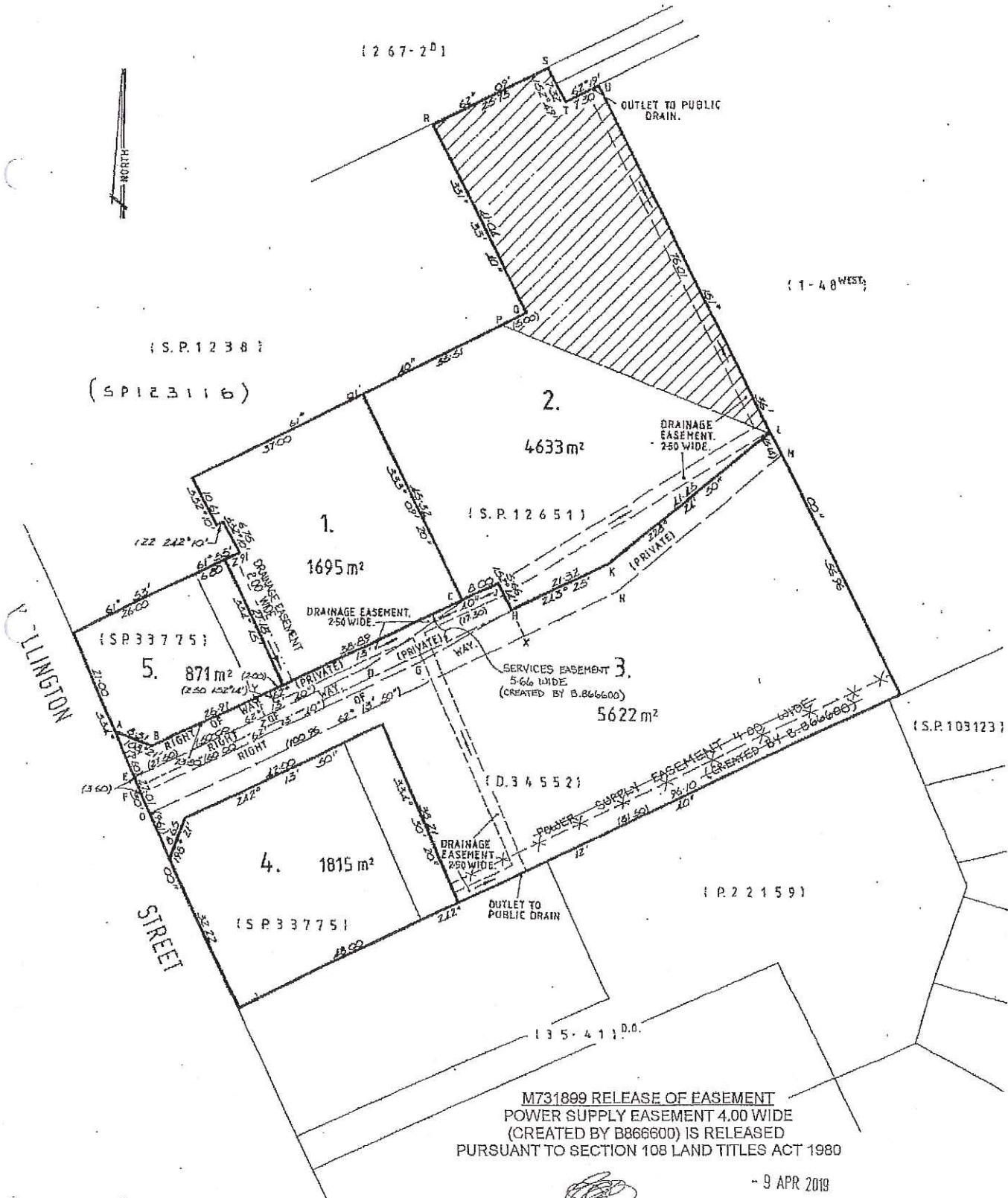
M. R. Rose
 Recorder of Titles

SHEET MUNICIPAL
 DE No. 123

LAST UPI No. 5602553

LAST PLAN
 No. D.34552, SP33775

ALL EXISTING SURVEY NUMBERS TO BE
 CROSS REFERENCED ON THIS PLAN



M731899 RELEASE OF EASEMENT
 POWER SUPPLY EASEMENT 4.00 WIDE
 (CREATED BY B866600) IS RELEASED
 PURSUANT TO SECTION 108 LAND TITLES ACT 1980

