

PLAN 3

PLANNING APPLICATION PLN-20-0038

42 MARLBOROUGH STREET, LONGFORD

ATTACHMENTS

- A Application & plans, correspondence with applicant
- B Responses from referral agencies
- C Representations

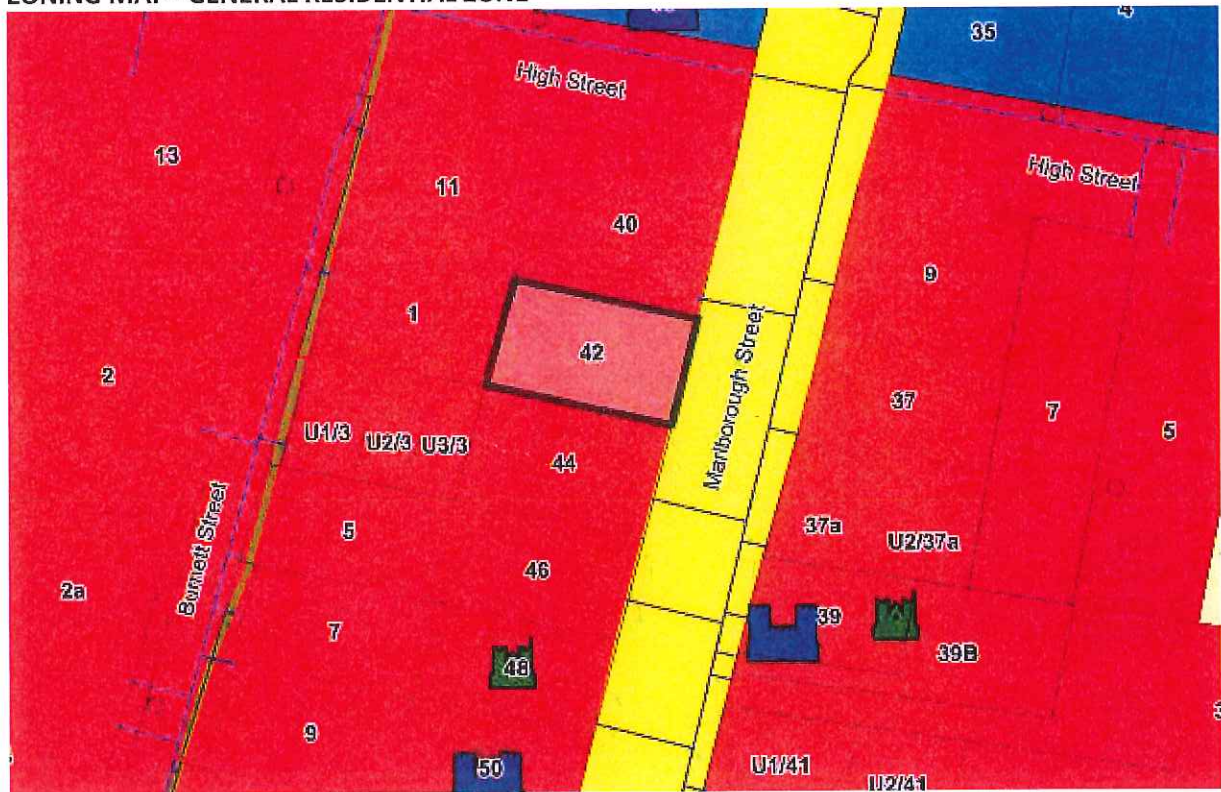
ATTACHMENT A

PLN-20-0038

AERIAL PHOTOGRAPH & SERVICES MAP for 42 MARLBOROUGH STREET, LONGFORD



ZONING MAP - GENERAL RESIDENTIAL ZONE



EXHIBITED

PLANNING APPLICATION Proposal

Description of proposal: dwelling on vacant site

.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 42 Marlborough St.

CT no: 168149/2

Estimated cost of project \$ 500k est. *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes / No
If yes - main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

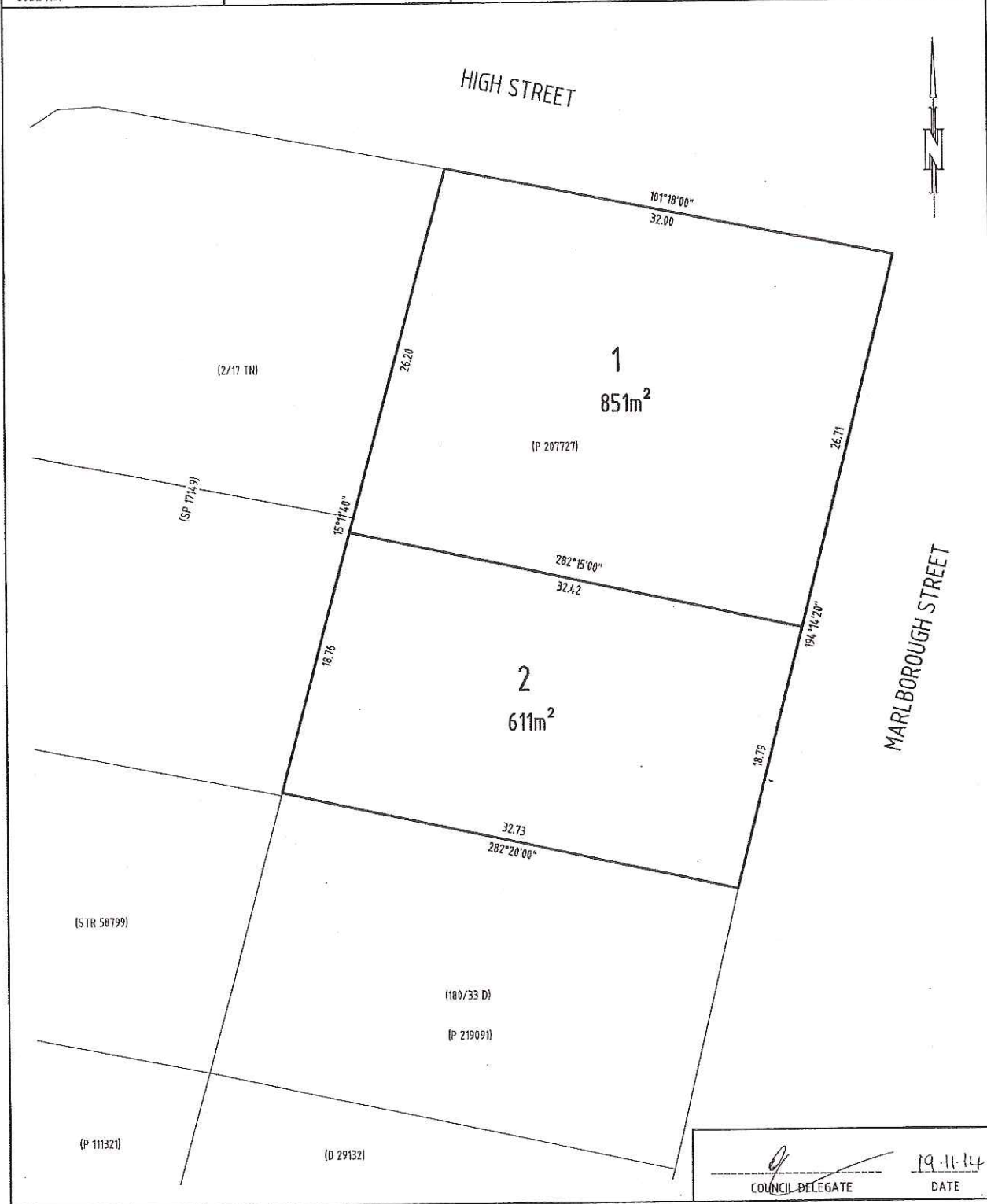
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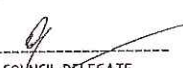
(attach additional sheets if necessary)

Is any signage required? no
(if yes, provide details)

EXHIBITED

OWNER : DAVID JOHN TRAPNELL TRUDY TRAPNELL FOLIO REFERENCE : C.T. 207727/1 GRANTEE : PART OF LOT 1 Sec. 5 Gfd. TO CHARLES REID	PLAN OF SURVEY BY SURVEYOR MARTIN RALPH HEATLEY of PDA SURVEYORS 3/23 BRISBANE STREET, LAUNCESTON LOCATION TOWN OF LONGFORD		REGISTERED NUMBER SP168149
	SCALE: 1:250	LENGTHS IN METRES	SURVEYORS REF: 110/14 APPROVED EFFECTIVE FROM 26 NOV 2014 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No.	LAST UPI No	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN




