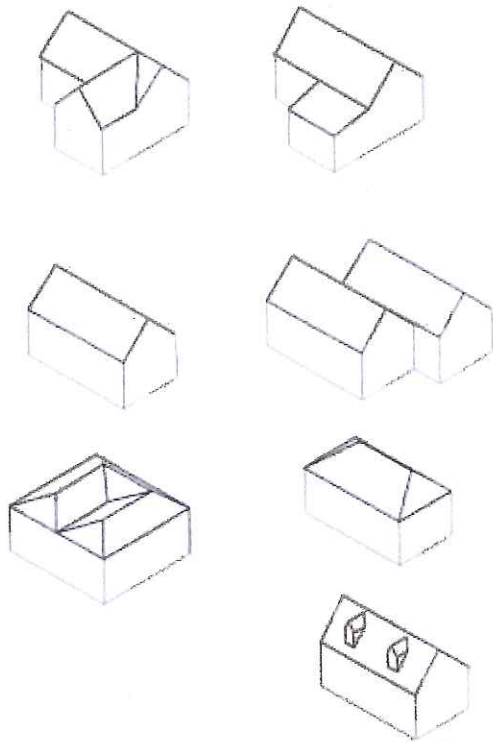


Figure NOR-S5.7.2 –Acceptable Solution Roof Forms.



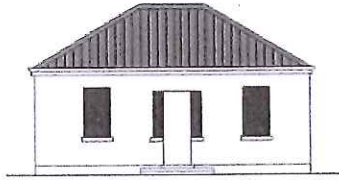
NOR-S5.7.4 Windows.

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non Dwellings; and Low Density Residential Zone – clause 10.4 Development Standards for Dwellings and clause 10.5 Development Standards for Non-Dwellings.

Objectives:	That window form and details are consistent with the streetscape.	
Acceptable Solutions	Performance Criteria	
A1 Window heads must be a minimum of 300mm below the eaves line, or match existing excluding those located within the Evandale Historic Heritage Precinct defined by overlay map NOR-C6.2.2.	P1 No performance criteria.	

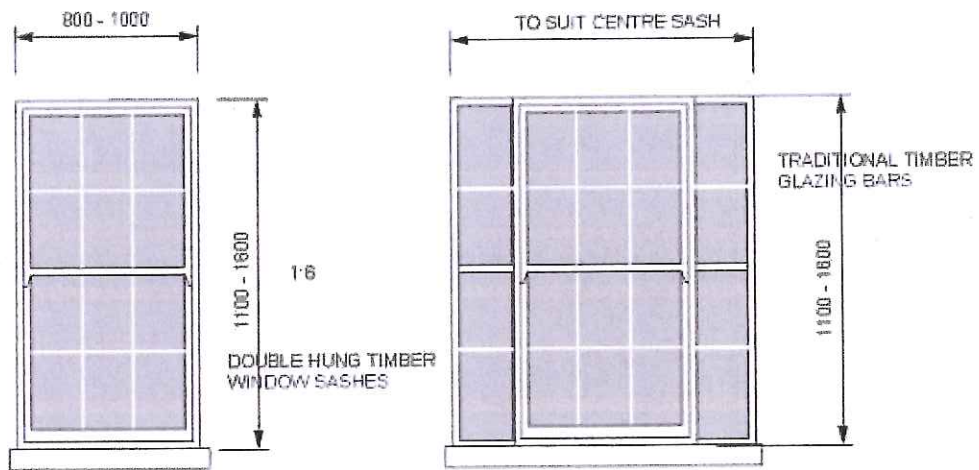
<p>A2</p> <p>Front façade windows, excluding those located within the Evandale Historic Heritage Precinct defined by overlay map NOR-C6.2.2 must conform to the solid/void ratio as shown in Figure NOR-S5.7.4 (a).</p>	<p>P2</p> <p>Front façade windows, excluding those located within the Evandale Historic Heritage Precinct defined by overlay map NOR-C6.2.2. must be:</p> <p>(a) be sympathetic to the design and period of construction of the existing buildings in the street; and</p> <p>(b) consistent with any Local Area Objectives for the area.</p>
<p>A3</p> <p>Windows for new buildings and extensions, excluding those located within the Evandale Historic Heritage Precinct defined by overlay map NOR-C6.2.2 must:</p> <p>(a) be appropriate to the period and style of the building ; or</p> <p>(b) be traditional style multi-pane sashes conforming to the traditional patterns per sash with traditional size and profile glazing bars refer Figure NOR-S5.7.4 (b); and</p> <p>(c) use clear glass;</p> <p>(d) have projecting brick or stone stills, or match the existing if in a brick or masonry building;</p> <p>(e) only have large areas of glass panelling that:</p> <ul style="list-style-type: none"> (i) are divided by large vertical mullions to suggest a vertical orientation; and (ii) are necessary to enhance the utility of the property or protect the historic fabric and (iii) do not detract from the historic values of the original building. 	<p>P3</p> <p>Windows for new buildings and extensions or alterations to existing buildings, excluding those located within the Evandale Historic Heritage Precinct defined by overlay map NOR-C6.2.2 must satisfy all of the following:</p> <p>(a) be sympathetic to the design and period of construction of the existing buildings in the street; or</p> <p>(b) not be visible from public spaces; and</p> <p>(c) be consistent with any Local Area Objectives provided for the area.</p>

Figure NOR-S5.7.4 (a) – Illustration of Acceptable Solution Window/Void ratio, i.e. <30%

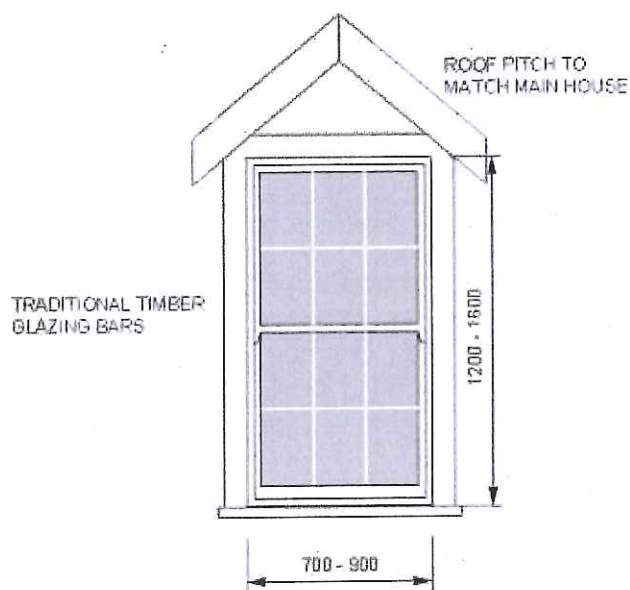


Appropriate Façade Solid to Void Ratio – Solid / Void < 30%

Figure NOR-S5.7.4 (b) - Acceptable Solutions – Window shapes and styles



Appropriate window sizes for Front Facades



Appropriate dormer window sizes

NOR-S5.8 Development Standards for Subdivision

NOR-S5.8.1 Evandale Specific Area Plan Development Precincts Lot design

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design, Low Density Residential Zone – clause 10.6.1 Lot design and Open Space Zone – Clause 29.5.1 Lot design.

Objectives:	That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Subdivision complies with the Lot Layout Plan as shown for each Evandale Development Precinct Masterplan as shown in Figures NOR-S5.2.2 and NOR-S5.2.3</p>	<p>P1</p> <p>Subdivision has regard to:</p> <p>(a) the Lot Layout Plan as shown for each Evandale Development Precinct Masterplan, as shown in Figures NOR-S5.2.2 and NOR-S5.2.3; and</p> <p>(b) all of the following subdivision design elements:</p> <p>(i) zone minimum lot area criteria;</p> <p>(ii) road network as north south grid;</p> <p>(iii) retain existing houses;</p> <p>(iv) front new lots onto existing roads where possible;</p> <p>(v) minimise cul-de-sacs;</p> <p>(vi) public open space is used to provide pedestrian loops around the town;</p> <p>(vii) create connections between new and existing public open spaces;</p> <p>(viii) create road frontages around public open spaces;</p> <p>(ix) use public open spaces for stormwater detention; and</p> <p>(x) must be consistent with any Local Area Objective.</p>

This clause is a modification for (a) General Residential Zone – clause 8.6.1 Lot design.

<p>Objectives:</p>	<p>That each lot:</p> <ul style="list-style-type: none"> (a) has an area and dimension appropriate for the use and development in the Cressy Specific Area; (b) is provided with appropriate access to a road; (c) discourage internal lots; (d) contains areas which are suitable for development appropriate to the Local Area Objectives, located to avoid natural hazards; and (e) is oriented to provide solar access for future dwellings.
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>Each lot or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 600m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or (b) is a lot in one of the Evandale Development Precinct Masterplans as shown in Figure NOR-S5.2.2 and NOR-S5.2.3; or (c) be required for public use by the Crown, a council or a State authority; or (d) be required for the provisions of Utilities; or (e) be for the consolidation of a lot with another lot provided each lot is within the same zone. 	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots must not result in unreasonable shading on adjoining lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space and solar access; (f) the pattern of development existing on established properties within the area; and (g) must be consistent with any Local Area Objectives.

This clause is an addition to General Residential Zone – clause General Residential Zone – clause 8.6.1 Lot design

Objectives:	That sub-division lot designs discourage internal lots.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No lot is an internal lot.</p>	<p>P1</p> <p>An internal lot must satisfy all of the following:</p> <ul style="list-style-type: none"> (a) the lot gains access from a road existing prior to the planning scheme coming into effect, unless site constraints make an internal lot configuration the only reasonable option to efficiently utilise land; (b) it is not reasonably possible to provide a new road to create a standard frontage lot; (c) the lot constitutes the only reasonable way to subdivide the rear of an existing lot; (d) the lot will contribute to the more efficient utilisation of residential land and infrastructure; (e) the amenity of neighbouring land is unlikely to be unreasonably affected by subsequent development and use; (f) the lot has access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays are provided at appropriate distances to service the likely future use of the lot; (h) the access strip is adjacent to or combined with no more than three other internal lot access strips and it is not appropriate to provide access via a public road; <ul style="list-style-type: none"> (i) a sealed driveway is provided on the access strip prior to the sealing of the final plan. (j) the lot addresses and provides for passive surveillance of public open space and public rights of way if it fronts such public spaces.

This clause is a modification to General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads

<p>Objectives:</p>	<p>That the arrangement of new road within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land.
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>The subdivision includes no new roads.</p>	<p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance

	<p>with the Guide to Road Design Part 6A: Paths for Walking and Cycling 2016;</p> <p>(i) the topography of the site;</p> <p>(j) the future subdivision potential of any balance lots on adjoining or adjacent land; and</p> <p>(k) must be consistent with any Local Area Objectives.</p>
<p>A2</p> <p>Where the subdivision plan includes one or more new roads a landscape plan providing details of the number, species and location of proposed street trees or other plants is to be submitted for approval by Council.</p>	<p>P2</p> <p>No Performance Criteria</p>

NOR-S5.9 Tables

This sub-clause is not used in this specific area plan.

Figure NOR-S5.2.1 Evandale Specific Area Plan shown in yellow



Figure NOR-S5.2.2 - Evandale Development Precinct Masterplan off Cambock Lane West

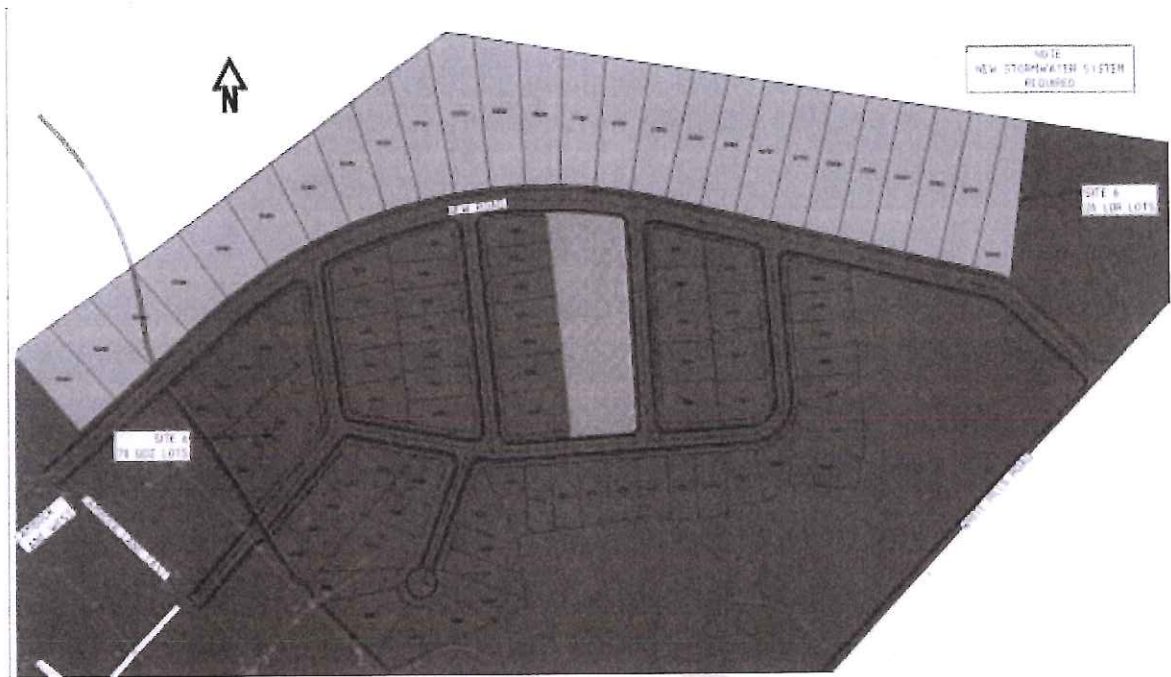


Figure NOR-S5.2.3– Evandale Development Precinct Masterplan off Logan Road



NOR-S6.0 Longford Specific Area Plan

NOR-S6.1 Plan Purpose

The purpose of the Longford Specific Area Plan is:

- NOR-S6.1.1 To protect and enhance the unique and intact history and character of the town.
- NOR-S6.1.2 To ensure that future growth and development is in character with the existing streetscape settings, building forms and the village atmosphere.
- NOR-S6.1.3 To ensure that future Public Open Space is appropriately sized, located and linked with existing Public Open Space and street networks.
- NOR-S6.1.4 To encourage the subdivision of key development sites within the town that meet Council's design aspirations.
- NOR-S6.1.5 To increase resilience to the anticipated impacts of climate change.
- NOR-S6.1.6 To achieve the Local Area Objectives for Longford.