DFOR GARAGE
30/07/19
revised 09/08/19

RESIDENTIAL ZONE
 MIDLANDS COUNCIL
 BUILDING AREAS
 BUILDING SIZE
 91.54 SQM

AMENDED
 9/8

Exhibited

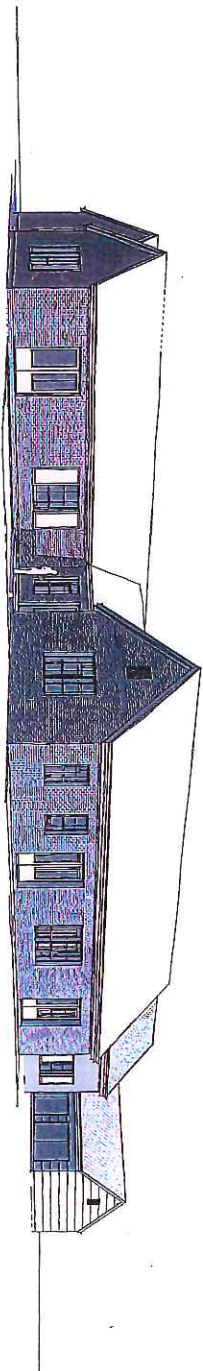
BUILDING DESIGNER: JO WOODBURY
 ACCREDITATION No: CC 5579 n
 LAND TITLE REFERENCE NUMBER: 1224703
 DESIGN WIND SPEED: refer eng
 SOIL CLASSIFICATION: 7
 CLIMATE ZONE: bal low
 BUILDING RESISTANCE BAL RATING: NOT APPLICABLE
 BUILDING AREA: MED
 CORROSION ENVIRONMENT: NO
 FLOODING: NO
 LANDSLIP: NO
 DISPERSIVE SOILS: UNKNOWN
 SALINE SOILS: UNKNOWN
 SAND DUNES: UNKNOWN
 MINERALS: NO
 MINERALS QUANTIFICATION: UNKNOWN
 LANDFILL: REFER DWGS
 DANTON LEVEL AT KERB: REFER DWGS
 GRASSED FLOOR LEVEL: REFER DWGS
 FINISHED FLOOR LEVEL: REFER DWGS
 OVERFLOW RELIEF GULLY LEVEL: MIN 150MM BELOW LOWEST FIXTURE

DOCUMENTATION BY OTHERS

Lighting Plan and Calculations by LIGHTS N LAMPS
 Energy Efficiency Report by TECHNISCH PL
 Engineer Dvgs by AMAC DRAFTING AND IPD

NOTES

these drawings are for permit approval purposes and additional information may be required to inform construction
 drawings are subject to owner discretion.
 contractors to verify all matters of specification, finish, selection and appearance with owner prior to commencing work and ensure work carried out is acceptable to owner, including design variation and alternatives.
 drawings used for construction must carry building surveyor certification. Ensure there is only one version of construction dvgs being used.
 contractors and prefabricators shall advise appropriately any omission, apparent error, anomaly or uncertainty of all documents applicable to this construction.
 builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering..



NEW GARAGE - DANTOINE
97 WELLINGTON STREET, LONGFORD TAS 7301

DRAWING SHEETS

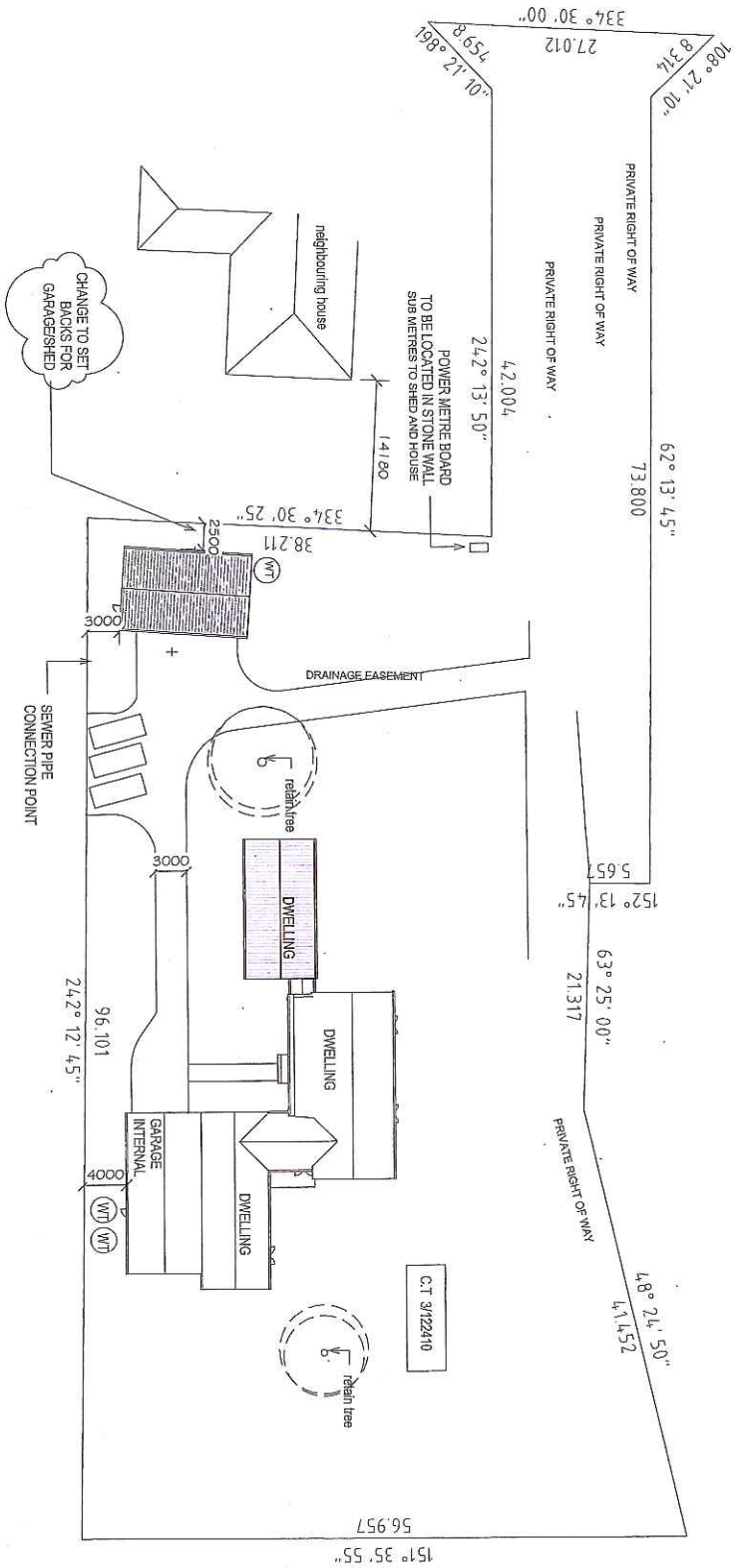
Sheet	Drawing
S01	TITLE SHEET
S02	SITE PLAN
S03	SHED PLAN
S04	SHADOW DIAGRAMS
S05	DRAINAGE PLAN