 19.11.14
 COUNCIL DELEGATE DATE

EXHIBITED

1-296

COLOUR SCHEDULE – 42 MARLBOROUGH STREET, LONGFORD

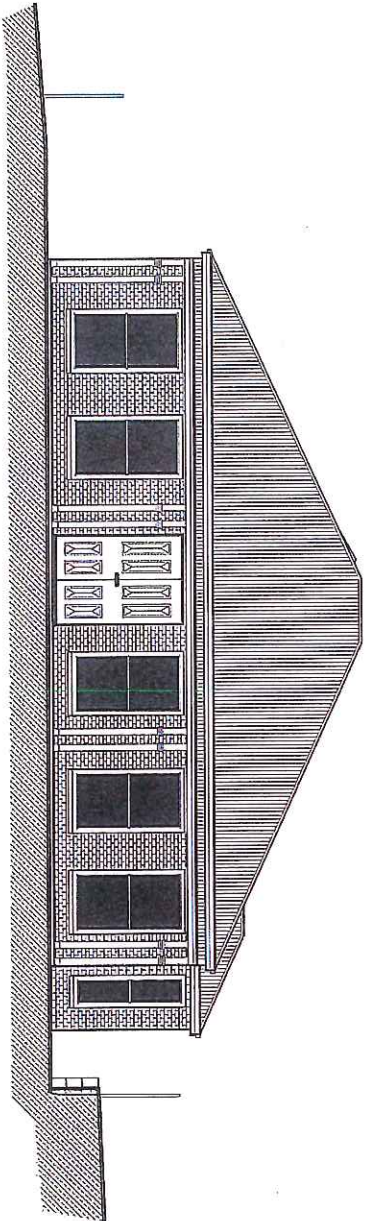
Walls - off white

Window frames, door frames and fascia - contrasting white and grey tones

Roof - grey

EXHIBITED

proposed dwelling
 lot: 2, no: 42.
 marlborough street
 longford



job no. 6591

sheet no.	of	of	cover sheet
01	of	07	cover sheet
02	of	07	survey plan extract
03	of	07	site plan
04	of	07	floor plan
05	of	07	elevations
06	of	07	elevations
07	of	07	window schedule

attachments certificate of title - SP 168149 / 2

property ID	3341337
municipality	zone - General Residential
corrosion environment	moderate (to BCA)
BAL rating	BAL n/a
climate zone	7 (to BCA)

areas	land size	611m2
floor area - dwelling	292.28m2	
floor area - porches / decks	51.68m2	
site cover	56.29 % (approx)	
pervious surface	26.75%	

planning issue



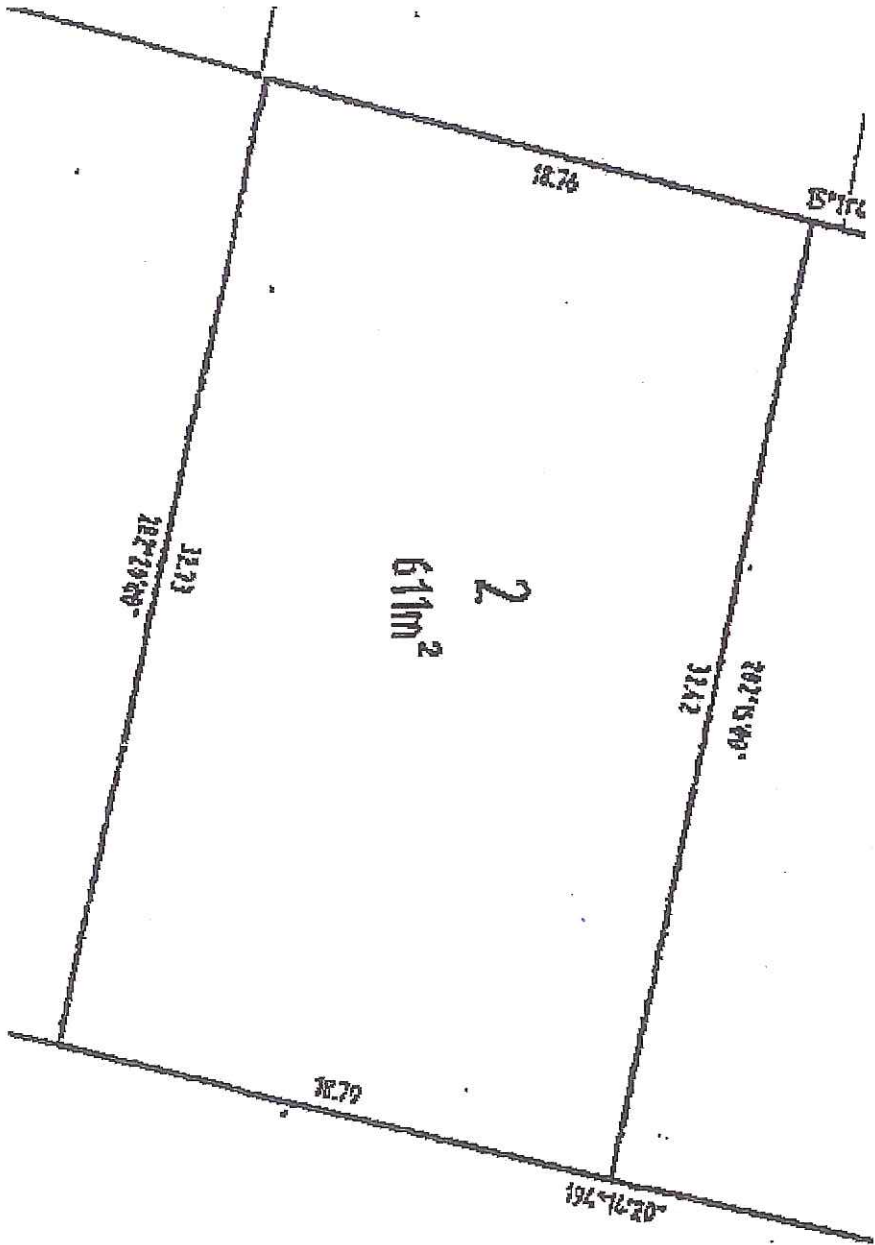
HIA member



Lancaster Office Phone (08) 93 344 089
 PO BOX 7647 Lancaster 7250
 Email edim@urbansolutions.com.au

Jason Van Zeeon Architect
 WWW.URBANSOLUTIONS.COM.AU

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SURVEY EXTRACT
 THE SURVEY EXTRACT ON THIS SHEET IS AS RECEIVED AT THE TIME OF THIS PLAN.
 IT IS THE RESPONSIBILITY OF THE OWNER & BUILDER TO CLARIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS ON SITE.
 IF ANY DOUBT - CONTACT A SUITABLY QUALIFIED LAND SURVEYOR.
 ALL SPOT DIMENSIONS ARE TO BOUNDARIES ONLY.
 DO NOT SEQUIT FROM FENCES, DRIVEWAYS, ROADWAYS ETC.

survey extract

THESE DRAWINGS
 REPRESENT A
 PRELIMINARY
 DESIGN ONLY
 AND ARE NOT TO BE
 USED FOR ANY
 CONSTRUCTION
 WITHOUT THE
 WRITTEN
 APPROVAL OF
 THE ARCHITECT

1	2	3	4	5	6	7	8	9	10
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proposed dwelling
 lot: 2, no: 42,
 marlborough street
 longford

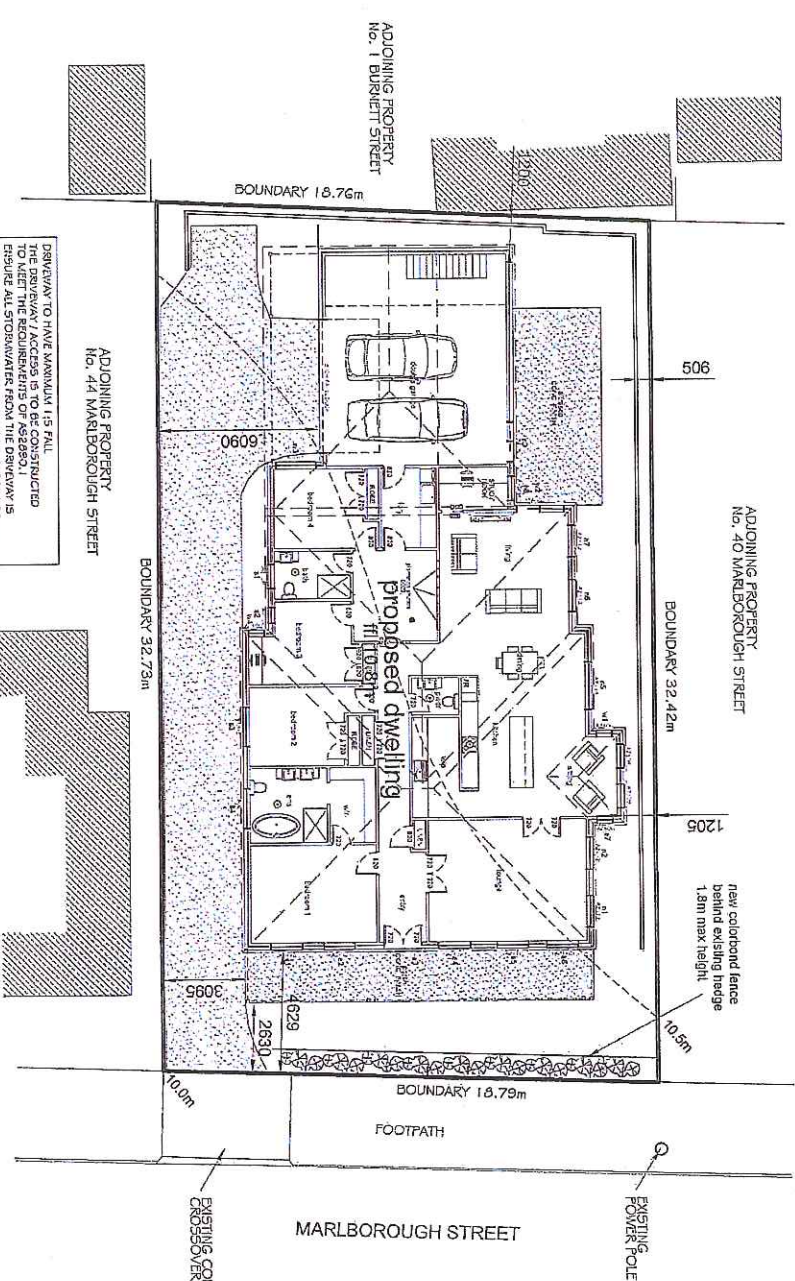
dwg no.	6531	of	07
sheet	02	of	
date	November 2019	print date	13 FEB 2020
scale	1:1 @ A3	drawn	JVZ
bel	nl3		