NOR-S6.2 Application of this Plan

- NOR-S6.2.1 The specific area plan applies to the area of land designated as NOR-S6.0 Longford Specific Area Plan on the overlay map and in Figure NOR-S6.2.1.
- NOR-S6.2.2 Precinct Plan NOR-S6.2.2 applies to the area of land designated as Development Precinct Masterplan off Pultney Street on the overlay maps and in Figure NOR-S6.2.2.
- NOR-S6.2.3 In the area of land this plan applies to, the provisions of the specific area plan modify, are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone; and
 - (b) Low Density Residential Zone;
 as specified in the relevant provisions.

NOR-S6.3 Local Area Objectives

Reference Number	Area Description	Local Area Objectives
NOR-S6.3.1	Longford Specific Area, as shown on an overlay map as NOR-S6.0 and in Figure NOR-S6.2.1	<p>The local area objectives for the Longford Specific Area Plan are:</p> <ul style="list-style-type: none"> a) to preserve the historic character of the township; b) to preserve agricultural industries; c) to provide residential development catering for all ages;

		<p>d) to encourage the provision of public facilities that promote the active lifestyle character of the township, and</p> <p>e) to encourage development that contributes positively to the township's tree canopy cover.</p>
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NOR-S6.4 Definition of Terms

Term	Definition
Landscape Plan	means a document that provides the details of the proposed landscaping and/or planting within all areas of the site not covered by buildings or hard surface as well as details of surface finishes or pathways and driveways.

NOR-S6.5 Use Table

This clause is a substitution for Low Density Residential Zone – 10.2 Use Table

No Permit Required	
Use Class	Qualification
Natural and cultural values management	
Passive recreation	
Residential	If for a single dwelling
Utilities	If for minor utilities
Permitted	
Use Class	Qualification
Visitor Accommodation	
Residential	If for a home based business
Discretionary	
Use Class	Qualification
Business and professional services	If for a consulting room, medical centre, veterinary centre, child health clinic or for the provisions of residential support services.

Community meeting & entertainment	If for a place of worship, art and craft centre or public hall.
Educational and Occasional Care	If not for a tertiary institution.
Emergency services	
Food Services	If not for a take away food premises with a drive through facility.
General retail and hire	If for a local shop.
Sports and recreation	If for a fitness centre, gymnasium, public swimming pool or sports ground.
Utilities	If not listed as No Permit Required.
Prohibited	
All other uses	

NOR-S6.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S6.7 Development Standards for Buildings and Works

NOR-S6.7.1 Residential density for multiple dwellings.

This clause is a substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

Objectives:	That the density of multiple dwellings: (a) maintains the historic and rural character of Longford; and (b) optimises the use of infrastructure and community services.	
Acceptable Solutions		Performance Criteria
A1 Multiple dwellings must have a site area per dwelling of not less than 400m ² .		P1 Multiple dwellings must only have a site area per dwelling that is less than 400m ² , if the development will not exceed the capacity of infrastructure services and: (a) is compatible with the density of existing development on established properties within 100m of the development site; or (b) provides for a significant social or community benefit and is:

	<p>(i) wholly or partly within 400m walking distance of a public transport stop; or</p> <p>(ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone; and</p> <p>(c) must be consistent with any Local Area Objectives.</p>
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NOR-S6.8 Development Standards for Subdivision

NOR-S6.8.1 Longford Specific Area Plan Development Precincts Lot design

This clause is in addition to (a) General Residential Zone – clause 8.6.1 Lot design, Low Density Residential Zone – clause 10.6.1 Lot design, and Future Urban Zone – clause 30.5.1 Lot design.

Objectives:	That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space.	
	Acceptable Solutions	Performance Criteria
	<p>A1</p> <p>Subdivision complies with the Lot Layout Plan as shown for each Longford Development Precinct Masterplan as shown in Figure NOR-S6.2.2</p>	<p>P1</p> <p>Subdivision has regard to:</p> <p>(a) the Lot Layout Plan as shown for each Longford Development Precinct Masterplan, as shown in Figure NOR-S6.2.2; and</p> <p>(b) all of the following subdivision design elements:</p> <p>(i) minimum lot area specified by the zone ;</p> <p>(ii) road network as north south grid;</p> <p>(iii) front new lots onto existing roads where possible;</p> <p>(iv) minimise cul-de-sacs;</p> <p>(v) public open space is used to provide pedestrian loops around the town;</p> <p>(vi) create connections between new and existing public open spaces;</p> <p>(vii) create road frontages around public open spaces;</p> <p>(viii) use public open spaces for stormwater detention; and</p>

	(ix) must be consistent with any Local Area Objective.
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NOR-S6.8.2 Lot design

This clause is a modification for General Residential Zone – clause 8.6.1 Lot design.

Objectives:	<p>That subdivision lot designs provides for each lot:</p> <p>(a) to have an area and dimension appropriate for the use and development in the Longford Specific Area;</p> <p>(b) to be provided with appropriate access to a road;</p> <p>(c) to contain areas which are suitable for development appropriate to the Local Area Objectives, located to avoid natural hazards; and</p> <p>(d) is oriented to provide solar access for future dwellings.</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot or a lot proposed in a plan of subdivision, must:</p> <p>(a) have an area of not less than 600m² and:</p> <p style="padding-left: 40px;">(i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of:</p> <p style="padding-left: 80px;">a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and</p> <p style="padding-left: 80px;">b. easements or other title restrictions that limit or restrict development; and</p> <p style="padding-left: 40px;">(ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or</p> <p>(b) is a lot shown in one of the Longford Development Precinct Masterplan as shown in Figures NOR-6.2.2; or</p> <p>(c) be required for public use by the Crown, a council or a State authority; or</p> <p>(d) be required for the provisions of Utilities; or</p> <p>(e) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the relevant requirements for development of buildings on the lots;</p> <p>(b) the intended location of buildings on the lots must not result in unreasonable shading on adjoining lots;</p> <p>(c) the topography of the site;</p> <p>(d) the presence of any natural hazards;</p> <p>(e) adequate provision of private open space and solar access;</p> <p>(f) the pattern of development existing on established properties within the area; and</p> <p>(g) must be consistent with any Local Area Objectives.</p>

This clause is an addition to General Residential Zone – clause General Residential Zone – clause 8.6.1 Lot design

Objectives:	That sub-division lot designs discourage internal lots.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>No lot is an internal lot.</p>	<p>P1</p> <p>An internal lot must satisfy all of the following:</p> <ul style="list-style-type: none"> (a) the lot gains access from a road existing prior to the planning scheme coming into effect, unless site constraints make an internal lot configuration the only reasonable option to efficiently utilise land; (b) it is not reasonably possible to provide a new road to create a standard frontage lot; (c) the lot constitutes the only reasonable way to subdivide the rear of an existing lot; (d) the lot will contribute to the more efficient utilisation of residential land and infrastructure; (e) the amenity of neighbouring land is unlikely to be unreasonably affected by subsequent development and use; (f) the lot has access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays are provided at appropriate distances to service the likely future use of the lot; (h) the access strip is adjacent to or combined with no more than three other internal lot access strips and it is not appropriate to provide access via a public road; <ul style="list-style-type: none"> (i) a sealed driveway is provided on the access strip prior to the sealing of the final plan. (j) the lot addresses and provides for passive surveillance of public open space and public rights of way if it fronts such public spaces. 	

This clause is a modification to General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads

<p>Objectives:</p>	<p>That the arrangement of new road within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; (c) adequate areas for the planting of street trees in the road reserve; and (d) the efficient ultimate subdivision of the entirety of the land and of surrounding land.
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>The subdivision includes no new roads.</p>	<p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance

	<p>with the Guide to Road Design Part 6A: Paths for Walking and Cycling 2016;</p> <p>(i) the topography of the site;</p> <p>(j) the future subdivision potential of any balance lots on adjoining or adjacent land; and</p> <p>(k) must be consistent with any Local Area Objectives.</p>
<p>A2</p> <p>Where the subdivision plan includes one or more new roads a landscape plan providing details of the number, species and location of proposed street trees or other plants is to be submitted for approval by Council.</p>	<p>P2</p> <p>No Performance Criteria</p>

NOR-S6.9 Tables

This sub-clause is not used in this specific area plan.

Figure NOR-S.6.2.1 Longford Specific Area Plan shown in yellow

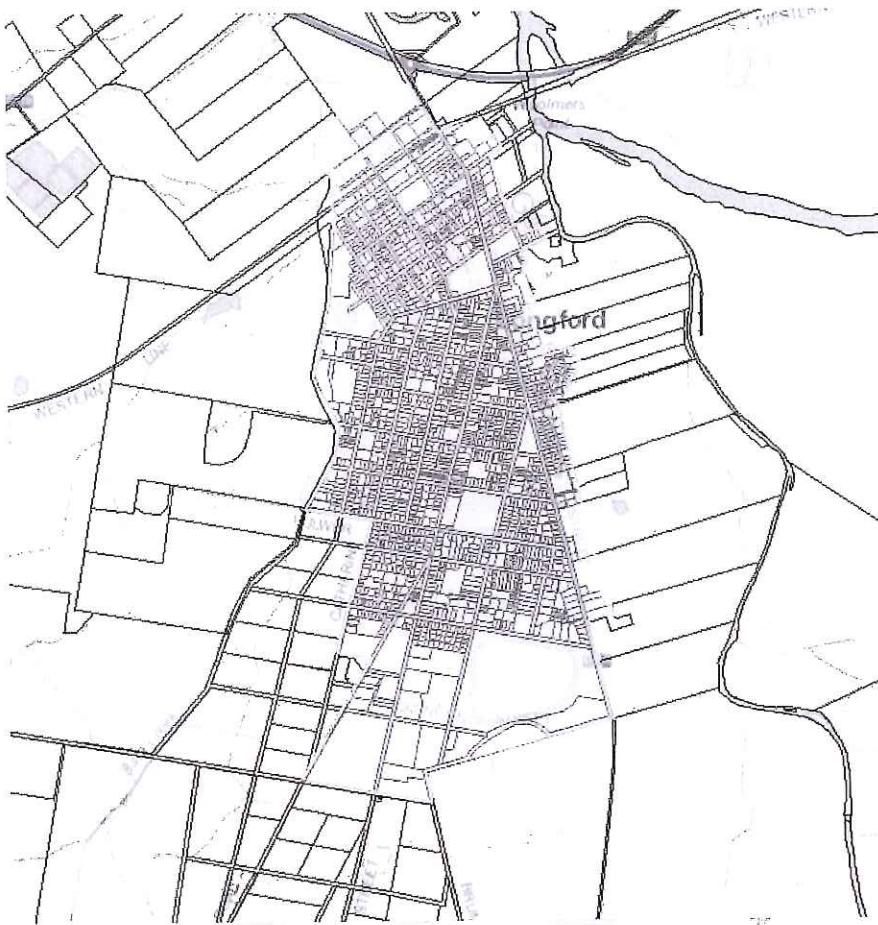
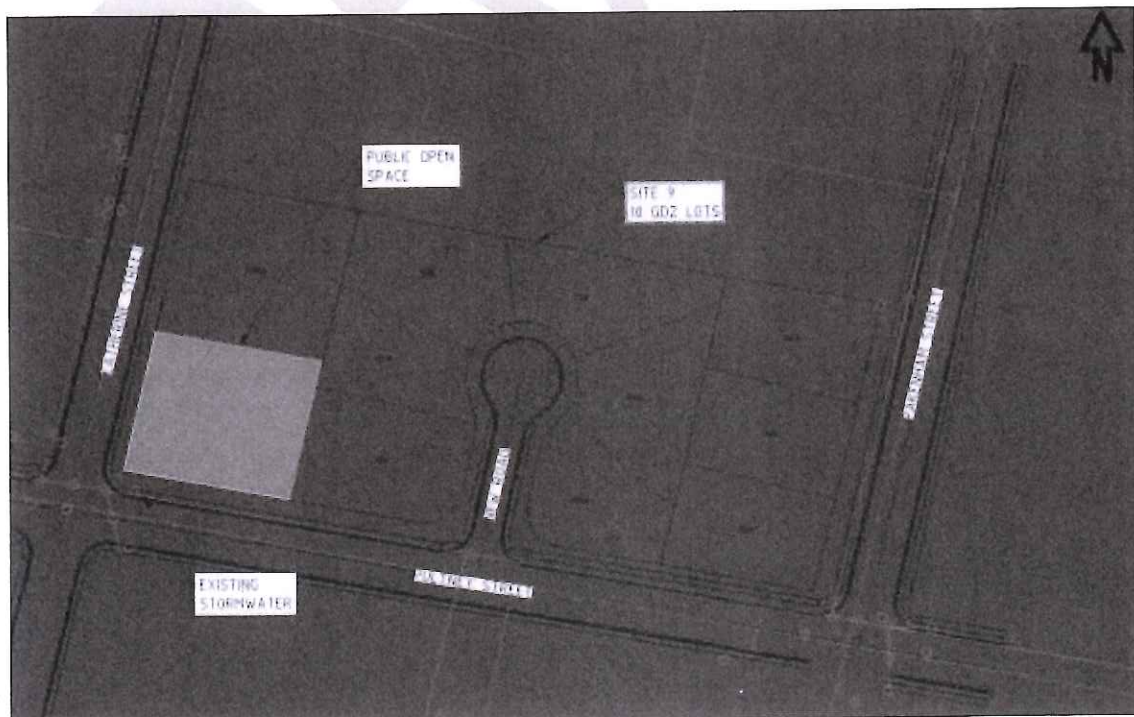


Figure NOR-S.6.2.2 - Longford Development Precinct Masterplan off Pultney Street



NOR-S7.0 Perth Specific Area Plan

NOR-S7.1 Plan Purpose

The purpose of the Perth Specific Area Plan is:

- NOR-S7.1.1 To protect and enhance the unique and intact history and character of the town.
- NOR-S7.1.2 To ensure that future growth and development is sympathetic to the existing streetscape settings, building forms and the village atmosphere.
- NOR-S7.1.3 To ensure that future Public Open Space is appropriately sized, located and linked with existing Public Open Space and street networks.
- NOR-S7.1.4 To encourage the subdivision of key development sites within the town that meet Council's design aspirations.
- NOR-S7.1.5 To increase resilience to the anticipated impacts of climate change.
- NOR-S7.1.6 To achieve the Local Area Objectives for Cressy.