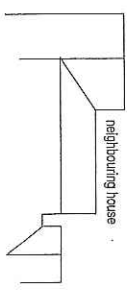
WOODBURY & CO
 BUILDING DESIGN

Jo Woodbury, Phone: 0407 319 437
 jo@buildingdesignstudio.com.au
 www.buildingdesignstudio.com.au


Proposed



1 SITE PLAN
1 : 500

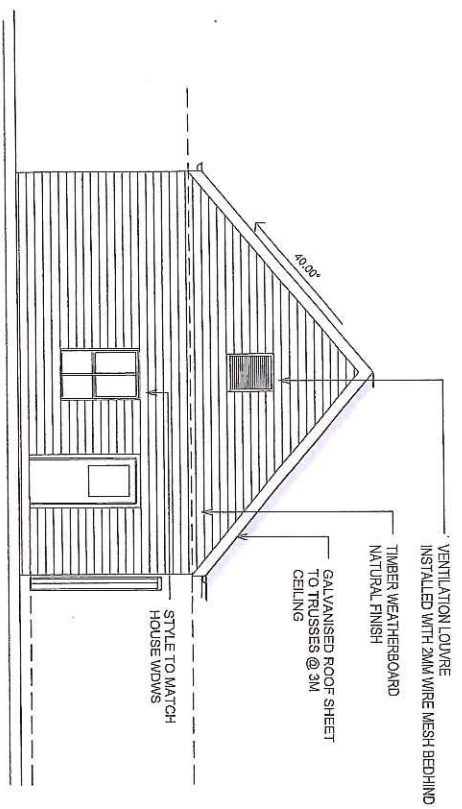


AREA SCHEDULE (Gross Building)			
Name	Area	Perimeter	
EXTERNAL GARAGESHED	98.75	40572	
DWELLING GR LEVEL	395.62	141413	
GARAGE INTERNAL	62.71	30440	
DWELLING LEVEL Q1	79.05	36120	

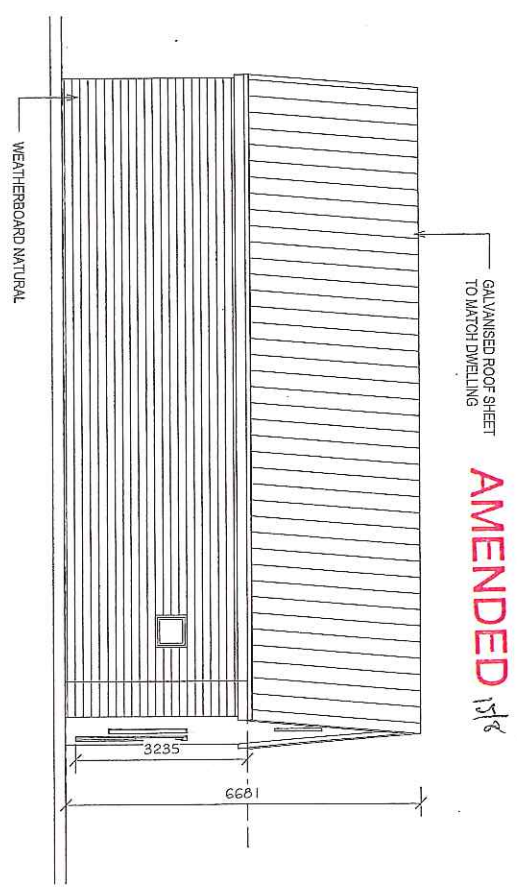


WOODBURY & CO
BUILDING DESIGN
Phone: 0827 289 427
21 Dutton Road, Warrnambool TAS 7250
jb@buildingdesignstudio.com.au

Job Title	N+V DANTONNE	Date	AUG 2019	Drawing Title	SITE PLAN
Client	NEW DWELLING/GARAGE+ SHED	Drawn By	Jo Woodbury	Sheet No.	S02
at	97 WELLINGTON STREET LONGFORD TAS	Accreditation No.	CC 5879N	Project No.	FD2018
		Scale	1 : 500		