URBAN DESIGN SOLUTIONS
 Launceston Office Phone (03) 93 314 089
 PO BOX 7017 Launceston 7260
 Email: admin@urbanlas.com.au
 Jean Van Zelm, Architect
 www.urbanlas.com.au

NOTES
 ALL SITE DIMENSIONS ARE TO OUTSIDE
 CLADDING UNLESS OTHERWISE NOTED
 CONSIDER ALL DIMENSIONS ON SITE
 FROM TO CORNER/ENDPOINT OF WORKS
 WITH THE BOX
 BLINDS FINISHED FLOOR LEVEL IS MAX
 150mm ABOVE FINISHED GROUND LEVEL
 FINISH FINISHED FLOOR LEVEL ON A
 CONCRETE SLAB IS TO BE FINISHED TO
 THE CGSL IS 150mm BELOW THE LOWEST
 FLASHING FINISH AND ABOVE THE
 GROUND

THE BUILDING IS TO PROVIDE PROTECTION
 TO ADJOINING PROPERTIES AND
 BUILDINGS IN ACCORDANCE WITH
 THE BUILDING REGULATIONS
 NOTE: ALL NEIGHBOURING BUILDING LOCATIONS ARE
 APPROX ONLY. IF FURTHER INFORMATION IS REQUIRED
 CONSULT A LAND SURVEYOR
 THE LEVEL INFORMATION PROVIDED ON THESE PLANS IS LIMITED ONLY
 AND ONLY TO BE USED FOR THE PURPOSE INTENDED
 IF FURTHER INFORMATION IS REQUIRED CONSULT SURVEYOR
 OUTDOOR LIGHTS, DRIVING AREA
 TO BE LOCATED ADJACENT AND
 ACCESSIBLE FROM LANDLORD
 ALL OTHER MATTERS NOT
 SPECIFICALLY MENTIONED
 ARE TO COMPLY WITH THE BCA
 - IF IN DOUBT ASK

CONCRETE OR PAVED PARTY DRIVEWAY
 TO ALL ACCESS DOORS TO PREVENT
 ALL DRIVEWAYS, PATIOS & PATHS ARE TO
 BE CONSTRUCTED TO DELECT SAW ALWAY
 FROM FINISH @ 1500mm FROM EDGE
 AND FINISH 150mm FROM FINISH OR 150mm
 DO NOT SCALE. IF IN DOUBT ASK



DRIVEWAY TO HAVE A MINIMUM 1.5m FALL
 TO THE STREET. ALL DRIVEWAYS ARE TO BE CONSTRUCTED
 TO MEET THE REQUIREMENTS OF AS2885.1
 TO ENSURE ALL STORMWATER FROM THE DRIVEWAY IS
 DIRECTED TO EITHER THE STORMWATER SYSTEM OR
 ADJACENT GARDEN BEDS (NOT NEIGHBOURING PROPERTY)
 AND PROJECT. PRIOR TO COMMENCEMENT OF WORKS

site setback
 the setback dimensions shown on these drawings are from the building to boundary
 IF ANY DOUBT consult a land surveyor

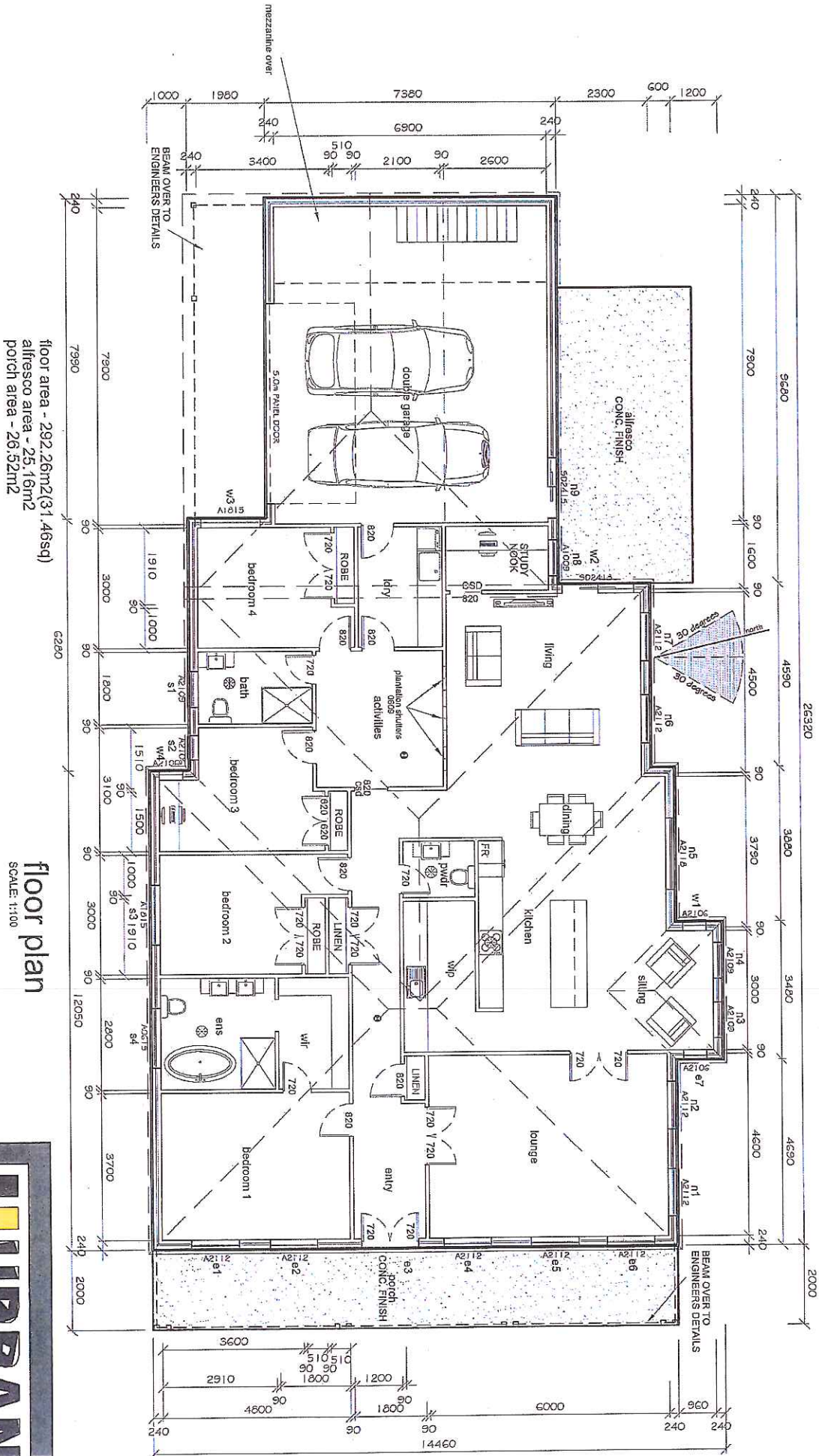
CONTIGUOUS ARE INDICATING ONLY, GENERATED FROM LEVELS SPECIFICALLY TAKEN FOR THE PROPOSED BUILDING IN ITS PROPOSED LOCATION.
 THE CONTOURS DO NOT ALLOW FOR LOCAL UNDULATIONS, IF FOR ANY REASON THE EXISTING POS. DO NOT SUIT THE LEVEL INFORMATION SHOWN,
 THE PRODUCT MANAGER IS TO NOTIFY THE DESIGNER AND BUILDING SURVEYOR AT THE TIME THE IS DETERMINED.