NOR-S7.2 Application of this Plan

- NOR-S7.2.1 The specific area plan applies to the area of land designated as NOR-S7.0 Perth Specific Area Plan on the overlay map and in Figure NOR-S7.2.1.
- NOR-S7.2.2 Precinct Plan NOR-S7.2.2 applies to the area of land designated as Development Precinct Masterplan off Seccombe Street on the overlay maps and in Figure NOR-S7.2.2.
- NOR-S7.2.3 Precinct Plan NOR-S7.2.3 applies to the area of land designated as Development Precinct Masterplan off George and Fairtlough Streets on the overlay maps and in Figure NOR-S7.2.3.
- NOR-S7.2.4 Precinct Plan NOR-S7.2.4 applies to the area of land designated as Development Precinct Masterplan off Edward and Napoleon Streets on the overlay maps and in Figure NOR-S7.2.4.
- NOR-S7.2.5 In the area of land this plan applies to, the provisions of the specific area plan modify, are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone; and
 - (b) Low Density Residential Zone;as specified in the relevant provisions.

NOR-S7.3 Local Area Objectives

Reference Number	Area Description	Local Area Objectives
NOR-S7.3.1	Perth Specific Area, shown on an overlay map as NOR-7.0 and in Figure NOR-S7.2.1	The local area objectives for the Perth Specific Area Plan are: a) to encourage residential development for commuters to Launceston;

		<p>b) to provide good public and private transport links to Launceston;</p> <p>(c) to provide good pedestrian connectivity within Perth and to the river precinct;</p> <p>d) to preserve the landscape setting along the river bank and backdrop of Ben Lomond Ranges and of the Western Tiers and</p> <p>e) to encourage development that contributes positively to the township's tree canopy cover.</p>
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NOR-S7.4 Definition of Terms

Term	Definition
Landscape Plan	means a document that provides the details of the proposed landscaping and/or planting within all areas of the site not covered by buildings or hard surface as well as details of surface finishes or pathways and driveways.

NOR-S7.5 Use Table

This clause is a substitution for Low Density Residential Zone – 10.2 Use Table

No Permit Required	
Use Class	Qualification
Natural and cultural values management	
Passive recreation	
Residential	If for a single dwelling
Utilities	If for minor utilities
Permitted	
Use Class	Qualification
Visitor Accommodation	

Residential	If for a home based business
Discretionary	
Use Class	Qualification
Business and professional services	If for a consulting room, medical centre, veterinary centre, child health clinic or for the provisions of residential support services.
Community meeting & entertainment	If for a place of worship, art and craft centre or public hall.
Educational and Occasional Care	If not for a tertiary institution.
Emergency services	
Food Services	If not for a take away food premises with a drive through facility.
General retail and hire	If for a local shop.
Sports and recreation	If for a fitness centre, gymnasium, public swimming pool or sports ground.
Utilities	If not listed as No Permit Required.
Prohibited	
All other uses	

NOR-S7.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S7.7 Development Standards for Buildings and Works

NOR-S7.7.1 Residential density for multiple dwellings.

This clause is a substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

Objectives:	That the density of multiple dwellings: (a) maintains the rural character of Perth; and (b) optimises the use of infrastructure and community services.	
Acceptable Solutions	Performance Criteria	
A1 Multiple dwellings must have a site area per dwelling of not less than 400m ² .	P1 Multiple dwellings must only have a site area per dwelling that is less than 400m ² , if the	

	<p>development will not exceed the capacity of infrastructure services and:</p> <p>(a) is compatible with the density of existing development on established properties within 100m of the development site; or</p> <p>(b) provides for a significant social or community benefit and is:</p> <p style="padding-left: 40px;">(i) wholly or partly within 400m walking distance of a public transport stop; or</p> <p style="padding-left: 40px;">(ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone; and</p> <p>(c) must be consistent with any Local Area Objectives.</p>
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NOR-S7.8 Development Standards for Subdivision

NOR-S7.8.1 Perth Specific Area Plan Development Precincts Lot design

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design, Low Density Residential Zone – clause 10.6.1 Lot design, Open Space Zone – Clause 29.5.1 Lot design and Future Urban Zone – clause 30.5.1 Lot design.

Objectives:	That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Subdivision complies with the Lot Layout Plan as shown for each Perth Development Precinct Masterplan, as shown in Figures NOR-S7.2.2, NOR-S7.2.3 and NOR-S7.2.4</p>	<p>P1</p> <p>Subdivision has regard to:</p> <p>(a) the Lot Layout Plan as shown for each Perth Development Precinct Masterplan, as shown in Figures NOR-S7.2.2, NOR-S7.2.3 and NOR-S7.2.4; and</p> <p>(b) all of the following subdivision design elements:</p> <p style="padding-left: 20px;">(i) minimum lot area specified by the zone ;</p> <p style="padding-left: 20px;">(ii) road network as north south grid;</p> <p style="padding-left: 20px;">(iii) front new lots onto existing roads where possible;</p>

	<ul style="list-style-type: none"> (iv) minimise cul-de-sacs; (v) public open space is used to provide pedestrian loops around the town; (vi) create connections between new and existing public open spaces; (vii) create road frontages around public open spaces; (viii) use public open spaces for stormwater detention; and (ix) must be consistent with any Local Area Objective.
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NOR-S7.8.2 Lot design

This clause is a modification for General Residential Zone – clause 8.6.1 Lot design

Objectives:	<p>That subdivision lot designs provides for each lot:</p> <ul style="list-style-type: none"> (a) to have an area and dimension appropriate for the use and development in the Perth Specific Area; (b) to be provided with appropriate access to a road; (c) to contain areas which are suitable for development appropriate to the Local Area Objectives, located to avoid natural hazards; and (d) is oriented to provide solar access for future dwellings.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot or a lot proposed in a plan of subdivision, must:</p> <p>(a) have an area of not less than 600m² and:</p> <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or 	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots must not result in unreasonable shading on adjoining lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space and solar access; and (f) the pattern of development existing on established properties within the area; and

<p>(b) is a lot shown in one of the Perth Development Precinct Masterplans as shown in Figure NOR-S7.2.2, NOR-S7.2.3 and NOR-S7.2.4; or</p> <p>(c) be required for public use by the Crown, a council or a State authority; or</p> <p>(d) be required for the provisions of Utilities; or</p> <p>(e) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>(g) must be consistent with any Local Area Objectives.</p>
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NOR-S7.8.3 Internal Lots

This clause is an addition to General Residential Zone – clause General Residential Zone – clause 8.6.1 Lot design

Objectives:	That sub-division lot designs discourage internal lots.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No lot is an internal lot.</p>	<p>P1</p> <p>An internal lot must satisfy all of the following:</p> <p>(a) the lot gains access from a road existing prior to the planning scheme coming into effect, unless site constraints make an internal lot configuration the only reasonable option to efficiently utilise land;</p> <p>(b) it is not reasonably possible to provide a new road to create a standard frontage lot;</p> <p>(c) the lot constitutes the only reasonable way to subdivide the rear of an existing lot;</p> <p>(d) the lot will contribute to the more efficient utilisation of residential land and infrastructure;</p> <p>(e) the amenity of neighbouring land is unlikely to be unreasonably affected by subsequent development and use;</p> <p>(f) the lot has access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m;</p> <p>(g) passing bays are provided at appropriate distances to service the likely future use of the lot;</p> <p>(h) the access strip is adjacent to or combined with no more than three other internal lot access</p>

	<p>strips and it is not appropriate to provide access via a public road;</p> <p>(i) a sealed driveway is provided on the access strip prior to the sealing of the final plan.</p> <p>(j) the lot addresses and provides for passive surveillance of public open space and public rights of way if it fronts such public spaces.</p>
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NOR-S7.8.4 Roads

This clause is a modification to General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads

Objectives:	<p>That the arrangement of new road within a subdivision provides for:</p> <p>(a) safe, convenient and efficient connections to assist accessibility and mobility of the community;</p> <p>(b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic;</p> <p>(c) adequate areas for the planting of street trees in the road reserve; and</p> <p>(d) the efficient ultimate subdivision of the entirety of the land and of surrounding land.</p>	
	Acceptable Solutions	Performance Criteria
	<p>A1</p> <p>The subdivision includes no new roads.</p>	<p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <p>(a) any road network plan adopted by the council;</p> <p>(b) the existing and proposed road hierarchy;</p> <p>(c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential;</p> <p>(d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks;</p>

	<p>(e) minimising the travel distance between key destinations such as shops and services and public transport routes;</p> <p>(f) access to public transport;</p> <p>(g) the efficient and safe movement of pedestrians, cyclists and public transport;</p> <p>(h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the Guide to Road Design Part 6A: Paths for Walking and Cycling 2016;</p> <p>(i) the topography of the site;</p> <p>(j) the future subdivision potential of any balance lots on adjoining or adjacent land; and</p> <p>(k) must be consistent with any Local Area Objectives.</p>
<p>A2</p> <p>Where the subdivision plan includes one or more new roads a landscape plan providing details of the number, species and location of proposed street trees or other plants is to be submitted for approval by Council.</p>	<p>P2</p> <p>No Performance Criteria</p>

NOR-S7.9 Tables

This sub-clause is not used in this specific area plan.

Figure NOR-S7.2.1 Perth Specific Area Plan outlined in blue.

