

PLAN 7

PLANNING APPLICATION PLN-20-0167

158 WELLINGTON STREET, LONGFORD

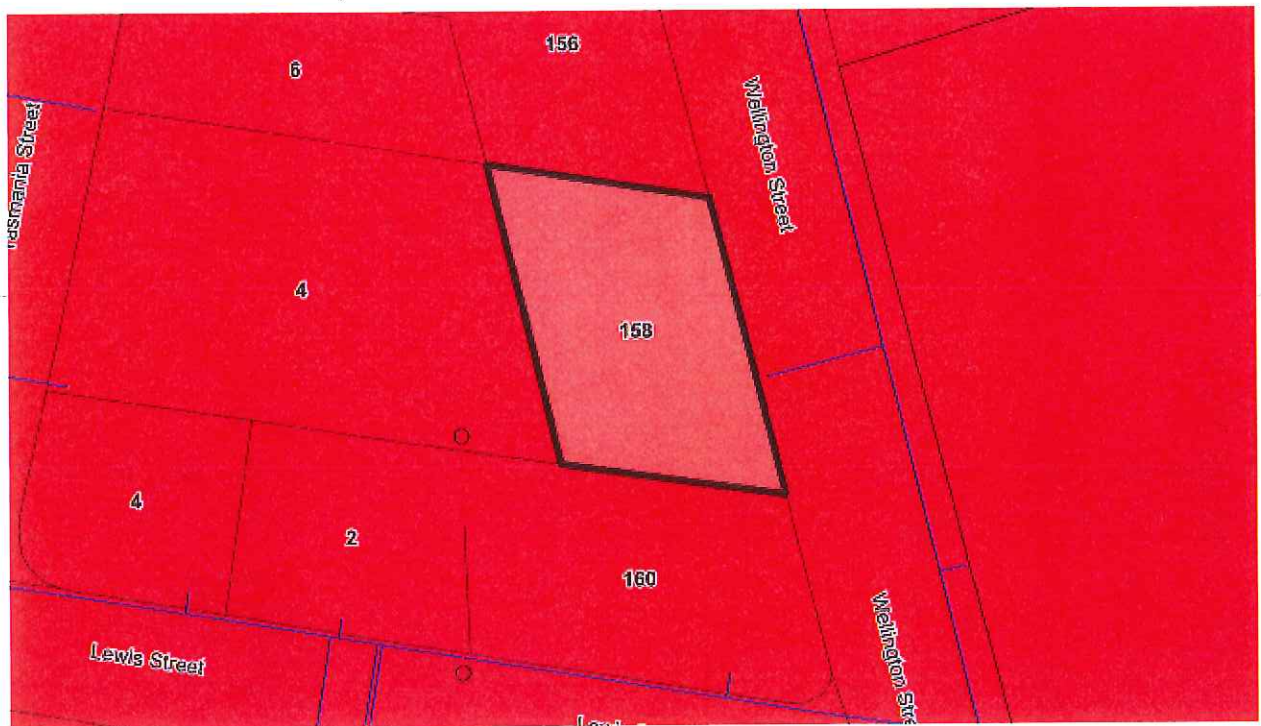
ATTACHMENTS

- A Application & plans, correspondence with applicant
- B Responses from referral agencies
- C Representations & applicant's response

AERIAL PHOTOGRAPH & SERVICES MAP for 158 WELLINGTON STREET, LONGFORD



ZONING MAP - GENERAL RESIDENTIAL ZONE



1-205
PLANNING APPLICATION
Proposal

Description of proposal: PROPOSED TWO STOREY EXTENSION TO EXISTING DWELLING
IN A GENERAL RESIDENTIAL ZONE.

.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 158 WELLINGTON STREET, LONGFORD

.....