THE LOCATIONS OF SERVICES INDICATED ON THIS DRAWING ARE
 INDICATIVE ONLY AND ALL SERVICE LOCATIONS SHOULD BE
 CONFIRMED PRIOR TO SITE LOCATION OF EXISTING IN-GROUND SERVICES ON-SITE.
 CONSULT A DIAL BEFORE YOU DIG FROM TO CORNER/ENDPOINT ON-SITE.

site plan
 SCALE: 1:200

<p>OWNER'S DRAWINGS CONCEPTUAL LAYOUT AND DIMENSIONS, CALLED FOR MATTER APPROVED TO BE PRESENTED TO THE PERMISSIBLE UNDER STRICT CONDITIONS (AS PER VBA 811 01)</p>	<p>1 2 3 4</p>	<p>proposed dwelling lot: 2, no. 42. mabelborough street longford</p>	<p>dwg no. 6581 sheet 03 of 1 date: November 2019 scale 1:200 @ A3 bail n/a</p>	<p>07 print date FEB 20 2020 draw: VZ</p>
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UNBANK DESIGN SOLUTIONS
 Jason Van Zeebe 0411152
 Launchcon Office Phone (03) 93 344 039
 PO BOX 7647 Lancastion 7250
 Email admin@unbank.com.au
 www.unbank.com.au



floor area - 292.26m²(31.46sq)
 alfresco area - 25.16m²
 porch area - 26.52m²

floor plan
 SCALE: 1:100

Q THESE DIMENSIONS ARE PROJECTED AND ARE NOT TO BE CONSIDERED AS FINAL. CHECK ALL DIMENSIONS AND FINISHES IN THE FIELD BEFORE COMMENCING WORK WITHOUT VARIATION. UNLESS OTHERWISE STATED, DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.

DATE	DESCRIPTION

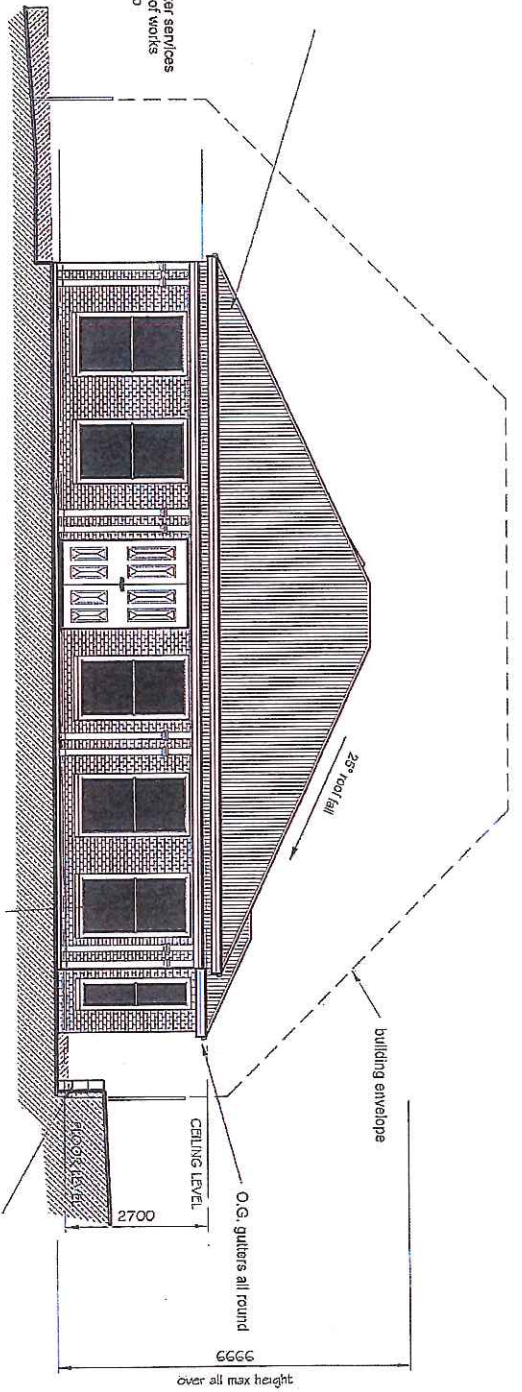
proposed dwelling
 lot 2, no. 42,
 marborough street
 longford

dwg no.	6591	07
sheet	04	of
date	November 2019	print date
scale	1:100 @ A3	
bat	n/a	drawn: MJZ

URBAN DESIGN SOLUTIONS
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 Launchon New Zealand Tel: 03 552 8552
 www.urbanlas.com.au

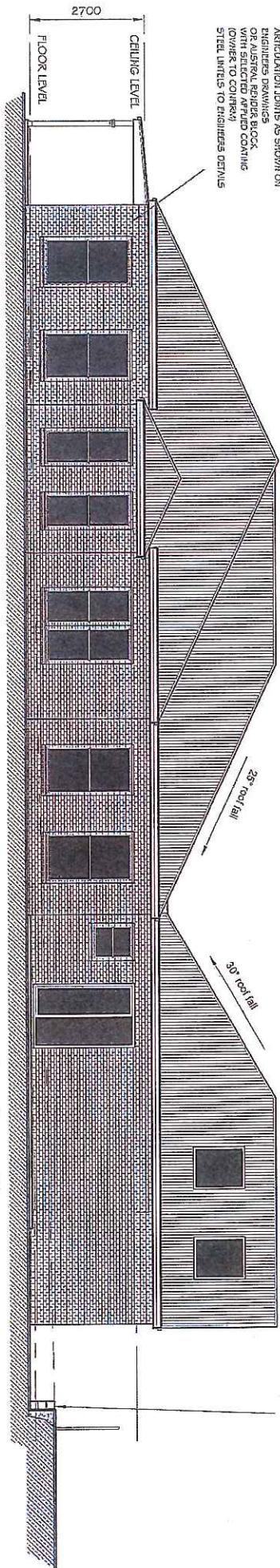
Colorbond 'corrugated' (rinn sideg) roof

future roof pads such as solar panels, hot water services etc to be determined prior to commencement of works
trusses / Joist frame supplier to be notified prior to construction of trusses



east elevation
SCALE: 1:100

AOB
SELECTED AUSTRALIAN MADE CLAY-TILE BRICKS
RANKED JOISTS, STRUTTERS EOOD
ARTICULATION JOINTS AS SHOWN ON
ELEVATION
BRICKS TO BE SUPPLIED IN
WITH SELECTED AFFRIND COATING
LOWERS TO CONCRETE/
STEEL LIMITS TO ENGINEERS DETAILS



north elevation
SCALE: 1:100

NGL ——— NATURAL GROUND LEVEL
FGL ——— FINISHED GROUND LEVEL
elevations
SCALE: 1:100

<p>CLIENT REQUIREMENTS SEE FINANCIAL STATEMENT FOR FULL DETAILS CONCRETE FOUNDATION CONCRETE SLAB ON GRADE CONCRETE WALLS CONCRETE ROOFING CONCRETE FLOORING CONCRETE INTERIORS CONCRETE EXTERIORS CONCRETE PAINTS CONCRETE FINISHES CONCRETE WALLS CONCRETE ROOFING CONCRETE FLOORING CONCRETE INTERIORS CONCRETE EXTERIORS CONCRETE PAINTS CONCRETE FINISHES</p>		<p>proposed dwelling lot: 2, no: 42, marborough street longford</p>
dwg no	6591	07
sheet	05 of	07
date	November 2019	
scale	1:100 @ A3	
bal	n/a	
drawn	JVZ	