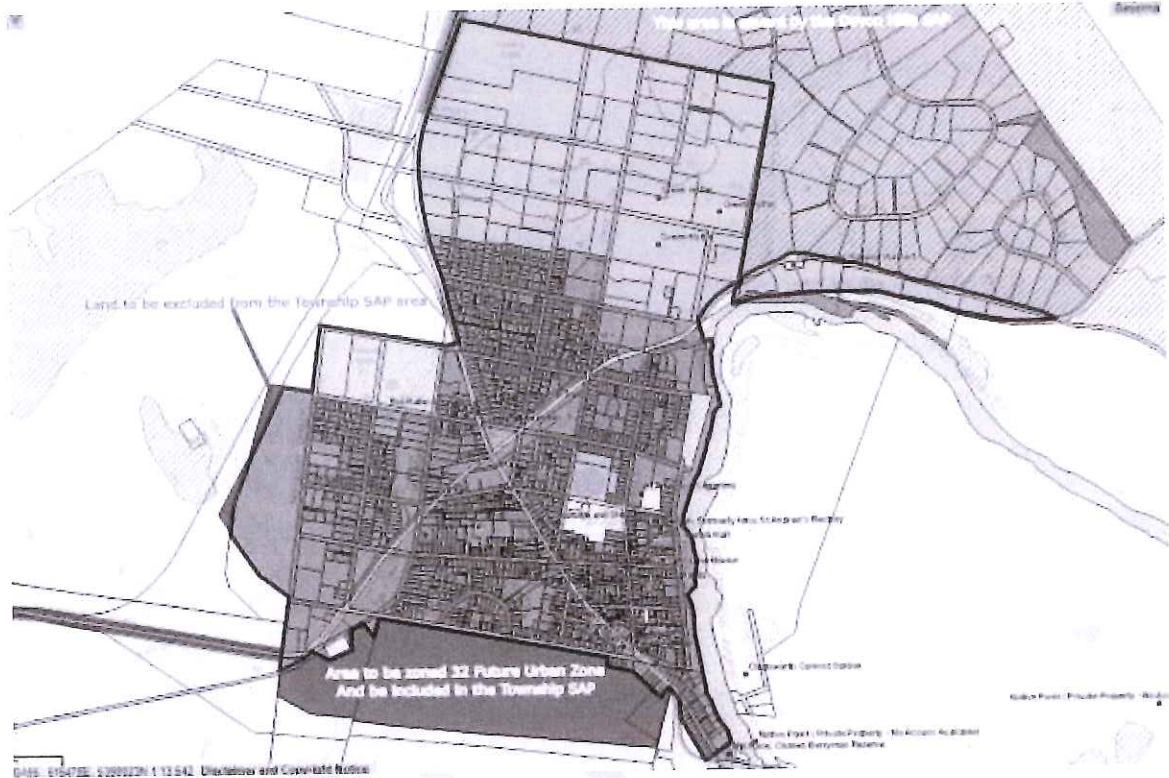


Figure NOR-S7.2.2 Perth Development Precinct Masterplan off Secombe Street

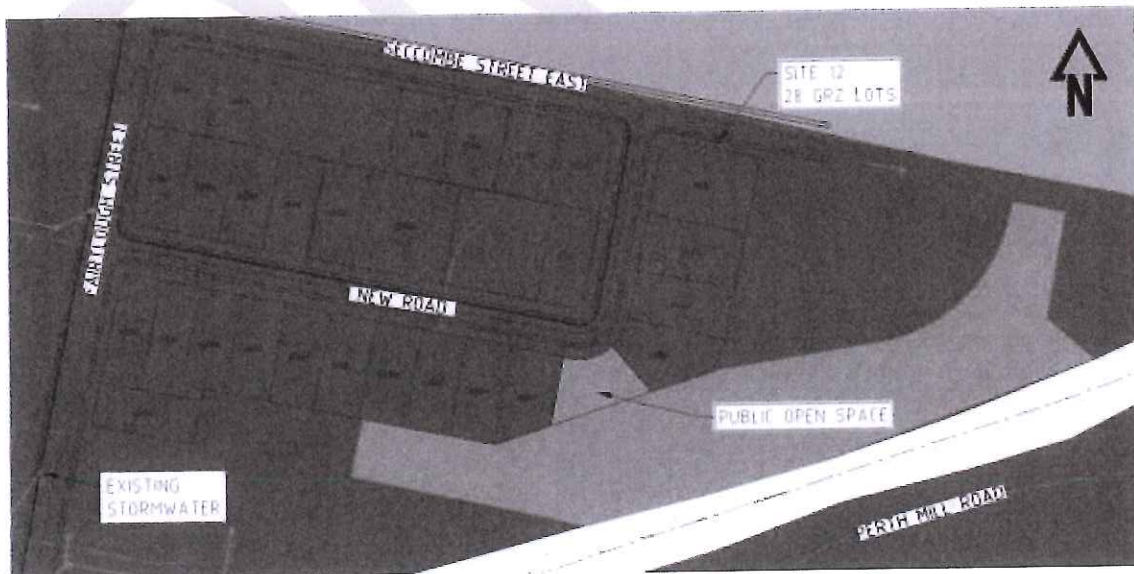
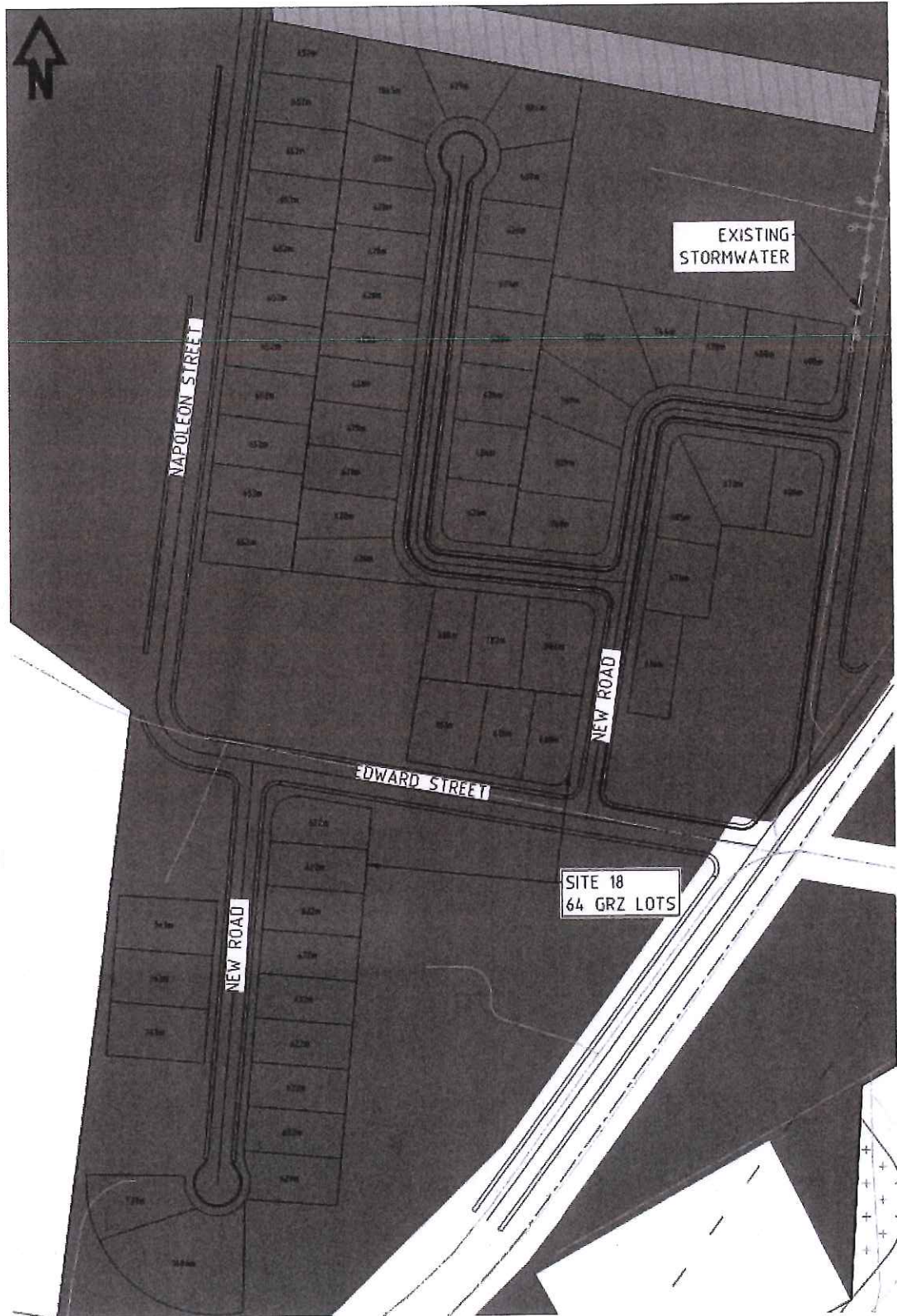


Figure NOR-S7.2.4 - Perth Development Precinct Masterplan off Napoleon and Edward Streets



NOR-S8.0 Ross Specific Area Plan

NOR-S8.1 Plan Purpose

The purpose of the Ross Specific Area Plan is:

- NOR-S8.1.1 To protect and enhance the unique and intact history and character of the town.
- NOR-S8.1.2 To ensure that future growth and development is sympathetic to the existing streetscape settings and built form
- NOR-S8.1.3 To ensure that future Public Open Space is appropriately sized, located and linked with existing Public Open Space and street networks.
- NOR-S8.1.4 To encourage the subdivision of key development sites within the town that meet Council's design aspirations.
- NOR-S8.1.5 To increase resilience to the anticipated impacts of climate change.
- NOR-S8.1.6 To achieve the Local Area Objectives for Ross.

NOR-S8.2 Application of this Plan

- NOR-S8.2.1 The specific area plan applies to the area of land designated as NOR-S8.0 Ross Specific Area Plan on the overlay map and in Figure S8.2.1.
- NOR-S8.2.2 Precinct Plan NOR-S8.2.2 applies to the area of land designated as Development Precinct Masterplan off Bond Street (1).
- NOR-S8.2.3 Precinct Plan NOR-S8.2.3 applies to the area of land designates as Development Precinct Masterplan off Badajos Street.
- NOR-S8.2.4 Precinct Plan NOR-S8.2.4 applies to the area of land designated as Development Precinct Masterplan off Bond Street (2).
- NOR-S8.2.5 Precinct Plan NOR-S8.2.5 applies to the area of land designated as Development Precinct Masterplan off Bond Street (3).
- NOR-S8.2.6 In the area of land this plan applies to, the provisions of the specific area plan modify, are in substitution for, and in addition to the provisions of:
 - (a) General Residential Zone; and
 - (b) Low Density Residential Zone;
 as specified in the relevant provision.

NOR-S8.3 Local Area Objectives

Reference Number	Area Description	Local Area Objectives
NOR-S8.3.1	Ross Specific Area, shown on an overlay map as NOR-S8.0 and in Figure NOR-S8.2.1	The local area objectives for the Ross Specific Area Plan are:

		<p>a) to maintain the current open space and historic tree lined streetscapes;</p> <p>b) to provide well managed and suitably located facilities for community events;</p> <p>c) to encourage the provision of appropriate tourism infrastructure whilst maintaining the scenic and historic character of Ross; and</p> <p>d) to encourage development that contributes positively to the township's tree canopy cover.</p>
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NOR-S8.4 Definition of Terms

Term	Definition
Landscape Plan	means a document that provides the details of the proposed landscaping and/or planting within all areas of the site not covered by buildings or hard surface as well as details of surface finishes or pathways and driveways.

NOR-S8.5 Use Table

This clause is a substitution for Low Density Residential Zone – 10.2 Use Table

No Permit Required	
Use Class	Qualification
Natural and cultural values management	
Passive recreation	
Residential	If for a single dwelling
Utilities	If for minor utilities
Permitted	

Use Class	Qualification
Visitor Accommodation	
Residential	If for a home based business
Discretionary	
Use Class	Qualification
Business and professional services	If for a consulting room, medical centre, veterinary centre, child health clinic or for the provisions of residential support services.
Community meeting & entertainment	If for a place of worship, art and craft centre or public hall.
Educational and Occasional Care	If not for a tertiary institution.
Emergency services	
Food Services	If not for a take away food premises with a drive through facility.
General retail and hire	If for a local shop.
Sports and recreation	If for a fitness centre, gymnasium, public swimming pool or sports ground.
Utilities	If not listed as No Permit Required.
Prohibited	
All other uses	

NOR-S8.6 Use Standards

This sub-clause is not used in this specific area plan.

NOR-S8.7 Development Standards for Buildings and Works

NOR-S8.7.1 Residential density for multiple dwellings.

This clause is a substitution for General Residential Zone – clause 8.4.1 Residential density for multiple dwellings.

Objectives:	That the density of multiple dwellings: (a) maintains the historic character of Ross; and (b) optimises the use of infrastructure and community services.
Acceptable Solutions	Performance Criteria

<p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 400m².</p>	<p>P1</p> <p>Multiple dwellings must only have a site area per dwelling that is less than 400m², if the development will not exceed the capacity of infrastructure services and:</p> <p>(a) is compatible with the density of existing development on established properties within 100m of the development site; or</p> <p>(b) provides for a significant social or community benefit and is:</p> <p style="padding-left: 40px;">(i) wholly or partly within 400m walking distance of a public transport stop; or</p> <p style="padding-left: 40px;">(ii) wholly or partly within 400m walking distance of a Village Zone, Local Business Zone, or General Business Zone; and</p> <p>(c) must be consistent with any Local Area Objectives.</p>
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NOR-S8.7.2 Roof Form and Materials.

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non Dwellings; and Low Density Residential Zone – clause 10.4 Development Standards for Dwellings and clause 10.5 Development Standards for Non-Dwellings.

Objectives:	That roof form and materials are designed to be sympathetic to, and not detract from, the existing character of the streetscape or townscape.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Roof form and materials for new buildings (excluding outbuildings) must be as per the roof forms shown in Figure S8.7.2 excluding new buildings located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5</p>	<p>P1</p> <p>Roof form and materials for new buildings and structures, excluding new buildings and structures located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5 must:</p> <p>(a) be sympathetic to the design and period of construction of the existing buildings in the street; or</p> <p>(b) be sympathetic to the design and period of construction of the existing buildings or character of the town; or</p> <p>(c) not be visible from the street; and</p>

	(d) must be consistent with any Local Area Objectives.
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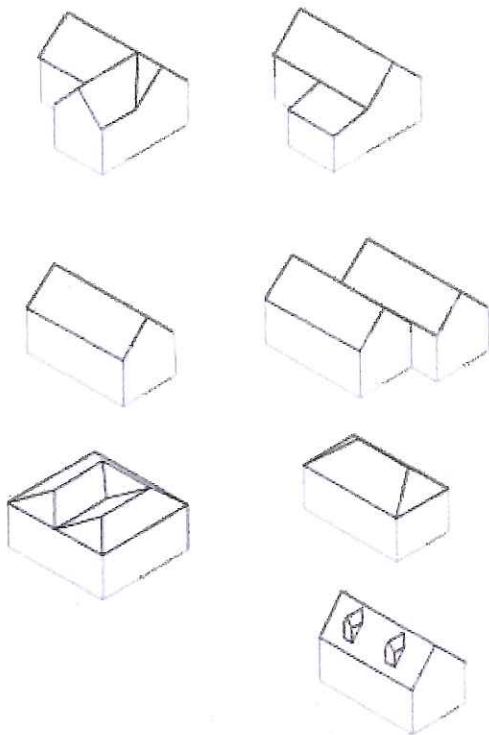
NOR-S8.7.3 Wall Materials.

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non Dwellings; and Low Density Residential Zone – clause 10.4 Development Standards for Dwellings and clause 10.5 Development Standards for Non-Dwellings.

Objectives:	That wall materials used are compatible with the existing streetscape and townscape.	
Acceptable Solutions	Performance Criteria	
A1 Wall materials used in additions (excepting additions to outbuildings) must match those of the existing construction, excluding in additions to stone or brick buildings, excluding when located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5.	P1 Wall materials used in additions, excluding those located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5 must: (a) be sympathetic to the design and period of construction of the existing buildings in the street; or (b) be sympathetic to the design and period of construction of the existing buildings or character of the town; (c) not be visible from the street; and (d) be consistent with any Local Area Objective.	
A2 External walls for new buildings (excluding outbuildings), excluding those located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5 must be clad in: (a) traditional bull-nosed timber weatherboards, or (b) modern materials that have the appearance of traditional bull-nosed timber weatherboards; or (c) brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), and be one of the following; (i) painted standard size bricks; or	P2 Wall materials for new buildings, excluding those located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5 must be; (a) sympathetic to the design and period of construction of the existing buildings in the street; (b) be sympathetic to the design and period of construction of the existing buildings or character of the town; and (c) consistent with any Local Area Objective.	

<p>(ii) standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or</p> <p>(ii) standard brickwork rendered in traditional style; or</p> <p>(d) concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted.</p>	
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Figure NOR-S8.7.2 – Acceptable Solution Roof Forms.



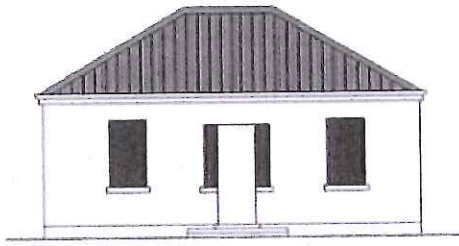
NOR-S8.7.4 Windows.

This clause is in addition to General Residential Zone – clause 8.4 Development Standards for Dwellings and clause 8.5 Development Standards for Non Dwellings; and Low Density Residential Zone – clause 10.4 Development Standards for Dwellings and clause 10.5 Development Standards for Non-Dwellings.

Objectives:	That window form and details are consistent with the streetscape.	
Acceptable Solutions	Performance Criteria	
A1 Window heads must be a minimum of 300mm below the eaves line, or match existing,	P1 No performance criteria.	