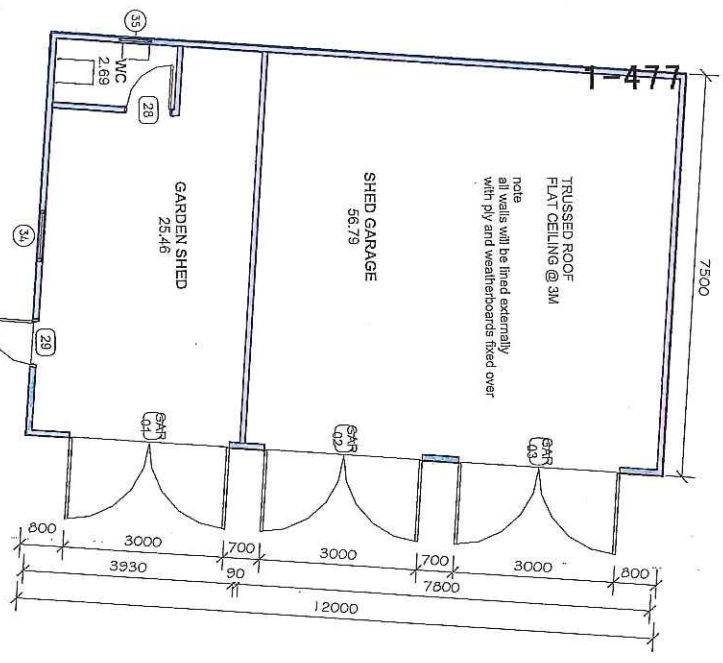
1 SHED SOUTH ELEVATION
1 : 100



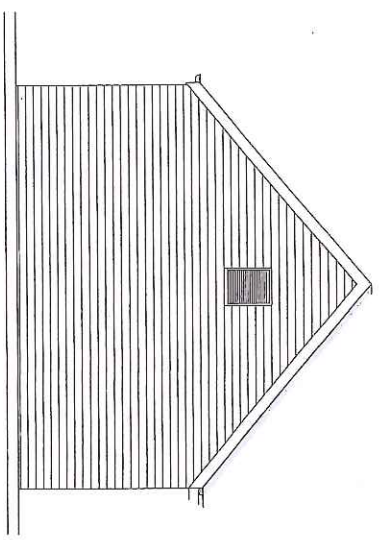
3 SHED WEST ELEV
1 : 100

AMENDED 15/8

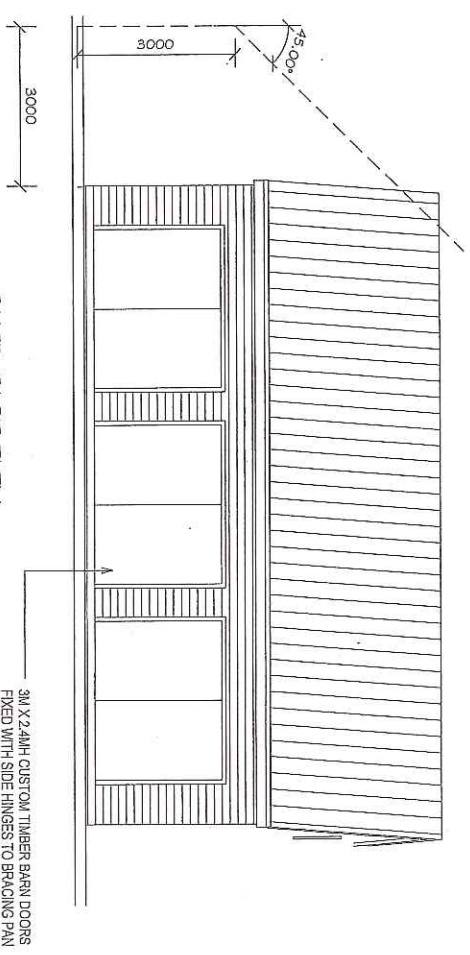
NOTED



5 GARAGE SHED PLAN
1 : 100
90 SQM



2 SHED NORTH ELEVATION
1 : 100



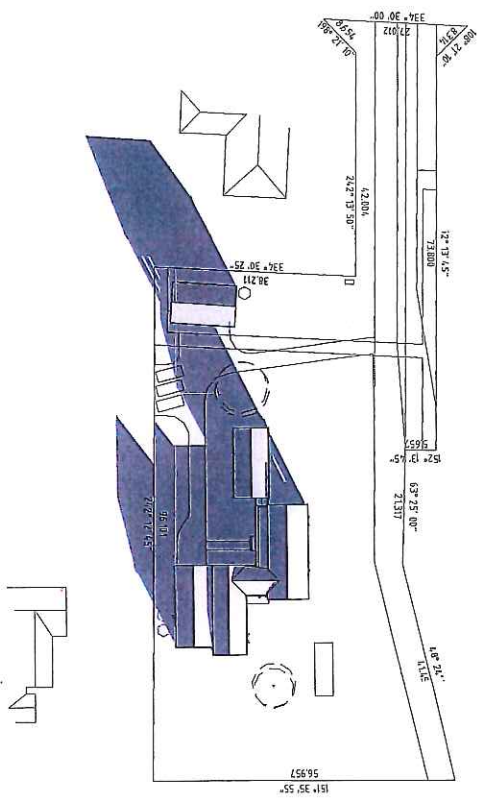
4 SHED EAST ELEV
1 : 100



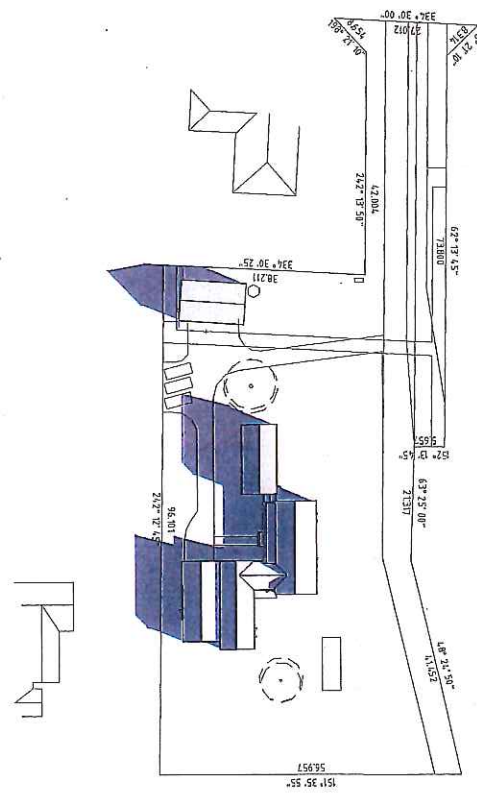
WOODBURY & CO
BUILDING DESIGN

Phone 0407 319 437
20 Tannock Road West Lakes SA 7145
info@wdbd.com.au

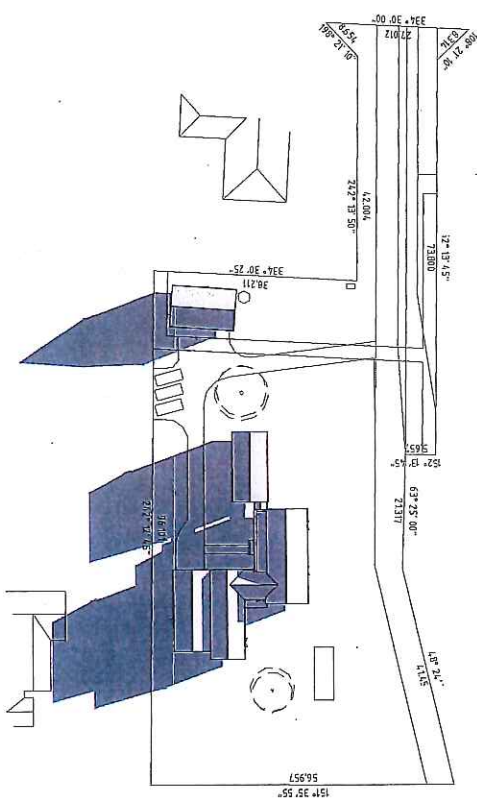
Job Title	N+V DANTOINE	Date	AUG 2019	Drawing Title	SHED PLAN
Client	NEW DWELLING/GARAGE+ SHED	Drawn By	Jo Woodbury	Sheet No.	503
at	97 WELLINGTON STREET LONGFORD TAS	Accreditation No.	CC 5879N	Project No.	FD2018
		Scale:	1 : 100		



1 SITE PLAN SHADOWS 9AM 21 JUNE