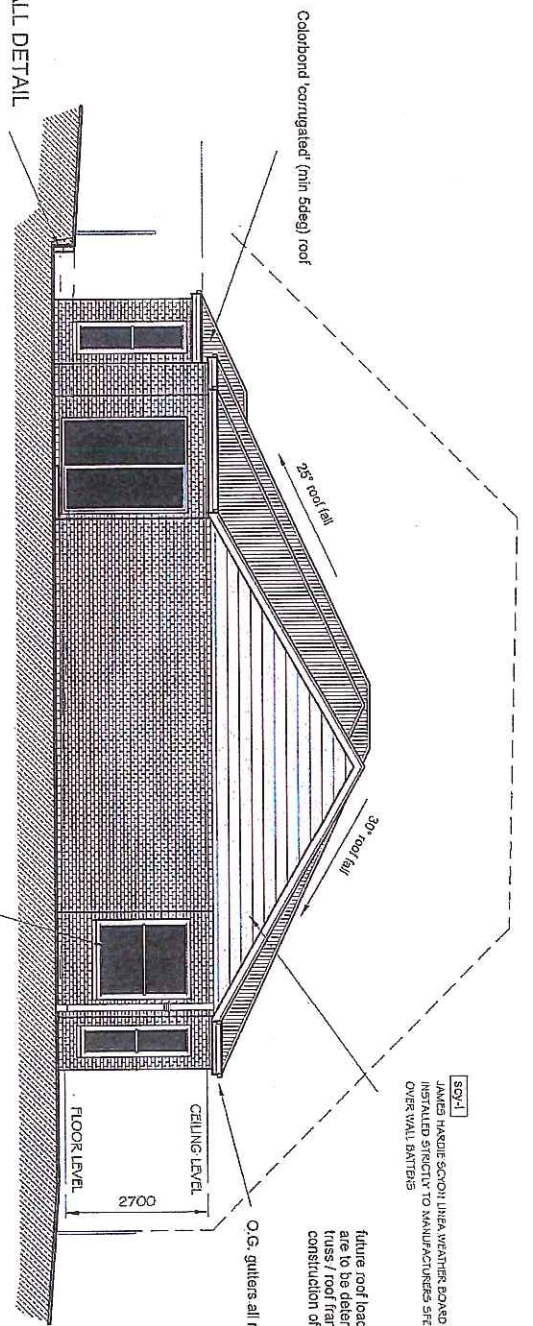
URBAN DESIGN SOLUTIONS

Jason Yin Zhiu Architects
www.urbansolutions.com.au

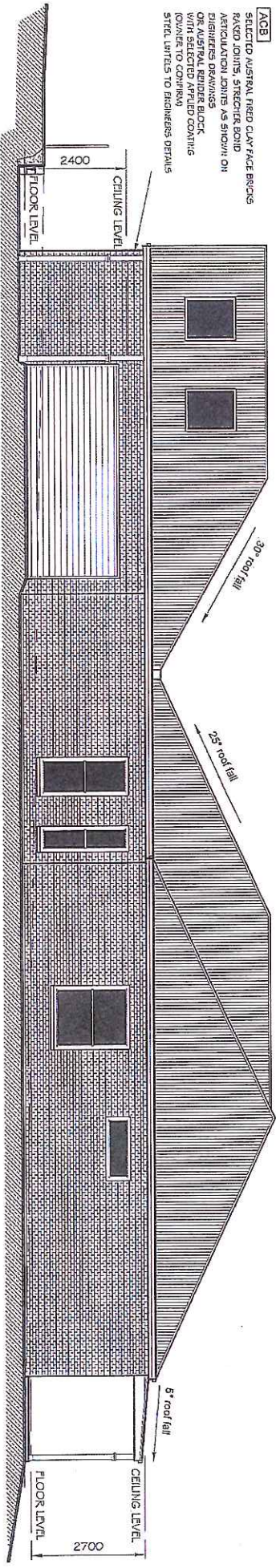
Lampoon Office Phone (03) 63 344 089
PO BOX 7647, Lampoon, 7260
Email: admin@urbansolutions.com.au

STACKER BLOCK WALL DETAIL
 WAREHOUSE BUILDING & PLANNING PERMIT MAYBE NEED WIRELESS WALLS
 ENDOURCH PLANNING SETBACKS.
 ISLAND BLOCK & PAVER NORFOLK
 REPAIRING WALL SYSTEM TO 100MM,
 INSTALL TO MANUFACTURERS SPECS.
 1:4 MAX BACK SLOPE

[ACB]
 SELECTED AUSTRAL FRED CLAY FACE BRICKS
 RAKED JOINTS, STRECHER BOND
 ARTICULATION JOINTS AS SHOWN ON
 DESIGNERS DRAWINGS
 OR AUSTRAL RENDER BLOCK
 WITH SELECTED ARTIFED COATING
 (OWNER TO CHOOSE)
 STEEL LIMITED TO DESIGNERS DETAILS



west elevation
 SCALE: 1:100



south elevation
 SCALE: 1:100

NGL ——— NATURAL GROUND LEVEL
 FGL ——— FINISHED GROUND LEVEL
elevations
 SCALE: 1:100

[OTHER DRAWINGS]
 FOUNDATION AND
 AS PER TO BE COORD
 FOR ALL ADVERTISING
 PURPOSES EXCLUDING
 WITHOUT LIMITS
 DRAWINGS OF SOLUTIONS
 JACOBI VAN ZELTER

proposed dwelling
 lot: 2, no: 42,
 marlborough street
 longford

dwg no.	6591	of	07
sheet	06	of	
date	November 2019	print date	
scale	1:100 @ A3		
bal	n/a		

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 Launceston Office Phone (03) 63344 039
 P.O. BOX 7647 Launceston 7250
 Email admin@urbanads.com.au
 www.urbandesign.com.au

Our ref: 109301.235; PLN-20-0038
Enquiries: Erin Boer



**NORTHERN
MIDLANDS
COUNCIL**

20/02/2020

Urban Design Solutions
P.O. Box 7647
LAUNCESTON 7250
via email: admin@urbantas.com.au

Dear Lisa & Jason

Additional Information Required for Planning Application PLN-20-0038- Dwelling, retaining wall and fence (vary front, rear & side setbacks, site coverage, fence height & solid/void window ratio; within heritage precinct) at 42 Marlborough Street, Longford

I refer to the abovementioned application, which has been reviewed by Council's Planners. The following information is required to allow consideration of your application under the *Northern Midlands Interim Planning Scheme 2013*:

- Impervious surface area
- Colour schedule for walls (brickwork), roof/gutters, windows & door frames and fascia & barge boards.

Therefore, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been supplied to the satisfaction of the Planning Authority. It is a requirement of the Planning Authority that all correspondence, if emailed, is sent to planning@nmc.tas.gov.au and referenced with the planning application number PLN-20-0038. If you have any queries, please contact Council's Planning Section on 6397 7301, or e-mail planning@nmc.tas.gov.au

Yours sincerely



Erin Boer
URBAN AND REGIONAL PLANNER

NORTHERN MIDLANDS COUNCIL

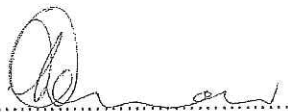
REPORT FROM: HERITAGE ADVISER, DAVID DENMAN
DATE: 25 February 2020
REF NO: PLN-20-0038; 109301.235
SITE: 42 Marlborough Street, Longford
PROPOSAL: Dwelling, retaining wall and fence (vary front, rear & side setbacks, site coverage, fence height & solid/void window ratio; within heritage precinct)
APPLICANT: Urban Design Solutions
REASON FOR REFERRAL: HERITAGE PRECINCT
Local Historic Heritage Code
Heritage Precincts Specific Area Plan

Do you have any objections to the proposal: **No (subject to recommendations being adopted.)**

Do you have any other comments on this application?

The proposed house will have an acceptable impact within the streetscape.
It is recommended that the garage roof be modified as per the attached drawings to help reduce the bulk and scale of the roof form and provide a more cohesive design.

Email referral as word document to David Denman – david@denman.studio
Attach public exhibition documents
Subject line: Heritage referral PLN-20-0038 - 42 Marlborough Street, Longford



David Denman (Heritage Adviser)

Date: 3/3/2020

Assessment against E13.0 (Local Historic Heritage Code)
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E13.1 Purpose

E13.1.1 The purpose of this provision is to:

- a) protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and
- b) encourage and facilitate the continued use of these items for beneficial purposes; and
- c) discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and
- d) ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and
- e) conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place

E13.2 Application of the Code

E13.2.1 This code applies to use or development of land that is:

- a) within a Heritage Precinct;
- b) a local heritage place;
- c) a place of identified archaeological significance.

E13.3 Use or Development Exempt from this Code

E13.3.1 The following use or development is exempt from this code:

- a) works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunication cables and gas lines to individual buildings;
- c) internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;
- d) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- e) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- f) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- g) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

Comment:

The subject site is within a Heritage Precinct.

The subject place is heritage listed.