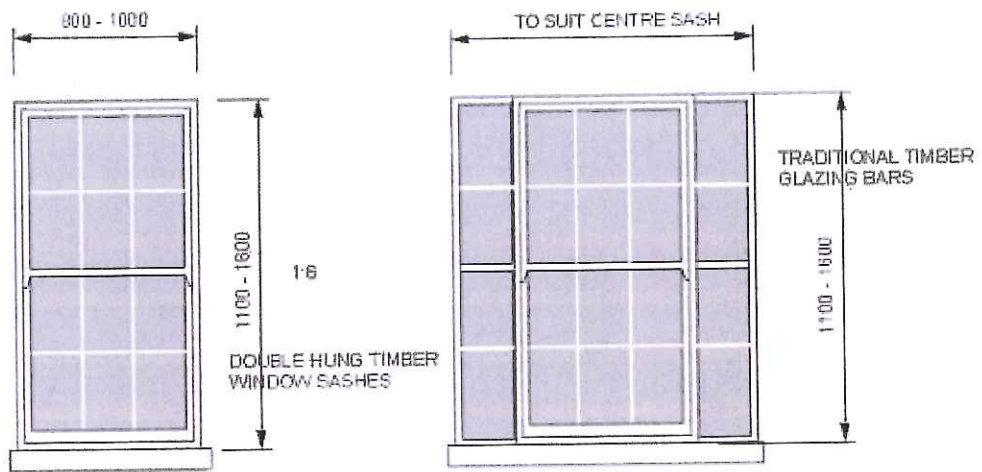
<p>excluding when located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5.</p>	
<p>A2</p> <p>Front façade windows, excluding those located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5 must conform to the solid/void ration as shown in Figure S8.7.4 (a).</p>	<p>P2</p> <p>Front façade windows, excluding those located within the Ross Historic Heritage Precinct defined by overlay map NOR-C6.2.5 must be:</p> <p>(a) be sympathetic to the design and period of construction of the existing buildings in the street; and</p> <p>(b) consistent with any Local Area Objectives for the area.</p>
<p>A3</p> <p>Windows for new buildings (excluding outbuildings) and extensions must:</p> <p>(a) be appropriate to the period and style of the building ; or</p> <p>(b) be traditional style multi-pane sashes conforming to the traditional patterns per sash with traditional size and profile glazing bars refer Figure S8.7.4 (b); and</p> <p>(c) use clear glass;</p> <p>(d) have projecting brick or stone stills, or match the existing if in a brick or masonry building; and</p> <p>(e) only have large areas of glass panelling that:</p> <ul style="list-style-type: none"> (i) are divided by large vertical mullions to suggest a vertical orientation; and (ii) are necessary to enhance the utility of the property or protect the historic fabric and (iii) do not detract from the historic values of the original building. 	<p>P3</p> <p>Windows for new buildings and extensions or alterations to existing buildings must satisfy all of the following:</p> <p>(a) be sympathetic to the design and period of construction of the existing buildings in the street; or</p> <p>(b) not be visible from public spaces; and</p> <p>(c) be consistent with any Local Area Objectives provided for the area.</p>

Figure NOR-S8.7.4 (a) – Illustration of Acceptable Solution Window/Void ratio, i.e. <30%

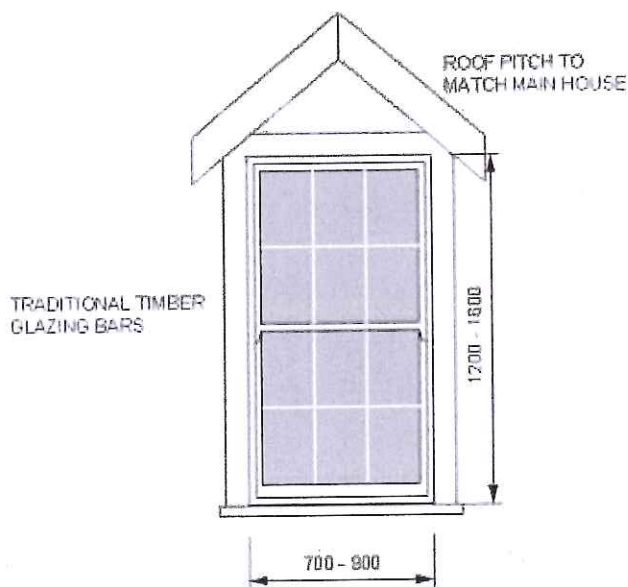


Appropriate Façade Solid to Void Ratio – Solid / Void < 30%

Figure NOR-S8.7.4 (b) – Acceptable Solution window shapes and styles.



Appropriate window sizes for Front Facades



Appropriate dormer window sizes

NOR-S8.8 Development Standards for Subdivision

NOR-S8.8.1 Ross Specific Area Plan Development Precincts Lot design

This clause is in addition to General Residential Zone – clause 8.6.1 Lot design, Low Density Residential Zone – clause 10.6.1 Lot design and Open Space Zone – Clause 29.5.1 Lot design.

Objectives:	That each development precinct creates an efficient lot design that provides connectivity and optimal location for public open space.	
	Acceptable Solutions	Performance Criteria
	<p>A1</p> <p>Subdivision complies with the Lot Layout Plan as shown for each Ross Development Precinct Masterplan, as shown in Figures NOR-S8.2.2, NOR-S8.2.3, NOR-S8.2.4 and NOR-S8.2.5</p>	<p>P1</p> <p>Subdivision has regard to:</p> <p>(a) the Lot Layout Plan as shown for each Ross Development Precinct Masterplan, as shown in Figures NOR-S8.2.2, NOR-S8.2.3, NOR-S8.2.4 and NOR-S8.2.5; and</p> <p>(b) all of the following subdivision design elements:</p> <p>(i) minimum lot area specified by the zone ;</p> <p>(ii) road network as north south grid;</p> <p>(iii) front new lots onto existing roads where possible;</p> <p>(iv) minimise cul-de-sacs;</p> <p>(v) public open space is used to provide pedestrian loops around the town;</p> <p>(vi) create connections between new and existing public open spaces;</p> <p>(vii) create road frontages around public open spaces;</p> <p>(viii) use public open spaces for stormwater detention; and</p> <p>(ix) must be consistent with any Local Area Objective.</p>

NOR-S8.8.2 Lot design

This clause is a modification for General Residential Zone – clause 8.6.1 Lot design

Objectives:	That subdivision lot designs provides for each lot:
	(a) to have an area and dimension appropriate for the use and development in the Ross Specific Area;

	<p>(b) to be provided with appropriate access to a road;</p> <p>(c) to contain areas which are suitable for development appropriate to the Local Area Objectives, located to avoid natural hazards; and</p> <p>(d) is oriented to provide solar access for future dwellings.</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot or a lot proposed in a plan of subdivision, must:</p> <p>(a) have an area of not less than 600m² and:</p> <p style="padding-left: 40px;">(i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of:</p> <p style="padding-left: 80px;">a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and</p> <p style="padding-left: 80px;">b. easements or other title restrictions that limit or restrict development; and</p> <p style="padding-left: 40px;">(ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; or</p> <p>(b) is a lot shown in one of the Ross Development Precinct Masterplans as shown in Figure NOR-S8.2.2, NOR-S8.2.3, NOR-S8.2.4 and NOR-S8.2.5; or</p> <p>(c) be required for public use by the Crown, a council or a State authority; or</p> <p>(d) be required for the provisions of Utilities; or</p> <p>(e) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the relevant requirements for development of buildings on the lots;</p> <p>(b) the intended location of buildings on the lots must not result in unreasonable shading on adjoining lots;</p> <p>(c) the topography of the site;</p> <p>(d) the presence of any natural hazards;</p> <p>(e) adequate provision of private open space and solar access;</p> <p>(f) the pattern of development existing on established properties within the area; and</p> <p>(g) must be consistent with any Local Area Objectives.</p>

NOR-S8.8.3 Internal Lots

This clause is an addition to General Residential Zone – clause General Residential Zone – clause 8.6.1 Lot design

Objectives:	That sub-division lot designs discourage internal lots.
Acceptable Solutions	Performance Criteria

<p>A1</p> <p>No lot is an internal lot.</p>	<p>P1</p> <p>An internal lot must satisfy all of the following:</p> <ul style="list-style-type: none"> (a) the lot gains access from a road existing prior to the planning scheme coming into effect, unless site constraints make an internal lot configuration the only reasonable option to efficiently utilise land; (b) it is not reasonably possible to provide a new road to create a standard frontage lot; (c) the lot constitutes the only reasonable way to subdivide the rear of an existing lot; (d) the lot will contribute to the more efficient utilisation of residential land and infrastructure; (e) the amenity of neighbouring land is unlikely to be unreasonably affected by subsequent development and use; (f) the lot has access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m; (g) passing bays are provided at appropriate distances to service the likely future use of the lot; (h) the access strip is adjacent to or combined with no more than three other internal lot access strips and it is not appropriate to provide access via a public road; <ul style="list-style-type: none"> (i) a sealed driveway is provided on the access strip prior to the sealing of the final plan. (j) the lot addresses and provides for passive surveillance of public open space and public rights of way if it fronts such public spaces.
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NOR-S8.8.4 Roads

This clause is a modification to General Residential Zone – clause 8.6.2 Roads and Low Density Residential Zone – clause 10.6.2 Roads

<p>Objectives:</p>	<p>That the arrangement of new road within a subdivision provides for:</p> <ul style="list-style-type: none"> (a) safe, convenient and efficient connections to assist accessibility and mobility of the community;
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	<p>(b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic;</p> <p>(c) adequate areas for the planting of street trees in the road reserve; and</p> <p>(d) the efficient ultimate subdivision of the entirety of the land and of surrounding land.</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The subdivision includes no new roads.</p>	<p>P1</p> <p>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <p>(a) any road network plan adopted by the council;</p> <p>(b) the existing and proposed road hierarchy;</p> <p>(c) the need for connecting roads and pedestrian and cycling paths, to common boundaries with adjoining land, to facilitate future subdivision potential;</p> <p>(d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks;</p> <p>(e) minimising the travel distance between key destinations such as shops and services and public transport routes;</p> <p>(f) access to public transport;</p> <p>(g) the efficient and safe movement of pedestrians, cyclists and public transport;</p> <p>(h) the need to provide bicycle infrastructure on new arterial and collector roads in accordance with the Guide to Road Design Part 6A: Paths for Walking and Cycling 2016;</p> <p>(i) the topography of the site;</p> <p>(j) the future subdivision potential of any balance lots on adjoining or adjacent land; and</p>

	(k) must be consistent with any Local Area Objectives.
<p>A2</p> <p>Where the subdivision plan includes one or more new roads a landscape plan providing details of the number, species and location of proposed street trees or other plants is to be submitted for approval by Council.</p>	<p>P2</p> <p>No Performance Criteria</p>

NOR-S8.9 Tables

This sub-clause is not used in this specific area plan.

Figure NOR-S8.2.1 Ross Specific Area Plan area highlighted in light yellow



Figure NOR-S8.2.2 Ross Development Precinct Masterplan off Bond Street (1)