CT no: 38119/2

Estimated cost of project \$200,000
(include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No
If yes – main building is used as EXISTING DWELLING

If variation to Planning Scheme provisions requested, justification to be provided:

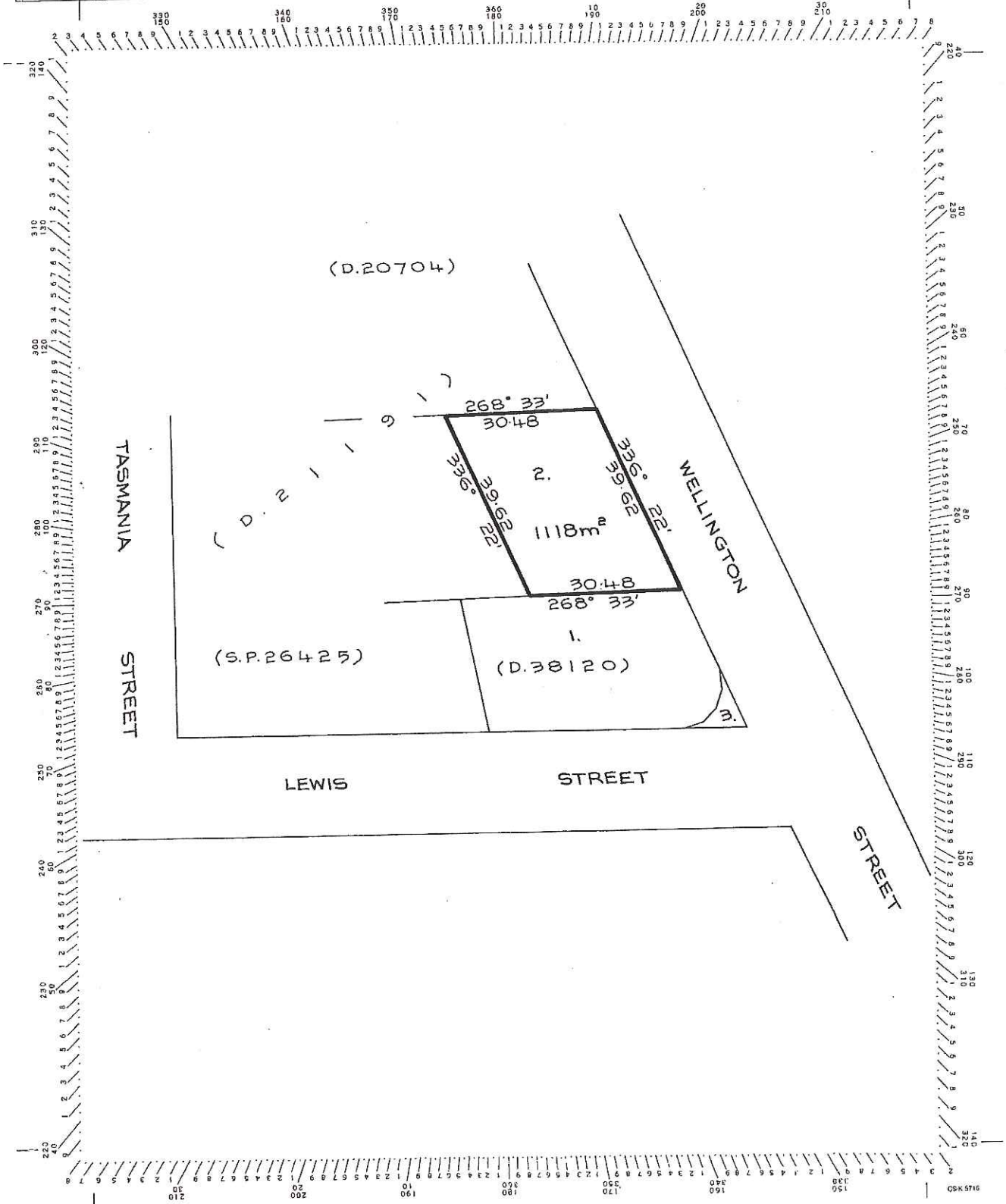
REFER TO COVER LETTER WLL158

.....
.....
.....
.....