E13.5 USE STANDARDS**E13.5.1 Alternative Use of heritage buildings**

<i>Objective: To ensure that the use of heritage buildings provides for their conservation.</i>	
Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	<p>P1 Notwithstanding Clause 8.9, a permit may be granted for any use of a locally listed heritage place where:</p> <p>a) it can be demonstrated that the proposed use will not adversely impact on the significance of a heritage place; and</p> <p>b) the amenity impacts of both the proposed use on the surrounding areas and from the surrounding area on the proposed use are considered acceptable; and</p> <p>c) a report by heritage professional states that it is necessary for conservation purposes or the continued maintenance of the building or where there is an overriding public benefit.</p>

Comment: N/a

E13.6 DEVELOPMENT STANDARDS

E13.6.1 Demolition

<i>Objective: To ensure that the demolition or removal of buildings and structures does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 Removal of non-original cladding to expose original cladding.	<p>P1.1 Existing buildings, parts of buildings and structures must be retained except:</p> <p>a) where the physical condition of place makes restoration inconsistent with maintaining the cultural significance of a place in the long term; or</p> <p>b) the demolition is necessary to secure the long-term future of a building or structure through renovation, reconstruction or rebuilding; or</p> <p>c) there are overriding environmental, economic considerations in terms of the building or practical considerations for its removal, either wholly or in part; or</p> <p>d) the building is identified as non-contributory within a precinct identified in Table E13.1: Heritage Precincts, if any; and</p> <p>P1.2 Demolition must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: N/a

E13.6.2 Subdivision and development density

<i>Objective: To ensure that subdivision and development density does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 No acceptable	P1 Subdivision must:

<p><i>solution.</i></p>	<p>a) <i>be consistent with and reflect the historic development pattern of the precinct or area; and</i></p> <p>b) <i>not facilitate buildings or a building pattern unsympathetic to the character or layout of buildings and lots in the area; and</i></p> <p>c) <i>not result in the separation of building or structures from their original context where this leads to a loss of historic heritage significance; and</i></p> <p>d) <i>not require the removal of vegetation, significant trees or garden settings where this is assessed as detrimental to conserving the historic heritage significance of a place or heritage precinct; and</i></p> <p>e) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i></p>
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Comment: N/a

E13.6.3 Site Cover

<p><i>Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.</i></p>	
Acceptable Solutions	Performance Criteria
<p>A1 <i>Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.</i></p>	<p>P1 <i>The site coverage must:</i></p> <p>a) <i>be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and</i></p> <p>b) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i></p>

Comment: The layout and floor area of the house has been modified from the first proposed. This has resulted in a scale and street façade that has a more acceptable impact within the streetscape. However, the overall site cover of the building footprint is still larger than that of the adjacent buildings. The visual impact of this has been mitigated to some extent by dividing the roofs over the garage and main house. This impact would be further reduced if the gable end roof on the garage was changed to a hip.

E13.6.4 Height and Bulk of Buildings

<p><i>Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i></p>	
Acceptable Solutions	Performance Criteria
<p>A1 <i>New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct</i></p>	<p>P1.1 <i>The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and</i></p> <p>P1.2 <i>Extensions proposed to the front or sides of an</i></p>

<p>identified in Table E13.1: Heritage Precincts, if any.</p>	<p>existing building must not detract from the historic heritage significance of the building; and P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>
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Comment: The height and form of the garage gable roof end on the west rear boundary is out of character with the rest of the house. A sketch drawing showing recommended amendments to this section of the house is attached for consideration. The amendment involves increasing the external wall height of the garage to 3.3M. with an associated hipped roof form. This should provide enough space within the roof profile to meet the functional requirements of the owner without the adverse impact of the high gable roof section.

E13.6.5 Fences

<p><i>Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i></p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1 New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 New fences must: a) be designed to be complementary to the architectural style of the dominant buildings on the site or b) be consistent with the dominant fencing style in the heritage precinct; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: The proposed colorbond front fence is to be located behind the existing hedge and will therefore be screened from the street.

E13.6.6 Roof Form and Materials

<p><i>Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i></p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1 Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 Roof form and materials for new buildings and structures must: a) be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria. Except for western garage end gable section.

E13.6.7 Wall materials

<i>Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 <i>Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>Wall material for new buildings and structures must:</i> a) <i>be complementary to wall materials of the dominant buildings on the site or in the precinct; and</i> b) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: It is recommended that the brick joints be struck flush and not raked as noted on the drawings.

E13.6.8 Siting of Buildings and Structures

<i>Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 <i>New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.</i>	P1 <i>The front setback for new buildings or structure must:</i> a) <i>be consistent with the setback of surrounding buildings; and</i> b) <i>be set at a distance that does not detract from the historic heritage significance of the place; and</i> c) <i>not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i>

Comment: Satisfies the performance criteria.

E13.6.9 Outbuildings and Structures

<i>Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 <i>Outbuildings and structures must be:</i> a) <i>set back an equal or greater distance from the principal frontage than the principal buildings on the site; and</i> b) <i>in accordance with the acceptable</i>	P1 <i>New outbuildings and structures must be designed and located;</i> a) <i>to be subservient to the primary buildings on the site; and</i> b) <i>to not detract from meeting the</i>

development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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Comment: N/a

E13.6.10 Access Strips and Parking

<i>Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 Car parking areas for non-residential purposes must be: a) located behind the primary buildings on the site; or b) in accordance with the acceptable development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.	P1 Car parking areas for non-residential purposes must not: a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the setting of a building or its historic heritage significance; and b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

E13.6.11 Places of Archaeological Significance

<i>Objective: To ensure that places identified in Table E13.3 as having archaeological significance are appropriately managed.</i>	
Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	P1 For works impacting on places listed in Table E13.3: a) it must be demonstrated that all identified archaeological remains will be identified, recorded and conserved; and b) details of survey, sampling and recording techniques technique be provided; and c) that places of identified historic heritage significance will not be destroyed unless there is no prudent and feasible alternative.

Comment: N/a

E13.6.12 Tree and Vegetation Removal

<i>Objective: To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria

<p>A1 No acceptable solution.</p>	<p>P1 The removal of vegetation must not:</p> <ul style="list-style-type: none"> a) unreasonably impact on the historic cultural significance of the place; and b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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Comment: Satisfies the performance criteria. The front hawthorn hedge must be retained.

E13.6.13 Signage

<p><i>Objective: To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.</i></p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1 Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the property not greater than 0.2m².</p>	<p>P1 New signs must be of a size and location to ensure that:</p> <ul style="list-style-type: none"> a) period details, windows, doors and other architectural details are not covered or removed; and b) heritage fabric is not removed or destroyed through attaching signage; and c) the signage does not detract from the setting of a heritage place or does not unreasonably impact on the view of the place from public viewpoints; and d) signage does not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

E13.6.14 Maintenance and Repair

<p><i>Objective</i> To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the <u>historic cultural heritage significance</u> of local heritage places and precincts.</p>
<p>Acceptable Solution New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.</p>

Comment: N/a

Table E13.1: Local Heritage Precincts

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

<p>Existing Character Statement - Description and Significance</p>
<p>EVANDALE HERITAGE PRECINCT CHARACTER STATEMENT The Evandale Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, with its rich and significant built fabric and village atmosphere. Its historic charm, tree lined streets and quiet rural setting all contribute to its unique character. Its traditional buildings are an impressive mix of nineteenth and early twentieth century architectural styles</p>

while its prominent elements are its significant trees, the Water Tower and the Church spires. The original street pattern is an important setting for the Precinct, with views along traditional streetscapes, creating an historic village atmosphere that is still largely intact. Period residential buildings, significant trees, picket fences, hedgerows and cottage gardens are all complementary, contributing to the ambience of a nineteenth century village. The main roads into and out of Evandale create elevated views to the surrounding countryside which give context to the town and the Precinct, and contribute to its character. The quiet village feel of the town is complemented by a mix of businesses meeting local needs, tourism and historic interpretation. Evandale's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.

ROSS HERITAGE PRECINCT CHARACTER STATEMENT

The Ross Heritage Precinct is unique because it is the intact core of a nineteenth century townscape, with its rich and significant built fabric and the village atmosphere. Its historic charm, wide tree lined streets and quiet rural environment all contribute to its unique character. Its traditional buildings comprise simple colonial forms that are predominantly one storey, while the prominent elements are its significant trees and Church spires. Most commercial activities are located in Church Street as the main axis of the village, which directs attention to the War Memorial and the Uniting Church on the hill. The existing and original street pattern creates linear views out to the surrounding countryside. The quiet rural feel of the township is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Ross' heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.

PERTH HERITAGE PRECINCT CHARACTER STATEMENT

The Perth Heritage Precinct is unique because it is still the core of a small nineteenth century riverside town, built around the thoroughfare from the first bridge to cross the South Esk River, and which retains its historic atmosphere. It combines significant colonial buildings, compact early river's edge residential development, and retains the small-scale commercial centre which developed in the nineteenth century at the historic crossroads and river crossing for travel and commerce between Hobart, Launceston and the North West. Perth's unique rural setting is complemented by its mix of businesses still serving local and visitor's needs. Perth's heritage ambience is acknowledged by many of those who live in or visit the town, and will be enhanced by the eventual construction of the Midland Highway bypass.

LONGFORD HERITAGE PRECINCT CHARACTER STATEMENT

The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland, creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by

many of those who live in or visit the town.

CAMPBELL TOWN HERITAGE PRECINCT CHARACTER STATEMENT

The Campbell Town Heritage Precinct is unique because it is the core of a substantially intact nineteenth century townscape, with its significant built fabric, and its atmosphere of a traditional resting place on the main road between the north and south. Its wide main street, historic buildings and resting places for travellers all contribute to its unique character. High Street has remained as the main commercial focus for the town, continuing to serve the needs of residents, visitors and the agricultural community. The War Memorial to the north marks the approach to the business area which terminates at the historic bridge over the Elizabeth River; a significant landscape feature. Traditional buildings in the Precinct include impressive examples of colonial architecture. The historic Valentine's Park is the original foreground for 'The Grange' and provides a public outdoor resting place for visitors and locals at the heart of the town. Campbell Town's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.