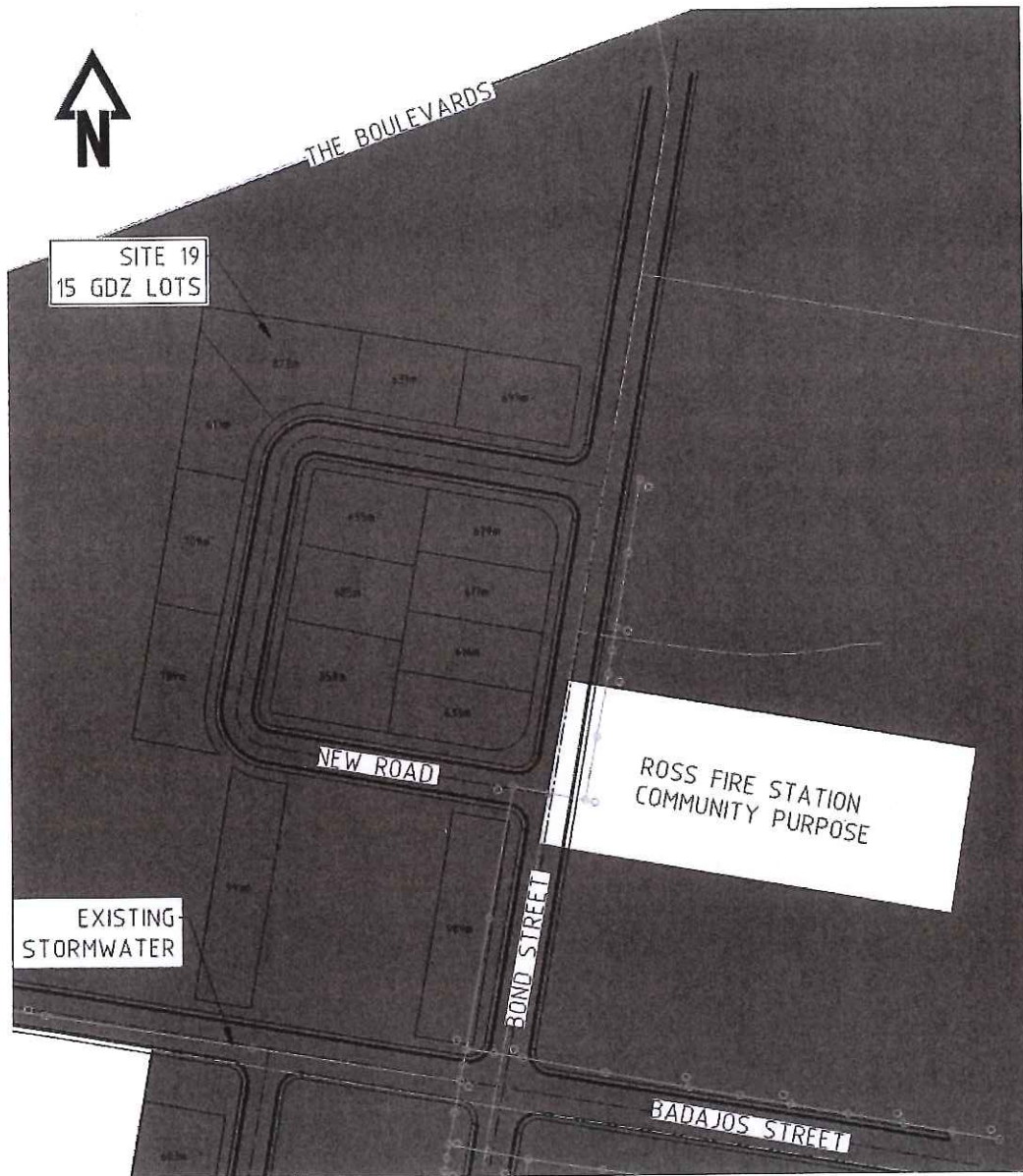


Figure NOR-S8.2.3 Ross Development Precinct Masterplan off Badajos Street

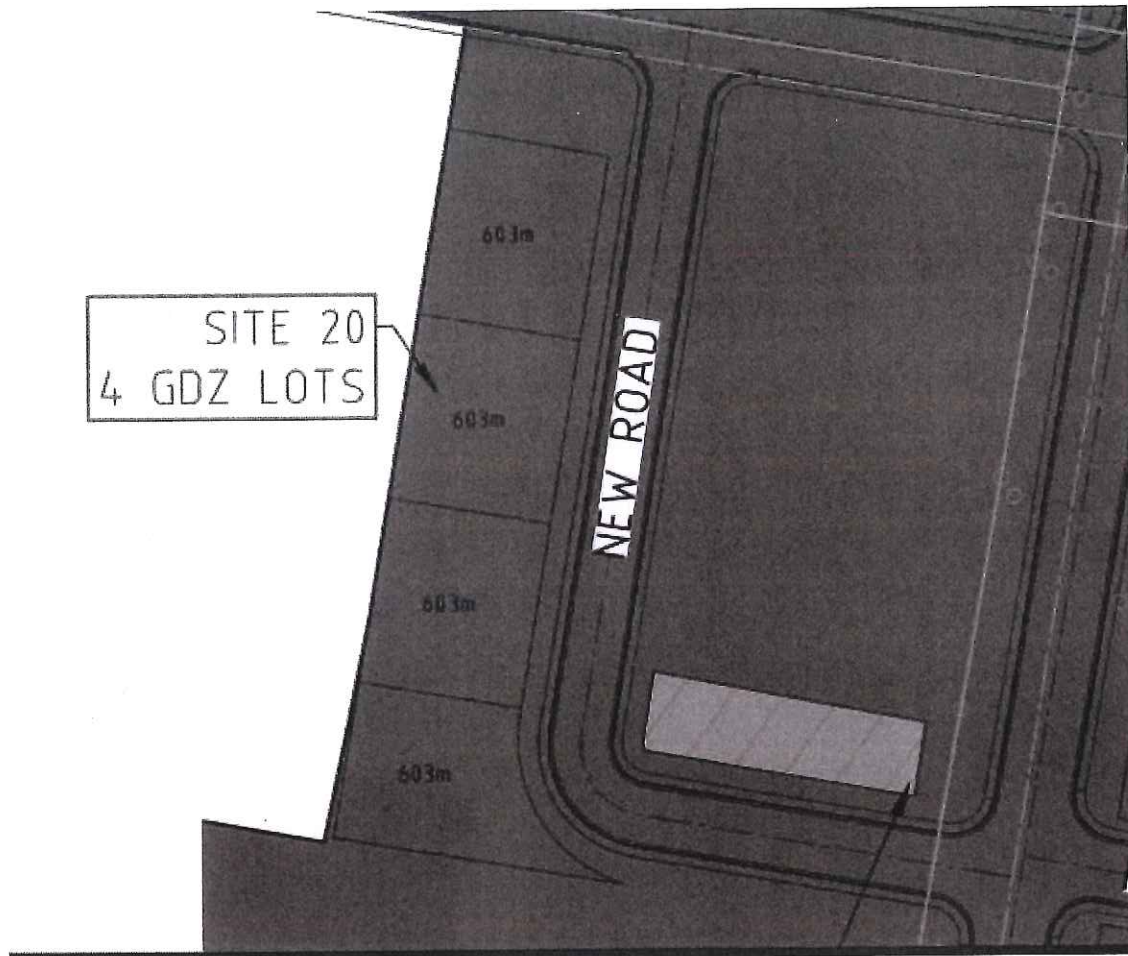


Figure NOR-S8.2.4 Ross Development Precinct Masterplan off Bond Street (2)

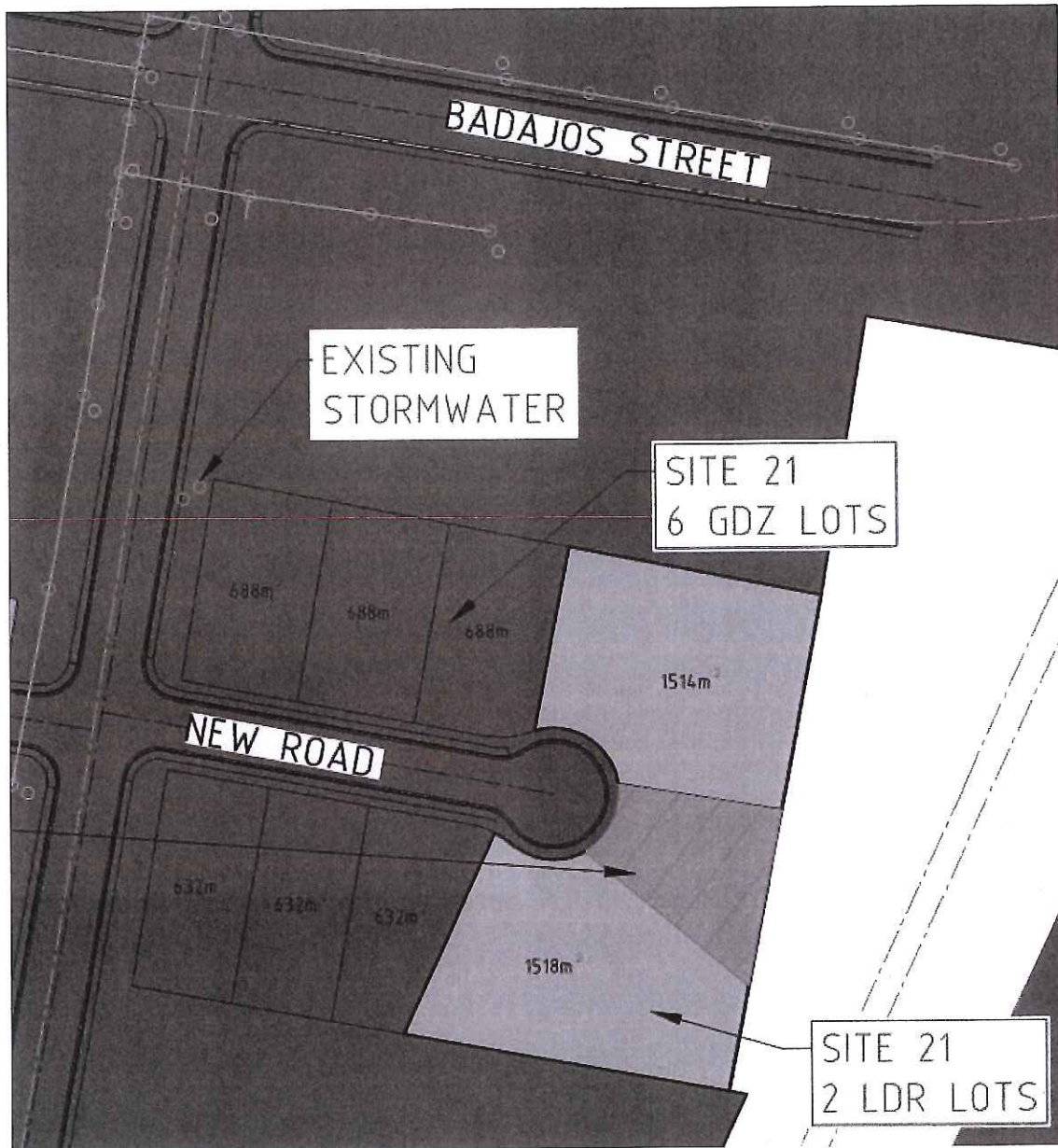
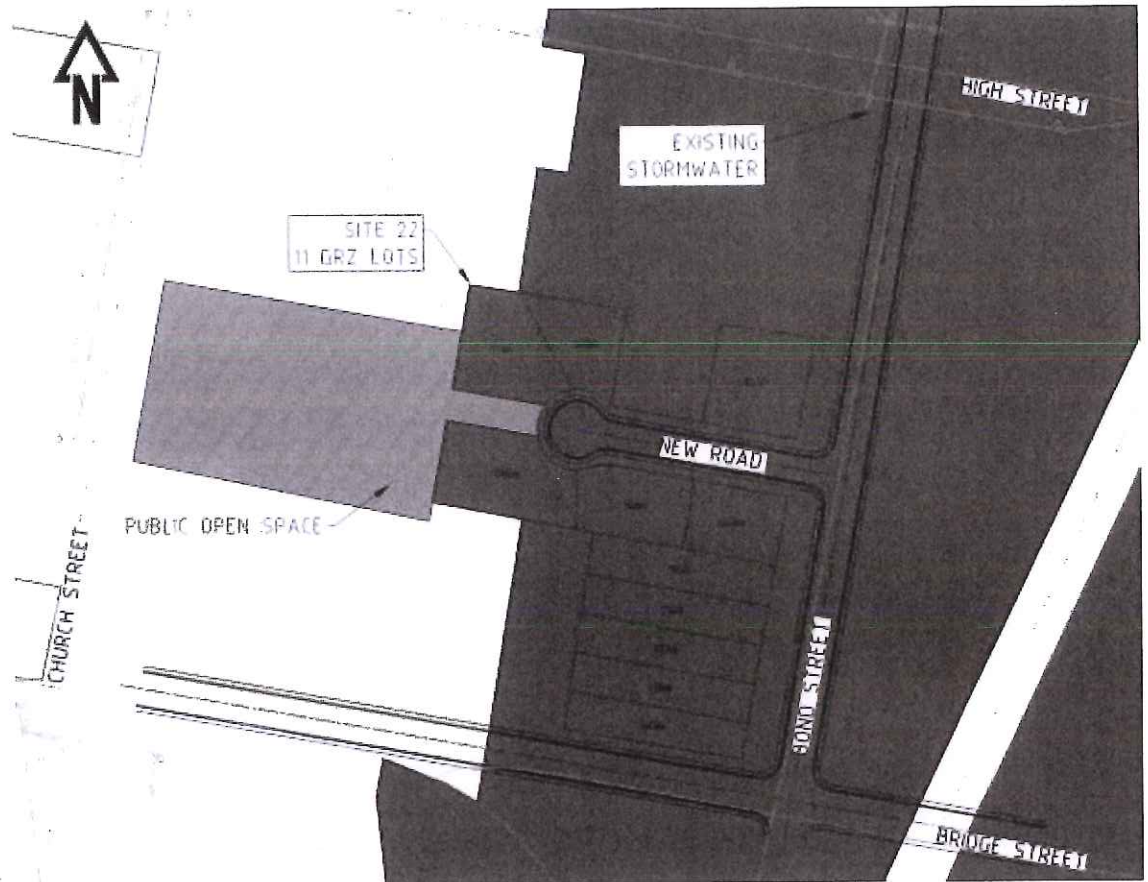


Figure NOR-S8.2.5 Ross Development Precinct Masterplan off Bond Street (3)



NOR-Site-specific Qualifications

Reference Number	Site reference	Folio of the Register	Description (modification, substitution or addition)	Relevant Clause in State Planning Provisions
NOR-8.1	4 Nile Road, Evandale	110036/1	An additional qualification for the Discretionary Use Class of General Retail and Hire for this site is: "If for a hairdressing salon and the sale of clothing and Accessories."	General Residential Zone – clause 8.2 Use Table
NOR-10.1	SSQ-NOR-10.1 Overlay Map NOR-S4.0	Not Applicable	A modification of the Subdivision Acceptable Solution and Performance Criteria" Acceptable Solution A1 Each lot, or a lot proposed in a plan of subdivision, must: (a) be required for public use by the Crown, a council or State authority; (b) be required for the provision of Utilities; or (c) be for the consolidation of a lot with another lot provided each lot is within the same zone. Performance Criteria P1 No Performance Criterion	Low Density Residential Zone – clause 10.6.1 Lot design
NOR-11.1	201 Pateena Road, Longford	122423/2	An additional Discretionary Use Class for this site is: Equipment and Machinery Sales and Hire.	Rural Living Zone – clause 11.2 Use Table
NOR-11.2	201 Pateena	122423/2	An additional qualification for the	Rural Living Zone – clause 11.2 Use Table

	Road, Longford		Discretionary Use Class Manufacturing and Processing is: "If located at 201 Pateena Road, Longford."	
NOR-11.3	201 Pateena Road, Longford	122423/2	An additional Discretionary Use Class for this site is: Storage with the qualification "If for a contractor's yard."	Rural Living Zone – clause 11.2 Use Table
NOR-18.1	10 Union Street, Longford	56239/1	An additional Discretionary Use Class for this site is: Residential with the qualification "If for a dwelling where all habitable rooms are limited to the first floor and above."	Light Industrial Zone – clause 18.2 Use Table
NOR-20.1	18 Logan Road, Evandale	135864/3	An additional Discretionary Use Class for this site is: Vehicle Parking with the qualification "If directly associated with Evandale market."	Rural Zone – clause 20.2 Use Table
NOR-27.1	6-8 Bridge Street, Ross	153988-1	An additional Qualification for the Discretionary Use Class General Retail and Hire for this site is: "Only if in a building that existed at the effective date of the planning scheme."	Community Purpose Zone – clause 27.2 Use Table

NOR-Code Lists

NOR-Table C3.1 Other Major Roads

Road	From	To
Perth Bypass (South)	Illawarra Road (south west of Perth)	Main Road (south east of Perth)
Perth Bypass (West)	Illawarra Road (south west of Perth)	Midland Highway (north of Perth)