(attach additional sheets if necessary)

Is any signage required? N/A
(if yes, provide details)

Owner: L. T. ACT 1980.	PLAN OF SURVEY of land situated in the TOWN OF LONGFORD. COMPILED FROM 35/79 D.O. SCALE 1: 800 MEASUREMENTS IN METRES	Registered Number: D.38119
Title Reference: Y.9608.		Approved: 12 JAN 1989 <i>[Signature]</i> Recorder of Titles
Grantee: PART OF 10.2.20 CHARLES REID.		





Mail: 202 Wellington Street, South Launceston 7249
A.B.N: 71 615 812 747
Phone: 6344 7319
Email: mitch@designtolive.com.au

28 July 2020

Planning Application Cover Letter

Applicant: Design To Live Pty Ltd.
Development: Proposed Extension
Owner: James & Tiana Cassidy-Cooper
Address: 158 Wellington Street, Longford
Zone: General Residential

Please find below further information for the proposed extension at 158 Wellington Street, Longford.

10.4.2 Setback and building envelope for all dwellings

A1.

Acceptable. The proposed extension is located 5.504m from the primary frontage.

A2.

Acceptable. The garage of the proposed extension is located 5.504m from the primary frontage.

A3.

Relies on P3 performance criteria. The proposed extension is located approximately 6.1m from the boundary at the North Eastern corner of the block and exactly 1.38m from the South west corner. The majority of the extension has been contained in the acceptable building envelope however, there is an area of the proposed extension in the south west corner that protrudes through the building envelope (refer to WLL158-9 & WLL158-10 for details).

- i) The neighbouring dwelling is located approximately 9m from the shared boundary towards the south of its lot. At its closest distance, the proposed extension is located approximately 14m from the neighbouring dwelling, suggesting that there is no unreasonable loss of amenity due to reduction in sunlight to the neighbouring dwelling.
- ii) There is currently dense vegetation that separates the boundary between the proposed extension and its eastern neighbouring dwelling that would already cause significant overshadowing to the private open space of the neighbouring dwelling. Due to the extensive existing vegetation it is assumed that the private open space of the neighbouring dwelling is located to the north east of the property in a cleared area, where the proposed extension is setback from the boundary approx. 6.1m. Due to the distance to the boundary of the proposed extension, and its 5.5m setback from the frontage, which is north of the assumed private open space of the neighbouring dwelling; there will be minimal loss of amenity due to overshadowing to the private open space of the neighbouring dwelling.

- iii) N/A. Development does not neighbour a vacant lot.
- iv) The proposed extension is two storeys with a maximum height of 7.2m. The proposal required 3.6m clearance in the garage which added to the total height however, the proposal has reduced overall heights by reducing the roof pitch as much as possible to not add any additional height. The neighbouring dwelling to the south of the proposal is also two storey and is of a similar overall height. Whilst the extension is adding significant bulk to the existing dwelling, the visual impacts will be minimal due to the existing thick vegetation that surrounds the property. On the nature strip the front of the property, there are several large existing trees, and surrounding the property on the south and western boundaries there is existing thick vegetation to a height of approx. 5m.
- b) The separation between dwellings remains compatible with the existing area, with the immediate neighbour to the north being location approx. 1.6m to the boundary.

10.4.5 Width of openings for garages and carports for all dwellings

A1.

Relies on P1 Performance Criteria. The garage door on the proposed extension is 7m wide, 1m greater than the allowable 6m. However the garage is still setback from the primary frontage the acceptable 5.5m distance and due to the extensive planting in the nature strip in this area, and the vegetation that is on the property, the additional 1m of garage width will not dominate the frontage when viewed from the street as it will be shielded behind the existing vegetation.

Regards,
Denika McDonald-Hodges
(B.EvnDes, M.Arch)

Michael & Sue Phair
160 Wellington Street
LONGFORD Tas. 7301
27/07/2020

Northern Midlands Council
13 Smith Street
LONGFORD Tas. 7301

Re: Proposed Extension/Alterations to 158 Wellington Street Longford.