Management Objectives

To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.

To ensure developments within street reservations in the towns and villages having Heritage Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.

Comment: The proposal is consistent with the Heritage Precinct Character Statement and satisfies the Management Objectives. Subject to previous comments and recommendations.

Assessment against F2.0 (Heritage Precincts Specific Area Plan)
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F2.1 Purpose of Specific Area Plan

F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a **positive contribution to the streetscape** within the Heritage Precincts.

F2.2 Application of Specific Area Plan

F2.2.1 This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.

F2.2.2 The following development is exempt from this Specific Area Plan:

- a) works required to comply with an Emergency Order issued under section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunications cables, and water, sewerage, drainage connections and gas lines to individual buildings;
- c) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- d) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- e) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead wood, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- f) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

F2.3 Definitions**F2.3.1 Streetscape**

For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

F2.3.2 Heritage-Listed Building

For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

F2.4 Requirements for Design Statement

F2.4.1 In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.

F2.4.2 The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.

F2.4.3 *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

Comment: Although the subject site is within the Heritage Precincts Specific Area Plan, the proposal will have an acceptable impact on the streetscape.

Rosemary Jones

From: Hills, Garry <Garry.Hills@stategrowth.tas.gov.au>
Sent: Wednesday, 4 March 2020 2:03 PM
To: NMC Planning
Subject: RE: Referral to Department of State Growth of Planning Application PLN-20-0038 - 42 Marlborough Street, Longford TAS 7301

Our Ref: D20/46597

Hello Rosemary – no comment to make regarding this one.

Cheers, Garry

From: NMC Planning [mailto:planning@nmc.tas.gov.au]
Sent: Tuesday, 25 February 2020 11:56 AM
To: Development <Development@stategrowth.tas.gov.au>
Subject: Referral to Department of State Growth of Planning Application PLN-20-0038 - 42 Marlborough Street, Longford TAS 7301

25/02/2020

Department of State Growth

via email to: Development@stategrowth.tas.gov.au

Referral to Department of State Growth of Planning Application PLN-20-0038 - 42 Marlborough Street, Longford TAS 7301

The following planning application has been received under the *Northern Midlands Interim Planning Scheme 2013*.

NMC ref no:	PLN-20-0038
Site:	42 Marlborough Street, Longford TAS 7301
Proposal:	Dwelling, retaining wall and fence (vary front, rear & side setbacks, site coverage, fence height & solid/void window ratio; within heritage precinct)
Applicant:	Urban Design Solutions
Use class:	Residential Single Dwelling
Zone:	GENERAL RESIDENTIAL ZONE Heritage Precinct
Development status:	Discretionary
Notes:	The subject site is in a 50kph zone. No changes to access proposed.

Attached is a copy of the application, plans/documentation relating to the proposal. It would be appreciated if you could return any comments, or notification that you do not wish to comment on the application, within fourteen (14) days of the date of this letter. If you have any queries, please telephone Council's Development Services Department on 6397 7301 or e-mail planning@nmc.tas.gov.au

Attachments: Application & supporting documentation as pdf

Rosemary Jones



Administration Officer - Community & Development | Northern Midlands Council

Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301

T: (03) 6397 7303 | F: (03) 6397 7331

E: rosemary.jones@nmc.tas.gov.au | W: www.northernmidlands.tas.gov.au

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Tasmania's Historic Heart

Officers are available for phone enquiries and face to face appointments to discuss building and planning matters at the following times:

To: General Manager
 Northern Midlands Council
 13 Smith Street Longford
 (PO Box 156 Longford 7301)

NORTHERN MIDLANDS COUNCIL					
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CSM			MYR		
WM			EA		
HR					
HLT					

Representations

From the Owners of 40 Marlborough St Longford with respect to:
 Application to use/develop land at 42 Marlborough St Longford
Ref: PLN-20-0038

Julie and Gary Swinton
 40 Marlborough St Longford
 Email:
 Tel: ,

Submissions to Council in respect of Application to Use and/or develop land

Reference: PLN-20-0038

Site: 42 Marlborough Street, Longford

These submissions are made by the owners of 40 Marlborough Street Longford.

In general:

This is the second Application to develop the site at 42 Marlborough Street, Longford, following on from Plan PLN-19-0131. Whilst the two plans differ in some respects, the impact of the proposal upon 40 Marlborough Street is similar. We therefore reiterate the representations we made previously, viz:

The planned development is not in keeping with the historic and heritage tradition of Marlborough Street Longford; and is not sympathetic to the nature, siting and size of neighbouring properties. The development is in the Heritage Precinct.

1. The Proposal is not in keeping with the desired historic and heritage streetscape for which the town is known.
2. The Proposal is not in keeping with the style or size of housing in the near vicinity.
3. The house will overbear the adjoining properties dominating their airspace and allowing no landscape view beyond it.

The Plan breaches Planning Directive 4.1 Standards, 10.4.2 and P3 (reference **Attachment A**) in that the "siting and scale of the dwelling" does cause:

(a) "unreasonable loss of amenity by:

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and"

does not provide

(b) "separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area".

1. The streetscape:

- a) The Proposed Plan is for a modern brick home, occupying a large proportion of the block both in depth to the rear of the block and width, in keeping with a new development area. It is not a style compatible with its neighbours.
- b) The Proposed dwelling is situate between High Street and Pultney Street, which encompasses dwellings at Nos 40 to 58 Marlborough Street inclusive. The existing houses are of a smaller size and profile, whilst the current plan presents an entirely modern and imposing streetscape compared to its neighbours. See photos in **Attachment B** (Panorama street views of Nos 40 - 58).

c) With regard to the nine (9) existing dwellings in Marlborough Street:

- i. Four (4) cottages are permanently registered on the Tasmanian Heritage Register, Nos. 50, 52, 54 and 58 Marlborough Street.
- ii. Two (2) Nos. 40 (built 1880), and 48 (built 1850s) are mid – late Victorian.
- iii. Three (3) were built prior to or in the 1950s but present in a sympathetic Victorian or Federation style.

2. The style and size:

- a) The proposal is for a large house to be built on a relatively small block of land (611 m²).
- b) The proposed dwelling has a floor area of 31.46 squares (292.26 m²) - [previous plan 32.23 **squares***]; and an additional 5.56 squares (51.68 m²) for porches/decks - [previously 5.25 squares].
- c) Whilst the current plan has provided a driveway of 3.095ms to the southern boundary of the block, thus somewhat narrowing the eastern façade of the house to Marlborough Street, it retains a similar domination of the block; and retains its size and floor area by extending the proposed dwelling almost to the rear boundary of the block (1.2 ms).
- d) The proposed dwelling thereby retains similar overall dimensions. It still occupies the vast majority of the block from the point of setback to the rear boundary; allowing no backyard; and presents an even more imposing view to No. 40 Marlborough Street in its North elevation than it did on the previous plan.
- e) Given the predominance of the proposed dwelling in relation to the land size and the high roofline, the building overbears and significantly visually impacts its neighbours.
- f) The neighbouring houses are built in similar styles, are relatively small to the size of the block and have sizeable yards, with smaller outbuildings. The rooflines do not impinge on the intermediate space and allow an open view from the backyards into the distance.
See Attachments C1 - C3
- g) Most of that spaciousness, airiness and bucolic nature of the view will be obliterated by the proposed dwelling.

3. Overbearing Roofline:

The North Elevation, relevant to No. 40 Marlborough Street, indicates:

- a) The exterior rear wall of the house is 6.666 ms in height, at only 1.2ms from the rear boundary fence (see Site Plan).
- b) The majority of the roofline on the North elevation is at 6.666 ms in height. The valley created with the intersection of the front and rear rooflines will provide little or no relief from the predominance of the house contour on the North elevation.

Note: * 1 square = 9.290304 m²

Summary

A 31 square house with additional porches/decks and high rooflines is not suitable for a 611sq.ms block in its current situation.

This Proposal does not ameliorate the impacts of the original application. It still seeks to retain an enormous footprint on the block in order to retain the size of its floorplan. It is of a style and size suitable to a new housing development, not to one on its proposed location.

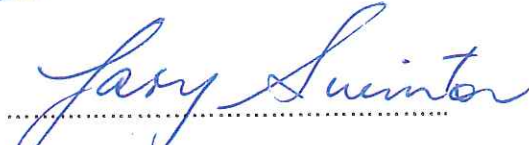
It is unlike any other house in the block. It is not in a comparable or compatible heritage style.

It is the only house in the block with such overbearing proportions.

It effectively obliterates the views and the rural spaciousness available to No. 40 (which is a major factor for us in purchasing the property).