1 : 1000



2 SITE PLAN SHADOWS 12PM 21 JUNE
1 : 1000



3 SITE PLAN SHADOWS 3PM 21 JUNE
1 : 1000



PROJECT
N+W DANTONNE
FOR
NEW DWELLING/GARAGE+ SHED
LOCATION
97 WELLINGTON STREET
LONGFORD TAS

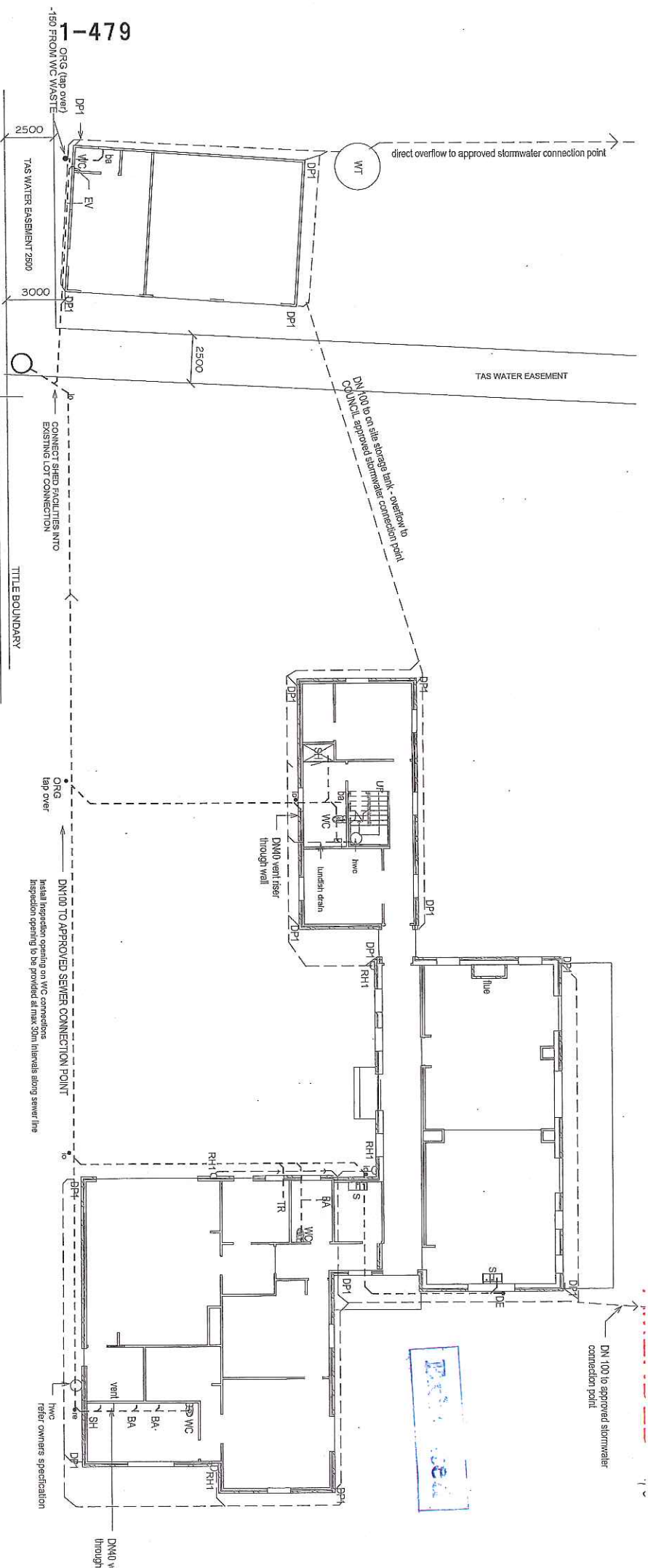
DRAWING TITLE
SHADOW DIAGRAMS

DATE
AUG 2019
SCALE
1 : 1000
SHEET NO:
S04
PROJECT NO:
FD2018

W WOODBURY&CO
BUILDING DESIGN

BUILDING DESIGN
INTERIOR DESIGN
PLANNING
Jo Woodbury
Phone 0407 319 457
20 Denmark Road TAS 7250
jo@buildingdesignstudio.com.au
LICENSE No CC 879N

REVISIONS	DATE



PLUMBING NOTES

Install inspection openings at major bends for stormwater and all low points of all pipes.
 All pipe fittings & strainers to be in accordance with local Council requirements.
 Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing footing excavation.