Dear Northern Midlands Council:

We have been presented with proposed plans by the residents of 158 Wellington Street Longford, Jamie and Tiarna, for extension/alterations to their property.

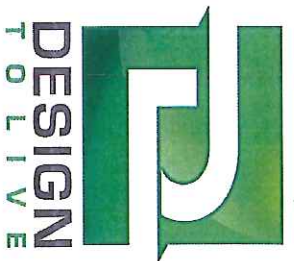
We are the current owners/occupiers of the property on the southern side of this property, 160 Wellington Street Longford.

We have NO objection to the proposed plans as shown to us today, Sunday 26th July 2020.

Sincerely,



S. L. Phair
Michael & Sue Phair



PROPOSED EXTENSION
158 WELLINGTON STREET,
LONGFORD, 7301.



DRAWING #	DRAWING
WLL158-1	COVER PAGE
WLL158-2	SITE PLAN
WLL158-3	EXISTING GROUND FLOOR PLAN
WLL158-4	PROPOSED GROUND FLOOR PLAN
WLL158-5	PROPOSED FIRST FLOOR PLAN
WLL158-6	EXTERNAL SERVICES
WLL158-7	ELEVATION NORTH EAST
WLL158-8	ELEVATION NORTH WEST
WLL158-9	ELEVATION SOUTH EAST
WLL158-10	ELEVATIONS SOUTH WEST
WLL158-11	PERSPECTIVES

COUNCIL	NORTHERN MIDLANDS	ZONE	GENERAL RESIDENTIAL	ENERGY STAR RATING	TBC
EXISTING DWELLING	188.62	LAND TITLE REFERENCE	38119/2	BAL RATING	TBC
PROPOSED EXTENSION	162.63	PROPERTY ID	6738241	DESIGN WIND CLASS	TBC
		LOT SIZE (M ²)	1118M ²	SOIL CLASSIFICATION	TBC
		PLANNING OVERLAY	URBAN GROWTH	CLIMATE ZONE	7
				ALPINE AREA	N/A
				CORROSION ENV ¹	N/A

ATTACHMENTS

	MITCHELL LLOYD ACC # CG6320 ABN, 71 615 812 747 PH, 6344 7319 E, mitch@designtolive.com.au	CLIENT/S: JAMES + TIANA CASSIDY-COOPER	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any persons infringing the copyright.
	158 WELLINGTON STREET, LONGFORD, 7301.	SIGNATURE: SIGNATURE:	DATE: DATE:		

REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	WLL158
R0	06/07/2020	CONCEPT				
R1	28/07/2020	FOR DA	DRAWN	D.M	DRAWING	1/11
R2	10/08/2020	DA AMENDMENT	CHECKED	M.L.	SCALE (@A3)	NTS
R2	15/09/2020	DA AMENDMENT				



LOCATION PLAN - NOT TO SCALE

1-211



DESIGN TO LIVE
 MITCHELL LLOYD
 ACC # CG6320
 ABN: 71 615 812 747
 PH: 6344 7319
 E: mitch@designtolive.com.au

Clients:
 JAMES + TIANA
 CASSIDY-COOPER
Site Address:
 158 WELLINGTON STREET,
 LONGFORD, 7301.

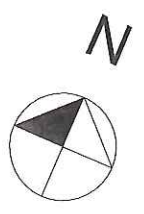
DRAWING
 SITE PLAN

I/WE APPROVE THESE DRAWING TO BE
 CORRECT PER CONTRACT.
SIGNATURE:
SIGNATURE:
DATE:
DATE:

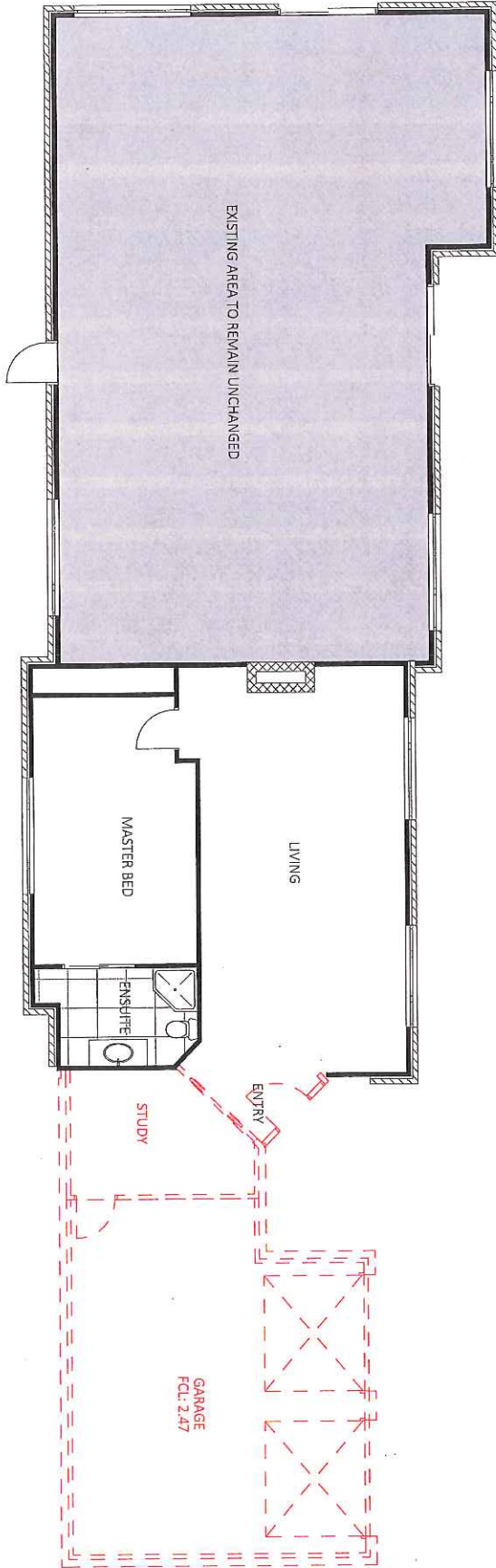
COPYRIGHT:
 This is the sole property of Design To Live and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any persons infringing the copyright.

REV.	DATE	DESCRIPTION
R0	06/07/2020	CONCEPT
R1	28/07/2020	FOR DA
R2	10/08/2020	DA AMENDMENT
R2	15/09/2020	DA AMENDMENT

DESIGNER	M.L.	JOB NUMBER
DRAWN	D.M	DRAWING
CHECKED	M.L.	SCALE (@A3)
		1:200



1-212



DESIGN
T D I V E

MITCHELL LLOYD
ACC # CC6920
ABN: 71 615 812 747
PH: 6344 7319
E: mitch@designotive.com.au

CLIENT/S:
JAMES + TIANA
CASSIDY-COOPER

SITE ADDRESS:
158 WELLINGTON STREET,
LONGFORD, 7301.

DRAWING
EXISTING
GROUND FLOOR
PLAN

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE: _____
DATE: _____

COPYRIGHT:
This is the sole property of Design To Live, and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.

REV.	DATE	DESCRIPTION
R0	06/07/2020	CONCEPT
R1	28/07/2020	FOR DA
R2	10/08/2020	DA AMENDMENT
R2	15/09/2020	DA AMENDMENT

DESIGNER	M.L.	JOB NUMBER
DRAWN	D.M	WLL158
CHECKED	M.L.	DRAWING
		SCALE (@A3)
		3/11
		1:100

KEY:

- EXISTING / UNMODIFIED
- - - WALL TO BE REMOVED
- DOOR/WINDOW TO BE REMOVED

CLIENTS:
 JAMES + TIANA
 CASSIDY-COOPER
 SITE ADDRESS:
 158 WELLINGTON STREET,
 LONGFORD, 7301.