NOR-Table C6.1 Local Heritage Places

Reference Number	THR Number	Town / Locality	Street Address	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
NOR-C6.1.1	4873	Avoca	23-27 Arthur Street	House	100057/17	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.2	4875	Avoca	3 Blenheim Street	Marlborough House and Barn / Marlborough (Blenheim) House	83997/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.3	7997	Avoca	16 Blenheim Street	Former Avoca Primary School	169730/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.4	Not Applicable	Avoca	1787 Esk Main Road	Eastbourne House	122772/1	Entire Title
NOR-C6.1.5	5889	Avoca	16 Falmouth Street	St. Thomas' Anglican Sunday School	125337/12	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.6	4880	Avoca	9 Falmouth Street (Cnr Blenheim Street)	St. Thomas' Anglican Church	204075/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.7	5890	Avoca	20 Falmouth Street	Union Hotel	48792/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.8	4879	Avoca	8 Stieglitz Street	Former St Thomas' Rectory	10795/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.9	4883	Avoca	75 Storys Creek Road	Bona Vista	151295/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.10	Not Applicable	Avoca	75 Storys Creek Road	Fenhope Colliery / Fenhope Coal Bins	225390/1	Entire Title
NOR-C6.1.11	4741	Bishopsbourne	320 Liffey Road	Enfield	123878/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.12	10607	Blessington	2281 Deddington Road	Former St Patrick's Catholic Church	67320/1	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.13	4887	Bracknell	628 Liffey Road	The Hermitage	46123/13	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.14	4888	Breadalbane	854 Hobart Road	Wool Pack Inn	65418/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.15	4889	Breadalbane	16662 Midland Highway	Rathmolyn	50827/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.16	5050	Breadalbane	17115 Midland Highway	Strathroy	47310/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.17	4914	Campbell Town	22 Bedford Street	House	109820/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.18	7093	Campbell Town	Bridge Street	Campbell Town Bridge	Reserved Road	Specific extent is

						limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.19	4916	Campbell Town	28-44 Bridge Street	Balmoral	226683/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.20	4974	Campbell Town	73-107 Bridge Street	Howley Lodge	148746/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.21	4917	Campbell Town	113 Bridge Street	House (Part of Old Barracks)	204792/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.22	4939	Campbell Town	118 Bridge Street	Old School and Schoolhouse	Department of Education PID 6201014	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.23	4918	Campbell Town	127 Bridge Street	House (Part of Old Barracks)	11922/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.24	4919	Campbell Town	140 Bridge Street	House (Part of Old Barracks)	109642/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.25	4920	Campbell Town	141 Bridge Street	House (Part of Old Barracks)	12618/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.26	4921	Campbell Town	142 Bridge Street	House (Part of Old Barracks)	109642/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.27	4922	Campbell Town	144 Bridge Street	House (Part of Old Barracks)	109642/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.28	4923	Campbell Town	148 Bridge Street	House (Part of Old Barracks)	225385/6	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.29	4925	Campbell Town	157 Bridge Street	House (Part of Old Barracks)	12884/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.30	4926	Campbell Town	160 Bridge Street	House (Part of Old Barracks)	71244/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.31	4928	Campbell Town	170 Bridge Street	House (Part of Old Barracks)	114502/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.32	4932	Campbell Town	26 Church Street	House	17012/15	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.33	4943	Campbell Town	4 Commonweal Lane	The Grange	162625/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.34	4933	Campbell Town	8 Forster Street	Conjoined Houses	125737/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.35	4934	Campbell Town	17 Forster Street	House	100645/1	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.36	4935	Campbell Town	8 Franklin Street	The Mill House	6695/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.37	Not Applicable	Campbell Town	3 Glenelg Street	House	204671/1	Entire Title
NOR-C6.1.38	4936	Campbell Town	9 Glenelg Street	Ivy Cottage	110970/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.39	4927	Campbell Town	9 Harrison Street	Cottage (Part of Old Barracks)	228150/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.40	4941	Campbell Town	High Street	Red Bridge	DPIPWE (Crown Land Services)	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.41	4964	Campbell Town	55 High Street	St Andrews Uniting Church (St Andrew's Presbyterian Church & Organ)	153978/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.42	4947	Campbell Town	71-73 High Street	St Luke's Anglican Church and Cemetery	125276/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.43	4948	Campbell Town	71-73 High Street	Anglican Schoolhouse (Former)/ Former Anglican Schoolhouse	125276/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.44	4965	Campbell Town	100 High Street	Former Campbell Town Inn	50637/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.45	4940	Campbell Town	103 High Street	Campbell Town Courthouse	106245/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.46	4945	Campbell Town	109 High Street	Brickhill Memorial Church	64945/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.47	4950	Campbell Town	112 High Street	The Trust Bank	119702/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.48	4951	Campbell Town	114 High Street	House	23018/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.49	4946	Campbell Town	118 High Street	Powell's Hotel	32588/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.50	4952	Campbell Town	120 High Street	House and shop	124306/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.51	4953	Campbell Town	122 High Street	House	22737/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.52	4954	Campbell Town	124 High Street	House	42022/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.53	4957	Campbell Town	132 High Street	The Foxhunters Return	100683/1	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.54	4944	Campbell Town	137 High Street	Former Brewery (Keans Brewery) (Masonic Lodge)	224237/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.55	4958	Campbell Town	145 High Street	House	29317/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.56	4958	Campbell Town	145 High Street	Vacant land associated with house	29317/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.57	4959	Campbell Town	146 High Street	House	18744/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.58	Not Applicable	Campbell Town	150 High Street	House	19728/1	Entire Title
NOR-C6.1.59	4961	Campbell Town	154 High Street	House (Cottage Omee)	156972/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.60	Not Applicable	Campbell Town	160 High Street	House	143563/2	Entire Title
NOR-C6.1.61	4963	Campbell Town	162 High Street	House	26546/5	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.62	4993	Campbell Town	338 Isis Road	Bicton	209533/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.63	4993	Campbell Town	338 Isis Road	Bicton	83527/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.64	4968	Campbell Town	4 King Street	St Michaels's Roman Catholic Church and Presbytery	7802/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.65	4968	Campbell Town	4 King Street	St Michaels's Roman Catholic Church and Presbytery	7802/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.66	4966	Campbell Town	10 King Street	Conjoined houses	123121/1 & 123121/2	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.67	4967	Campbell Town	12 King Street	Former Wesleyan Chapel	124837/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.68	4984	Campbell Town	11987 Midland Highway	Wanstead	109916/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.69	4970	Campbell Town	83 Montague Street	Arringa	236780/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.70	4971	Campbell Town	20 Pedder Street	House	226026/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.71	4972	Campbell Town	30 Pedder Street	Conjoined Houses	125307/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.72	4973	Campbell Town	33 Pedder Street	St Luke's Anglican Rectory (The Old Rectory)	244956/1	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.73	4937	Campbell Town	14 Queen Street	Balvaird	232538/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.74	4903	Campbell Town District	227 Lake Leake Road	Camelford Homestead	131843/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.75	4904	Campbell Town District	295 Lake Leake Road	Quorn Hall	109833/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.76	4905	Campbell Town District	505 Macquarie Road	Rosedale (House and Outbuildings)	166009/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.77	4895	Campbell Town District	1726 Macquarie Road	Egleston (and Outbuildings)	143984/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.78	4896	Campbell Town District	1960 Macquarie Road	Greenhill Barn	198932/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.79	4898	Campbell Town District	1485 Macquarie Road	Streanshalh	109680/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.80	4899	Campbell Town District	130 Truelands Road	Riccarton	103889/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.81	4908	Campbell Town District	321 Truelands Road	Douglas Park (Private House)	113818/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.82	4909	Campbell Town District	Valleyfield Road	Kirklands Church & Cemetery	135752/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.83	4910	Campbell Town District	Valleyfield Road	Pituncarty	135330/2	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.84	4433	Campbell Town District	86 Valleyfield Road	Valleyfield	36419/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.85	4979	Cleveland	12787 Midland Highway	Union Chapel and Cemetery	Not Applicable (PID 2671027)	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.86	4978	Cleveland	12787 Midland Highway	Bald Face Stag Inn	125989/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.87	4977	Cleveland	12819 Midland Highway	St. Andrew's Inn	37452/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.88	4980	Conara	125 Conara Road	Conara Railway Station / Post Office	123733/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.89	7981	Conara	136 Conara Road	Christ Church and Cemetery	149370/1	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.90	4982	Conara	911 Esk Main Road	Milford	163599/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.91	5189	Conara	561 Kingston Road	Kingston (homestead, outbuildings and ruin)	145038/6	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.92	5005	Conara	1072 Kingston Road	Ellerslie	150040/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.93	5188	Conara	1072 Kingston Road	Kelvin Grove	48634/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.94	4983	Conara Junction	643 Glen Esk Road	Vaucluse	109929/5	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.95	4981	Conara Junction	12351 Midland Highway	Smithvale (Disappearing House)	31164/1	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.96	5054	Cressy	Burlington Road	Pigeon Tower	44885/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.97	5054	Cressy	Burlington Road	Pigeon Tower	44886/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.98	5058	Cressy	1097 Cressy Road	Richmond Hill (House and Barn)	50936/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.99	5062	Cressy	591 Delmont Road	Lake House	252480/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.100	5056	Cressy	394 Macquarie Road	Connorville (Connorville House, Outbuildings, Mill and Garden)	13307/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.101	5064	Cressy	118 Mount Joy Road	Fairfield (House, Stables and Barn)	116920/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.102	5065	Cressy	612 Mount Joy Road	Mount Joy	152765/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.103	5072	Cressy	4740 Poatina Road	Woodside House (Outbuildings, Wall and garden)	126579/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.104	5073	Cressy	1243 Saundridge Road	Saundridge (House and Chapel)	54212/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.105	8784	Cressy	1284 Saundridge Road	Saundridge Memorial Chapel	127028/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.106	5074	Cressy	1393 Saundridge Road	Palmerston House	35810/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.107	4894	Cressy District	3064 Macquarie Road	Darlington Park, (Outbuildings and Chapel)	169250/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.108	4985	Deddington	750 Deddington Road	Hampden	13759/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.109	4986	Deddington	958 Deddington Road	Nile Chapel and Cemetery	3/5550	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.110	4987	Deddington	1191 Deddington Road	Nile Farm	32370/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.111	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/1	CPR 10185
NOR-C6.1.112	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/2	CPR 10185
NOR-C6.1.113	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/3	CPR 10185
NOR-C6.1.114	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/4	CPR 10185
NOR-C6.1.115	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/10	CPR 10185

NOR-C6.1.116	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/11	CPR 10185
NOR-C6.1.117	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111808/12	CPR 10185
NOR-C6.1.118	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111809/5	CPR 10185
NOR-C6.1.119	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111809/6	CPR 10185
NOR-C6.1.120	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111809/7	CPR 10185
NOR-C6.1.121	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111809/8	CPR 10185
NOR-C6.1.122	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111809/13	CPR 10185
NOR-C6.1.123	4988	Deddington	173 Uplands Road	Patterdale and Nile Farm	111810/9	CPR 10185
NOR-C6.1.124	4988	Deddington	173 Uplands Road	Patterdale House and Garage	44931/1	CPR 10185
NOR-C6.1.125	4991	Epping Forest	517 Belle Vue Road	Glasslough (House and Stable)	168577/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.126	4990	Epping Forest	577 Belle Vue Road	Clyne Vale	117576/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.127	4989	Epping Forest	667 Belle Vue Road	Belle Vue	117576/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.128	4992	Epping Forest	2464 Macquarie Road	Barton House, Stables and Coach House	169053/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.129	4996	Epping Forest	13548 Midland Highway	Macquarie House, (Kitchen and Stone Shelter)	29942/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.130	7983	Epping Forest	13790 Midland Highway	St. Andrew's Church	11/5591	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.131	4995	Epping Forest	13790 Midland Highway	Fairfield	173568/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.132	5008	Evandale	8 Barclay Street	Police Residence (Residence Summerfield)	6228/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.133	11063	Evandale	4 Cambock Lane (West)	Evandale to Launceston Water Scheme (Part 4 Cambock Land West 6 of 28)	175116/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.134	11063	Evandale	6 Cambock Lane (West)	Evandale to Launceston Water Scheme (Part 6 Cambock Land West 7 of 28)	47879/14	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.135	11063	Evandale	8 Cambock Lane (West)	Evandale Water Scheme (Part 8 Cambock Land West 8 of 28)	47879/13	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.136	11063	Evandale	10 Cambock Lane (West)	Evandale to Launceston Water Scheme (Part 10 Cambock Land West 9 of 28)	47879/12	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.137	11063	Evandale	12 Cambock Lane (West)	Evandale to Launceston Water Scheme (Part 12 Cambock Land West 10 of 28)	47879/11	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.138	11063	Evandale	Unit 1/14 Cambock Lane (West)	Evandale Water Scheme (Part 14 Cambock Land West 11 of 28)	144241/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.139	Not Applicable	Evandale	3 Collins Street	Cottage	113824/1	Entire Title
NOR-C6.1.140	Not Applicable	Evandale	6A Collins Street	Cottage	56290/2	Entire Title

NOR-C6.1.141	Not Applicable	Evandale	8 Collins Street	Cottage (positioned across title boundaries)	23882/1 And 23882/2	Entire Titles
NOR-C6.1.142	5011	Evandale	14 Collins Street	Cottage	28875/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.143	5009	Evandale	33 Collins Street	House	157378/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.144	5010	Evandale	35 Collins Street	Briars Lane	141411/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.145	5320	Evandale	46 Dalness Road	Harland Rise	145763/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.146	5319	Evandale	200 Dalness Road	Dalness (and Garden)	176136/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.147	5007	Evandale	560 Evandale Road	Riverview (House and brick outbuildings)	17967/2	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.148	5012	Evandale	1 High Street	Solomon House, (Outbuilding and Garden)	59808/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.149	5026	Evandale	2 High Street	Post Office	201996/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.150	5015	Evandale	4 High Street	Former Anglican Rectory	123412/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.151	5014	Evandale	5 High Street	Euroka (Council Clerk's Residence)	227755/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.152	5018	Evandale	6 High Street	St Andrew's Anglican Church (and Graveyard)	123412/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.153	5019	Evandale	9 High Street	St Andrew's Presbyterian	161393/1	Specific extent is