Dated 28 February 2020


.....
Julie Swinton


.....
Gary Swinton

Owners of No. 40 Marlborough Street Longford

Attachment A

Planning Directive No. 4.1

Standards for Residential Development in the General Residential Zone

10.4.2 Setbacks and building envelope for all dwellings

"Objective: To control the siting and scale of dwellings to:

- (a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and
- (b) ...
- (c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and
- (d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.

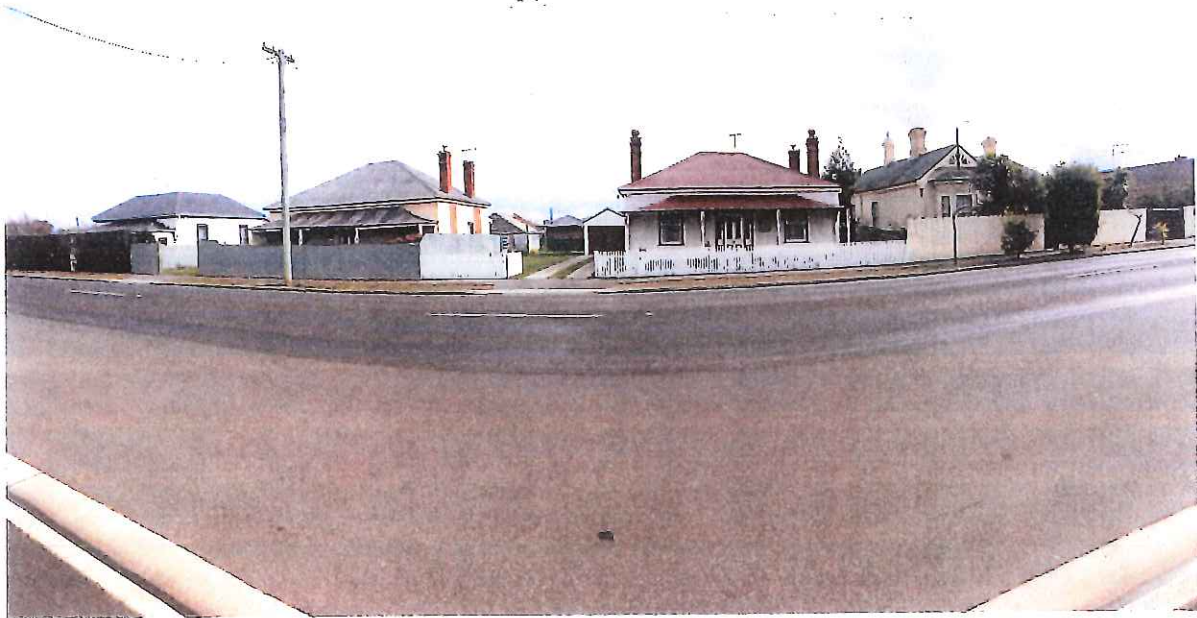
P3 The siting and scale of a dwelling must:

(a) not cause unreasonable loss of amenity by:

- (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or (ii) overshadowing the private open space of a dwelling on an adjoining lot; or
- (iii) overshadowing of an adjoining vacant lot; or
- (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

Attachment B



Panorama view, from the right hand side to the left hand side of Nos. 52, 54, 56 and 58 Marlborough St.



Panorama view from the right hand side to the left hand side of Nos. 40, 44, 46 and 50 Marlborough St.

Attachment B

Attachment C1

View from the backyard of 40 Marlborough Street, facing South.

The Proposal Plan is for a dwelling on the adjoining block, to the south.

The backyards of dwellings to the south contain large areas of open space and gardens, with small outbuildings; and no dwellings dominating the landscape. On most days (not necessarily in winter), there are panoramic views of the Western Tiers, at a distance.

The views of the Western Tiers, the open space and the bucolic nature of the scenery are most valued by us. The current Proposal, like its predecessor, will obliterate those views with a (predominantly) 6.666 ms high ediface extending to within 1.2 ms of the rear boundary of the block.



Attachment C2

Further view from the backyard of 40 Marlborough Street, facing South.

The Proposal Plan is for a dwelling on the adjoining block, to the south.

The fence height is approximately 1.65ms in height above Natural Ground with small variations to 1.7ms. The Proposed dwelling has a roofline which (predominantly) is 6.666 ms in height, extending to within 1.2 ms of the rear boundary of the block.

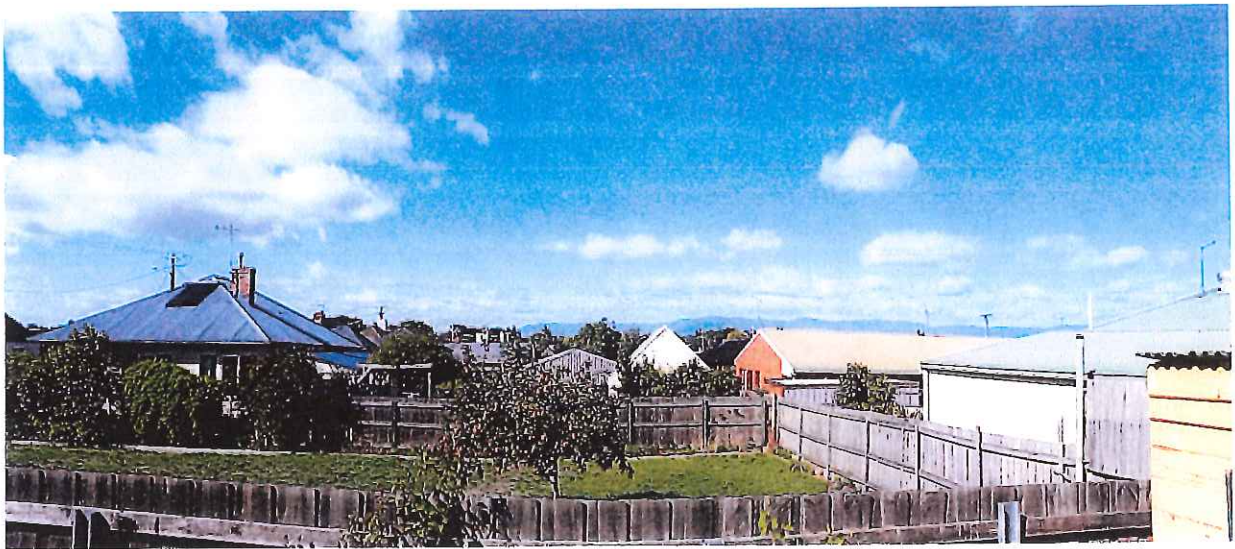
None of the neighbouring housing is of such proportion, or extending to such depth in the block.



Attachment C3

Panorama view from the backyard of 40 Marlborough Street, facing South.

The Proposal Plan is for a dwelling on the adjoining block, to the south.



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CSM			MYR		
WM			EA		
HR					
HLT					

D.G. Cooper
44 Marlborough Street
Longford
TAS 7301

Phone :

5th March 2020

To: General Manager
Northern Midlands Council
13 Smith Street Longford
(PO Box 156 Longford 7301)

Dear Sir,

Application to use/develop land at 42 Marlborough St Longford
Ref: PLN-20-0038

I make the following submission in regard to the above application:

- 1) The proposal is essentially similar to the previous application (PLN-19_0131). Some concession has been made in respect of position of garage and driveway, but in all other respects the design is inappropriate for the heritage precinct.
- 2) The siting of such a large house on a relatively small block of land is very much out of character with the surrounding properties. In particular the high roof line will dominate the views from the adjacent properties and will intrude on the general profile of properties as seen from the road.
- 3) Our main living area is on the north side of the house with large windows and is set only 1.5 meters from the boundary. It seems likely that the existing vegetation on the boundary will be removed to facilitate access on the driveway. Thus our current pleasant open aspect will be replaced by a view of a 3 meter high brick facade less than 5 metres away.

I submit that the proposed development violates the conditions for the heritage precinct and should be rejected.

Yours faithfully

David G. Cooper

1-329

Donna Bain

37 Marlborough Street

Longford Tas 7301

Monday 23 March 2020

Northern Midlands Council

By email: planning@nmc.tas.gov.au

Dear Sir/Madam,

Re: PLN-20-0038

My house is almost directly opposite 42 Marlborough Street, Longford.

I have the following concerns about the proposed structure:

1. There is no indication of roof height. Based on the drawings available on Council's web site, it would appear to be quite high. I am concerned that it may obstruct the visual amenity from the front rooms and front yard of my house.
2. The rear setback is 1.2m. However, I understand that the planning scheme requires a 4m setback
3. The garage is outside of the prescribed building envelope

The retaining walls on boundary, side setback, site coverage, shadowing of rear neighbour are also matters of concern

Please contact me if you have any questions about this letter.

Yours faithfully,



Donna Bain

Tel. (08) 9422 2222

Email: planning@nmc.tas.gov.au