Refer to drawing A20 for waterproofing details.

Services

The heated water system must be designed and installed with Part B2 of MCC Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:

- a) be able to withstand the temperatures within the piping; and b)
- c) use thermal insulation in accordance with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows: 1. Internal piping a) All flow and return internal piping that is - i) within an unventilated wall space (i) within an internal floor between storeys; or (ii) between ceiling insulation and a ceiling must have a minimum R-value of 0.2 (ie 50mm of closed cell polymer insulation). 2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space a) All flow and return piping (i) cold water supply piping and (ii) heating systems - must have a minimum R-value of 0.45 (ie 150mm of closed cell polymer insulation). 3. Piping located outside the building or in an unenclosed building sub-floor or roof space a) All flow and return piping b) cold water supply piping and Relief valve piping - within 500mm of the connection to central water heating system must have a minimum R-value of 0.6 (ie 25mm of closed cell polymer insulation). Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the

PLUMBING LEGEND

Stormwater line (100mm UPVC)

Sewer line (100mm UPVC)

Wet areas shown hatched

- b 400 bath
- shr 500 shower
- bh 400 bath
- s 500 sink
- dwm 400 dish washing machine
- um 500 toilet
- um 400 toilet
- wc 1000 water closet
- ev educ vent
- ovg overflow/relief gully
- rod eye
- re inspection opening
- to

For internal hot water storage provide galvanised tray under storage cylinder with overflow piped to outside of building or connected to stormwater.
 Install inspection opening on WC connections.
 Inspection opening to be provided at max 30m intervals along sewer refer owner for external lap locations



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 BUILDING DESIGN
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 28 Denison Street, West Melbourne, TAS 7250
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Job Title	NEW DWELLING GARAGE+ SHED	Date:	AUG 2019	Drawing Title	DRAINAGE PLAN
Client	NEW DWELLING GARAGE+ SHED	Drawn By:	Jo Woodbury	Sheet No:	S05
at	97 WELLINGTON STREET LONGFORD TAS	Accreditation No.	CC 5879N	Project No:	FD2018
		Scale:	1 : 200		

NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN
DATE: 19 August 2019
REF NO: PLN-19-0154; 113600.383
SITE: 97 Wellington Street, Longford
PROPOSAL: Garage (12m x 7.5m, apex 6.6m)(vary internal front setback to 2.5m; Heritage Precinct)
APPLICANT: Ms Jo Woodbury
REASON FOR REFERRAL: HERITAGE PRECINCT
HERITAGE-LISTED PLACE
Local Historic Heritage Code
Heritage Precincts Specific Area Plan

Do you have any objections to the proposal: **No**

Do you have any other comments on this application?


The new garage will not be visible from the street.

*Email referral as word document to David Denman – david@denman.studio
Attach public exhibition documents
Subject line: Heritage referral PLN-19-0154 - 97 Wellington Street, Longford*



David Denman (Heritage Adviser)

Date: 3/9/2019



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-19-0154	Council notice date	19/08/2019
TasWater details			
TasWater Reference No.	TWDA 2019/01209-NMC	Date of response	27/08/2019
TasWater Contact	Sam Bryant	Phone No.	(03) 6237 8642
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	97 WELLINGTON ST, LONGFORD	Property ID (PID)	1824212
Description of development	Garage		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Woodbury & Co Building Design	Drainage plan	--	Aug 2019
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>56W CONSENT</p> <p>1. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within two metres of TasWater infrastructure.</p> <p>The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) must show footings of proposed buildings located over or within 2.0m from TasWater pipes and must be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans must also include a cross sectional view through the footings which clearly shows;</p> <ol style="list-style-type: none"> a. Existing pipe depth and proposed finished surface levels over the pipe; b. The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and; c. A note on the plan indicating how the pipe location and depth were ascertained. <p>DEVELOPMENT ASSESSMENT FEES</p> <p>2. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63, to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.</p> <p>The payment is required by the due date as noted on the statement when issued by TasWater.</p>			

Advice

General

For information on TasWater development standards, please visit

<https://www.taswater.com.au/Development/Technical-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

The location of infrastructure as shown on the GIS is indicative only.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Services crossing easements

Private underground pipework crossing the easement must maintain adequate clearance between existing TasWater sewerage infrastructure and private underground services in accordance with WSA 02-2014-3.1. Table 5.4 Private services may cross an easement but not be run parallel to existing infrastructure within the easement.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by



Jason Taylor

Development Assessment Manager

TasWater Contact Details

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		

The General Manager
Northern Midlands Council
PO Box 156
Longford Tasmania 7301

21st August '19

Dear Sir/Madam

I write in relation to Development Application Reference No: PLN-19-0154
Site: 97 Wellington Street, Longford

As a potential purchaser of 99 Wellington Street with an accepted contract in place I wish to lodge the following concerns in relation to the shed design on our eastern boundary.