				Church and Cemetery		limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.154	5016	Evandale	15 High Street	The Laurels (and Brickwalls)	32492/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.155	5013	Evandale	16 High Street	Patriot King William IV Inn	149380/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.156	5024	Evandale	18 High Street	Former State School	202589/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.157	5020	Evandale	20 High Street	Former School House	226956/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.158	11063	Evandale	24 High Street	Evandale to Launceston Water Scheme	22382/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.159	5022	Evandale	24 High Street	Ventnor	22382/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.160	5017	Evandale	27 High Street	Manse	125035/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.161	5023	Evandale	28-30 High Street	Water Tower	236838/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.162	4999	Evandale	170 Leighlands Road	Pheasant Banks (Homestead and Outbuildings)	138308/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.163	5028	Evandale	1 Leopold Street	House (Cottage)	134630/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.164	5029	Evandale	1 Logan Road	Fallgrove	78827/4	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.165	4998	Evandale	548 Logan Road	Elkington	175727/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.166	5032	Evandale	15 Macquarie Street	Roman Catholic Church	65683/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.167	5030	Evandale	21 Macquarie Street	Cottagé	92370/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.168	5031	Evandale	23 Macquarie Street	House (Cottage)	139560/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.169	Not Applicable	Evandale	1 Murray Street	Cottage	15145/2	Entire Title
NOR-C6.1.170	5036	Evandale	5 Murray Street	Cottage	197784/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.171	5034	Evandale	6 – 8 Murray Street	Cemetery	48212/1	Specific extent is limited to the

						part of the title defined in the THC central plan register, where available.
NOR-C6.1.172	Not Applicable	Evandale	19 Murray Street	Cottage	233415/1	Entire Title
NOR-C6.1.173	5039	Evandale	21 Murray Street	Cottage	35167/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.174	5025	Evandale	2 Nile Road	Prince of Wales Hotel	41271/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.175	5025	Evandale	2 Nile Road	Prince of Wales Hotel	41271/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.176	8208	Evandale	4 Nile Road	Cottage	110036/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.177	8216	Evandale	142 Nile Road	Andora	33202/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.178	Not Applicable	Evandale	59 Perth Mill Road	Glendessary	167180/1	Entire Title
NOR-C6.1.179	5033	Evandale	6 Rogers Lane	Cottage (House)	111388/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.180	5041	Evandale	8 Rogers Lane	Anjou Villa	137789/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.181	5027	Evandale	2 Russell Street	Shops (Village Antiques and Old Butchery)	222996/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.182	Not Applicable	Evandale	3 Russell Street	House and Shop	214531/1	Entire Title
NOR-C6.1.183	5043	Evandale	4 Russell Street	Council Chambers / Court House	92371/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.184	5042	Evandale	5 Russell Street	Shop (Browns Shop and Storehouse)	122508/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.185	5048	Evandale	6 Russell Street	Royal Oak Hotel (Royal Oak Hotel and Stables (former))	237292/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.186	5044	Evandale	11 Russell Street	Clarendon Arms Hotel (Clarendon Arms Hotel Store at rear and brickwalls)	114143/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.187	5044	Evandale	11 Russell Street	Clarendon Arms Hotel (Clarendon Arms Hotel Store at rear and brickwalls)	114143/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.188	5045	Evandale	13-15 Russell Street	Cottage	150003/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.189	5046	Evandale	18 Russell Street	Conjoined Cottage	43855/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.190	5047	Evandale	28 Russell Street	Former Methodist Chapel	43841/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.191	5317	Evandale	166 Trafalgar Lane	Trafalgar	165598/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.192	5081	Longford	Anstey Street	Longford Racecourse	Not Applicable	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.193	5080	Longford	39 Anstey Street	Cottage	236560/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.194	5082	Longford	4 Archer Street	Kilgour	24794/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.195	10454	Longford	1813 Bishopsbourne Road	Springbanks	30/5979	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.196	5083	Longford	147 Bulwer Street	Richmond Park	135293/1	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.197	Not Applicable	Longford	86 Burghley Street	Dell Farm - Cottage	115134/2	Entire Title
	5087	Longford	120 Catherine Street	Longford House (and Barn)	168940/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.198	5110	Longford	1 Cressy Road	Cottage	112263/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.199	5088	Longford	17 Cressy Road	Cottage	100485/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.200	5089	Longford	20 Goderich Street	House	57046/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.201	5090	Longford	21 Goderich Street	House	117047/5	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.202	5095	Longford	24 Goderich Street	St Augustine's Church	57046/16	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.203	5092	Longford	28 Goderich Street	Clare House	21902/11	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.204	5093	Longford	30 Goderich Street	Westlake	21902/12	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.205	5094	Longford	34 Goderich Street	Braeside	20763/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.206	5096	Longford	3 High Street	Uniting Church, formerly Methodist Church	250135/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.207	Not Applicable	Longford	8 High Street	Cottage	36325/3	Entire Title
NOR-C6.1.208	Not Applicable	Longford	23-47 Hobhouse Street	Longford Showground	121327/1;	Entire Title

NOR-C6.1.209	Not Applicable	Longford	23-47 Hobhouse Street	Longford Showground	121327/2	Entire Title
NOR-C6.1.210	Not Applicable	Longford	23-47 Hobhouse Street	Longford Showground	121327/3	Entire Title
NOR-C6.1.211	Not Applicable	Longford	23-47 Hobhouse Street	Longford Showground	121327/4	Entire Title
NOR-C6.1.212	Not Applicable	Longford	23-47 Hobhouse Street	Longford Showground	131830/1	Entire Title
NOR-C6.1.213	5098	Longford	2 Howick Street	Cottage	222255/5	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.214	5099	Longford	9 Howick Street	Line View	100358/4	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.215	5091	Longford	19B Howick Street	Roman Catholic Presbytery	57046/13	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.216	5100	Longford	24 Howick Street	Cottage	135044/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.217	5101	Longford	1 -13 Latour Street	Noake's Cottages (No1)	156292/1	Specific extent is limited to the part of the title defined

						in the THC central plan register, where available.
NOR-C6.1.218	5102	Longford	1 -13 Latour Street	Noake's Cottage (No 2)	156292/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.219	5103	Longford	1 -13 Latour Street	Noake's Cottage (No 3)	156292/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.220	5104	Longford	1 -13 Latour Street	Noake's Cottage (No 4)	156292/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.221	5105	Longford	1 -13 Latour Street	Noake's Cottage (No 5)	156292/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.222	5106	Longford	1-13 Latour Street	Noake's Cottage No 6)	156292/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.223	Not Applicable	Longford	30 Lewis Street	Primrose Cottage	143539/1	Entire Title

NOR-C6.1.224	5108	Longford	41 Lewis Street	Kelham	251004/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.225	Not Applicable	Longford	44 Lewis Street	Cottage	18067/1	Entire Title
NOR-C6.1.226	5114	Longford	14 Lyttleton Street	Former Lass O'Gowrie Hotel	217289/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.227	5115	Longford	24 Malcombe Street	Cottage	22312/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.228	5116	Longford	49 Malcombe Street	Mohr	8695/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.229	5117	Longford	70 Malcombe Street	Longford Hall	127794/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.230	5118	Longford	1-3 Marlborough Street	Formerly The London Inn, later The Plough Inn, now	52310/1	Specific extent is limited to the part of the title defined in the THC

				commercial retail		central plan register, where available.
NOR-C6.1.231	5120	Longford	6 Marlborough Street	ANZ Bank	252492/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.232	Not Applicable	Longford	7 Marlborough Street	Longford Post Office (former)	212932/1	Entire Title
NOR-C6.1.233	5122	Longford	9 Marlborough Street	Cottages (conjoined Cottages located across title boundaries)	114316/2 & 114316/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.234	5123	Longford	12 Marlborough Street	Blenheim Hotel	114847/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.235	5123	Longford	12 Marlborough Street	Blenheim Hotel	114847/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.236	5124	Longford	24 Marlborough Street	Formerly The Spinning Wheel	69722/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.237	5125	Longford	28 Marlborough Street	Primitive Methodist Manse	126353/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.238	5126	Longford	38 Marlborough Street	Druids Hall	117432/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.239	5127	Longford	39 Marlborough Street	Cottage	152650/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.240	Not Applicable	Longford	48 Marlborough Street	Cottage	24074/1	Entire Title
	5129	Longford	50 Marlborough Street	Cottage	113330/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.241	5130	Longford	52 Marlborough Street	Cottage	147609/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.242	5131	Longford	54 Marlborough Street	Cottage	121735/1	Specific extent is limited to the part of the title defined

						in the THC central plan register, where available.
NOR-C6.1.243	Not Applicable	Longford	56 Marlborough Street	Cottage	53/5257	Entire Title
NOR-C6.1.244	5133	Longford	58 Marlborough Street	Cottage	219810/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.245	Not Applicable	Longford	60 Marlborough Street	House	236551/1	Entire Title
NOR-C6.1.246	5134	Longford	72 Marlborough Street	Sam's Cottage	143741/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.247	5135	Longford	114 Marlborough Street	Racecourse Hotel and Railway Hotel	5002/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.248	5136	Longford	Marlborough Street	Old Wesleyan Methodist Cemetery	209420/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.249	Not Applicable	Longford	13 Mason Street	Cottage	23596/1	Entire Title
NOR-C6.1.250	5139	Longford	2 Pakenham Street	Bellamona	41174/1	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.251	5140	Longford	18 Pakenham Street	House	123604/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.252	5141	Longford	19 Pakenham Street	House	54161/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.253	Not Applicable	Longford	22 Pakenham Street	Sandhurst	138075/1	Entire Title
NOR-C6.1.254	5071	Longford	620 Pateena Road	Saltmarsh's Farm	47043/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.255	5143	Longford	32 Paton Street	Belmont	151859/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.256	5144	Longford	6 Smith Street	Cottage	31488/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.257	5146	Longford	17 Smith Street	The Cedars	40081/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.258	5145	Longford	Over South Esk River 1.2km NE of Longford Old Perth Road	Railway Bridge, Viaduct and Station	235359/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.259	5145	Longford	Over South Esk River 1km NE of Longford	Railway Bridge and Viaduct	Not Applicable	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.260	5148	Longford	26 Tannery Road South	Kingsley	226347/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.261	5149	Longford	38 Tannery Road	Old Brick Tannery	215789/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.262	Not Applicable	Longford	'Mill Dam Reserve' Off Tannery Road	Longford Picnic Ground (Mill Dam Reserve)	202868/1	Entire Title

NOR-C6.1.263	5111	Longford	1 Tasmania Street	Primrose Hill (Primrose Cottage)	151640/5	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.264	5153	Longford	10 Union Street	Affleck's Old Flour Mill (Monds and Afflecks Produce Store)	56239/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.265	5151	Longford	25 Union Street	House	32200/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.266	5175	Longford	Corner Wellington and Marlborough	Longford Jubilee Lamp and Jubilee Fountain (Memorial Drinking Trough)	Not Applicable (Road Type Unknown)	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.267	5113	Longford	97A Wellington Street	Norley	33814/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.268	5152	Longford	9 Wellington Street	Prince of Wales Hotel - Country Club Hotel	155372/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.269	5137	Longford	34B Wellington Street	Former Barn	57677/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.270	5154	Longford	41 Wellington Street	Baptist Church	159522/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.271	5155	Longford	44 Wellington Street	Berridale	249459/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.272	5156	Longford	52 Wellington Street	Old Emerald Mill	59692/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.273	5157	Longford	53 Wellington Street	Victoria Square	32/105	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.274	5156	Longford	54 Wellington Street	Old Emerald Mill	59692/3	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.275	5158	Longford	55 Wellington Street	Former Tattersalls Hotel (Tattersalls Hotel now Longford Library)	222077/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.276	5159	Longford	57 Wellington Street	Commercial Retail (House and Shop)	129075/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.277	5160	Longford	59 Wellington Street	Commercial Retail (House and Shop)	207607/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.278	5161	Longford	61 Wellington Street	Commercial Retail (House and Shop)	160325/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.279	5162	Longford	63 Wellington Street	Commercial Retail (Shop and House)	136374/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.280	5163	Longford	65 Wellington Street	Commercial Retail (House and shop)	160325/2	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.281	5164	Longford	67 Wellington Street	Longford Municipal Hall	141754/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.282	5165	Longford	69 Wellington Street	Queen's Arms Hotel	230956/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.283	5166	Longford	72 Wellington Street	Toll House (Former)	63420/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.284	5167	Longford	73 Wellington Street	Commercial Retail	156536/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.285	5168	Longford	79 Wellington Street	House	60930/3	Specific extent is limited to the part of the title defined in the THC central plan register, where available.

NOR-C6.1.286	5169	Longford	87 Wellington Street	Goodlands (and Outbuildings)	123116/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.287	5170	Longford	88 Wellington Street	Cottage	202427/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.288	5171	Longford	90 Wellington Street	Ivy Cottage	145630/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.289	5172	Longford	103 Wellington Street	Beulah	169920/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.290	5173	Longford	107 Wellington Street	Old Wesleyan Chapel and Sunday School	29020/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.291	5177	Longford	189-191 Wellington Street	Northbury	129525/1	Specific extent is limited to the part of the title defined in the THC central plan register,

						where available.
NOR-C6.1.292	5178	Longford	205 Wellington Street	Curraghmore	200556/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.293	5179	Longford	227 Wellington Street	Pinefield	37711/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.294	5180	Longford	236 Wellington Street	Brickendon Estate (Brickendon and Outbuildings & Brickendon Garden)	27652/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.295	5174	Longford	2a William Street	Christ Church & Cemetery (Christ Church, Old Sunday School and Churchyard)	125412/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.296	5182	Longford	4 William Street	Penghana (includes vacant lot to the north)	64239/7 and 64239/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.297	5184	Longford	6 William Street	House	51671/1	Specific extent is limited to the part of the title defined in the THC

						central plan register, where available.
NOR-C6.1.298	5183	Longford	21 William Street	Old School House & The Working Men's Club Hotel (School House Former)	235845/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.299	5053	Longford District	1629 Bishopsbourne Road	Woodstock, (House and Brick Outbuilding)	135364/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.300	5052	Longford District	311 Brumby Street	Harwick Hill	26208/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
	5063	Longford District	390 Illawarra Road	Mountford (Mountford Homestead, Outbuildings and Drive)	174674/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.301	5061	Longford District	752 Illawarra Road	Esk Farm (Esk Farm Farmhouse)	160595/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.302	5060	Longford District	868 Illawarra Road	Wickford (Wickford House and Outbuildings)	233018/1	Specific extent is limited to the part of the

						title defined in the THC central plan register, where available.
NOR-C6.1.303	5059	Longford District	1130 Illawarra Road	Christ Church and Graveyard	125416/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.304	5057	Longford District	366 Panshanger Road	Panshanger	148994/2	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.305	5066	Longford District	360 Pateena Road	Mount Ireh (Mount Ireh Homestead and Outbuildings)	109561/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.306	5066	Longford District	360 Pateena Road	Mount Ireh (Mount Ireh Homestead and Outbuildings)	233447/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.
NOR-C6.1.307	5067	Longford District	518 Pateena Road	Bowthorpe (Bowthorpe and Garden Setting)	33649/1	Specific extent is limited to the part of the title defined in the THC central plan register, where available.