- The proposed shed has been moved from the Council's agreed 4mtrs from the eastern boundary of 99 Wellington Street to 2.5 mtrs with construction of foundations already well underway.
- Visual Intrusion resulting in the loss of a significant percentage of view across to Ben Lomond and surrounding mountains, the only part that 99 Wellington Street has a view beyond the garden itself. This would detract from our enjoyment of the property and one of the key reasons we wish to buy it.
- Shadowing. A shadowing forecast has been completed clearly showing a shadow at sunrise effecting the main bedroom of the house which will mean the bathroom and bedroom will be colder and darker for longer in the winter months.
It also clearly shows that the vegetable gardens we plan to use as part of self sufficiency will be robbed of the needed winter sunlight in this area until well after 9am reducing the amount of growing time each day.
- Personal Enjoyment will be heavily reduced due to the effect of a large structure being built with the effect of 'closing us in' and reducing the sense of openness in that part of the garden.
- With the above negative effects, it will certainly devalue 99 Wellington Street when we come to resell in the future.

We would however be prepared to consider the following adjustments.

- Reduce the height and length of the shed in it's proposed position resulting in a greater view from 99 Wellington street and resulting in less shadow effect.
- Rotate the building by 90 degrees so that it backs onto their southern boundary that will considerably reduce negative effects on 99 Wellington St
- Move the shed to the eastern boundary of 97 Wellington Street so that there is no adverse impact on anyone.

We are happy to consider any other suggestions put forward that may resolve these concerns.

Kind regards

Peter and Anna Welch

NORTHERN MIDLANDS COUNCIL					
Location					
File No.					
Property					
Attachments					
REC'D 21 AUG 2019					
			A		A
GM			MYR		
P&DM			CRS		
GSM			PLAN		
E&DM			BLD		
WM			PLT		
HR					

20th August, 2019.

To: The General Manager, Planning Dept, Northern Midlands Council, Longford.

Re: Application no: PLN-19-0154 @ 97 Wellington Street, Longford.

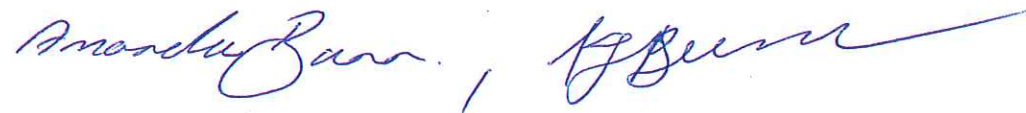
As the owners of 99 Wellington Street we are very concerned with the proposed plans of the shed which is to be situated on our western boundary.

The proposed shed is 2.5 metres from our boundary which is 2 metres short of the 4.5 metre requirement on a average size shed but this shed is a double storey building with a proposed height of 6.6 metres which we feel is also unacceptable.


We feel that the close proximity of this will impact on our sunlight and add shade over a large proportion of our back gardens, sheds and dwelling.

Thanking you for your consideration.

Yours sincerely,



Keith & Amanda Bunn.

Happy to communicate by phone or Email.
 Will send Amanda's Email. 

03/09/2019

Response to representations

97 WELLINGTON STREET, LONGFORD

Planning Application PLN-19-0154 - Garage (12m x 7.5m, apex 6.6m)

(vary internal front setback to 2.5m; Heritage Precinct)

Jo Woodbury

Woodbury&Co

81 Elizabeth Street

LAUNCESTON 7250

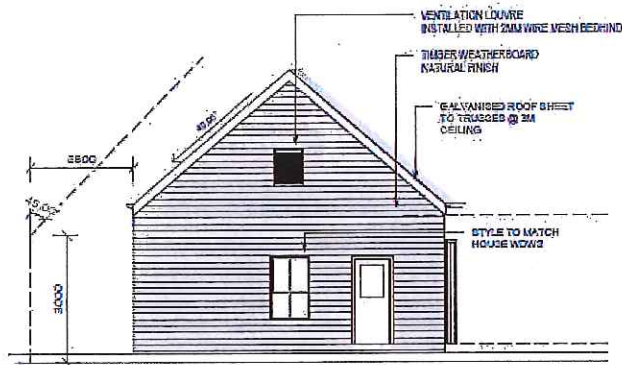
email: jo@buildingdesignstudio.com.au

Please find responses to the relative objections below:

1) Visual Intrusion resulting in the loss of a significant percentage of view across to Ben Lomond and surrounding mountains, the only part that 99 Wellington Street has a view beyond the garden itself. This would detract from our enjoyment of the property and one of the key reasons we wish to buy it.

RESPONSE Development complies with 10.4.2.A

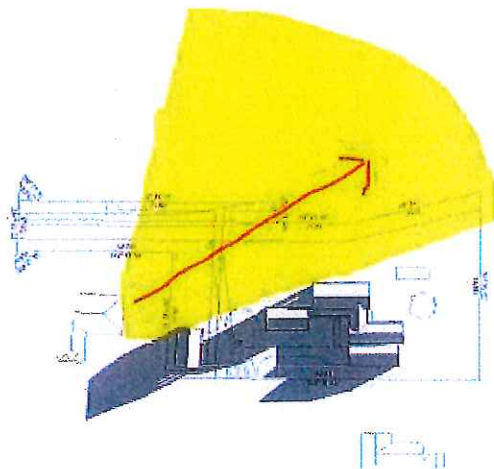
The proposed shed was previously approved with a 4 m setback from the western boundary and a 5.5m setback from the southern boundary. The setback to the western boundary has been reduced from 4m to 2.5m (a distance of 1.5m) which is still within the permissible building envelope under the planning scheme and complies with 10.4.2.A see figure 01



1 SHED SOUTH ELEVATION
1:400

FIGURE 01

Views are not a planning directive managed by the planning scheme for residents, however, it can be demonstrated that moving the shed closer to the southern boundary has in fact created less shadowing effect on lot 99 and increased the potential for vistas afforded to 99 across the allotment of 97 – see figure 02



1 SITE PLAN SHADOWS 9AM 21 JUNE
1:1000

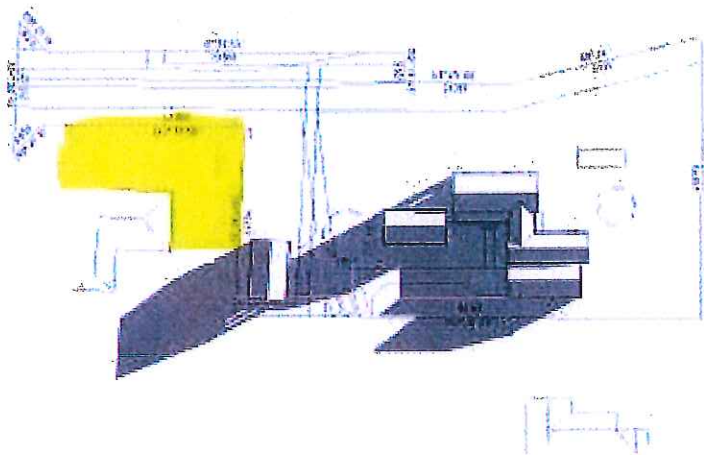
FIGURE 02

2) *Shadowing. A shadowing forecast has been completed clearly showing a shadow at sunrise effecting the main bedroom of the house which will mean the bathroom and bedroom will be colder and darker for longer in the winter months.*

It also clearly shows that the vegetable gardens we plan to use as part of self sufficiency will be robbed of the needed winter sunlight in this area until well after 9am reducing the amount of growing time each day.

RESPONSE - complies with 10.4.4 Sunlight and overshadowing for all dwellings

Shadows have been shown at 9am, 12.00noon and 3pm on 21 June – the shortest day of the year and demonstrate that the public living areas on adjoining properties are not unduly affected by loss of sunlight. There is no shadowing onto the building at all. No living areas of the neighbouring property at 99 are unduly affected by the location of or the shadows cast by the shed and Figure 03 shows the worst case scenario of the shadowing within a year and this is significantly reduced by 10am. See figure 04



SITE PLAN SHADOWS 9AM 21 JUNE
1:1000

FIGURE 03 SHADOW AT 9am

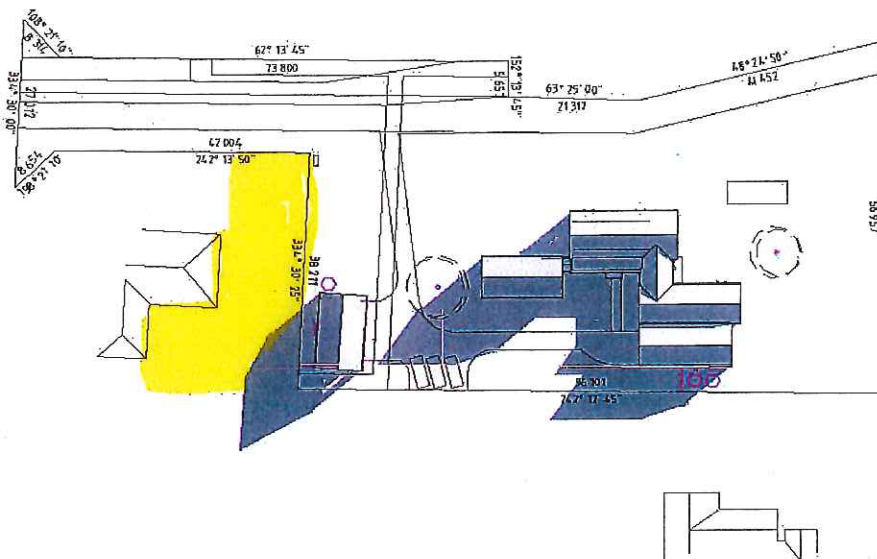


FIGURE 04 – SHADOW AT 10am

3) It also clearly shows that the vegetable gardens we plan to use as part of self-sufficiency will be robbed of the needed winter sunlight in this area until well after 9am reducing the amount of growing time each day.

4) Personal Enjoyment will be heavily reduced due to the effect of a large structure being built with the effect of 'closing us in' and reducing the sense of openness in that part of the garden.

RESPONSE

The ability to locate a garden is not governed by the planning scheme. However, the highlighted areas on FIGURES 03 AND 04 demonstrate that there is considerable space on the neighbouring allotment for a garden to receive sufficient access to sunlight and that the resident's amenity or private open space is not compromised.

The shed will be clad in natural hard wood timber boards that will naturally grey off and sit well in the landscape. The roof is a gable roof that slopes away from the neighbour's boundary and the apex height is actually 5m from the boundary – see figure 01 and 02

SUMMARY

The shed demonstrates compliance with the relative planning scheme directives for overshadowing **(10.4.2.A)** and is within the prescribed building envelope relative to the western boundary adjoining lot 99. **(10.4.4)**

The development will not impact negatively on the occupant's ability to enjoy adequate private open space or sunlight. Architecturally, the timber clad, gable roofed building is sympathetic to the buildings in the area.

Yours sincerely

Jo Woodbury

0407 319 437