DRAWING
 PROPOSED FIRST
 FLOOR PLAN

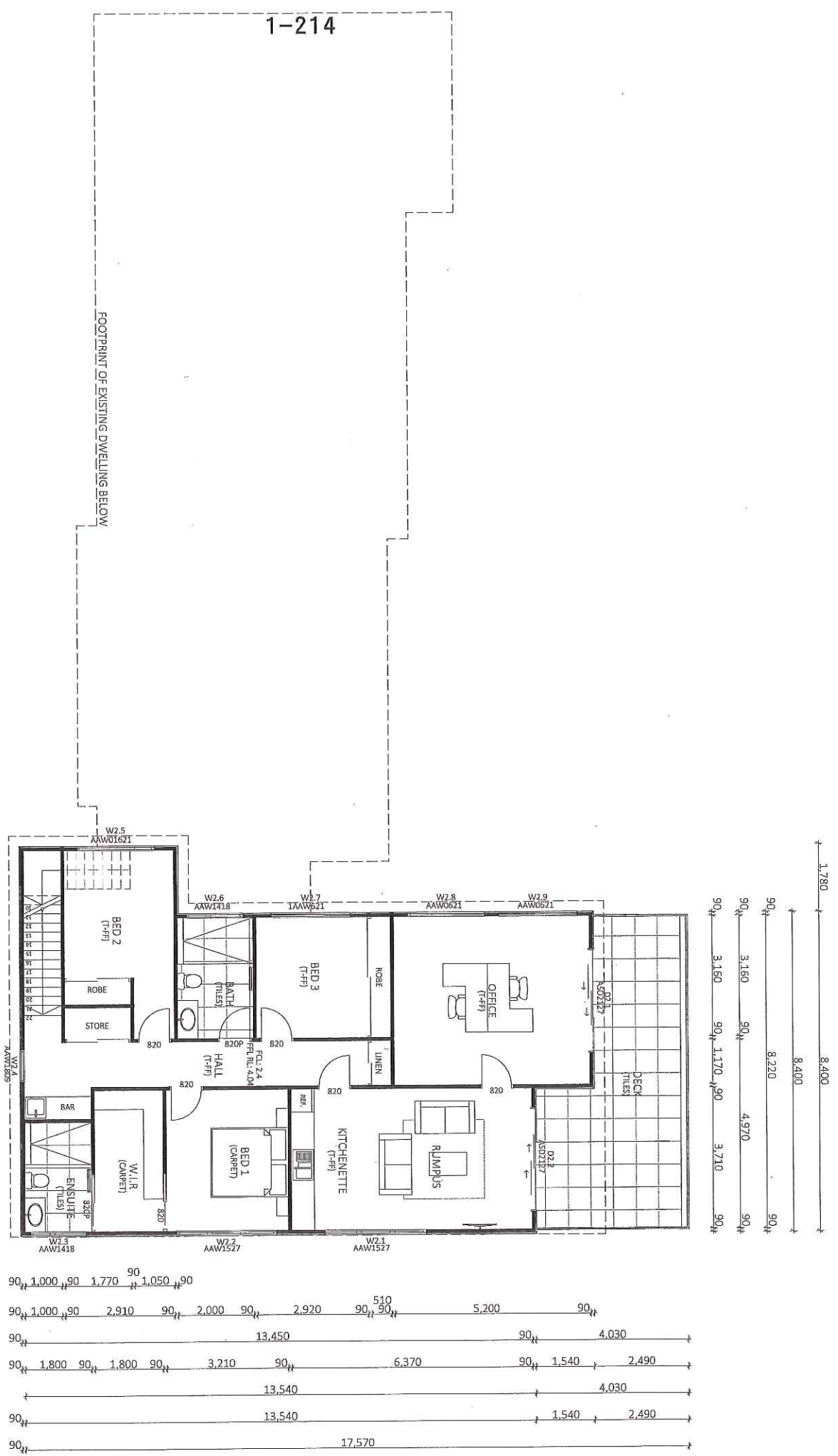
I/WE APPROVE THESE DRAWING TO BE
 CORRECT PER CONTRACT.
 SIGNATURE:
 DATE:
 SIGNATURE:
 DATE:

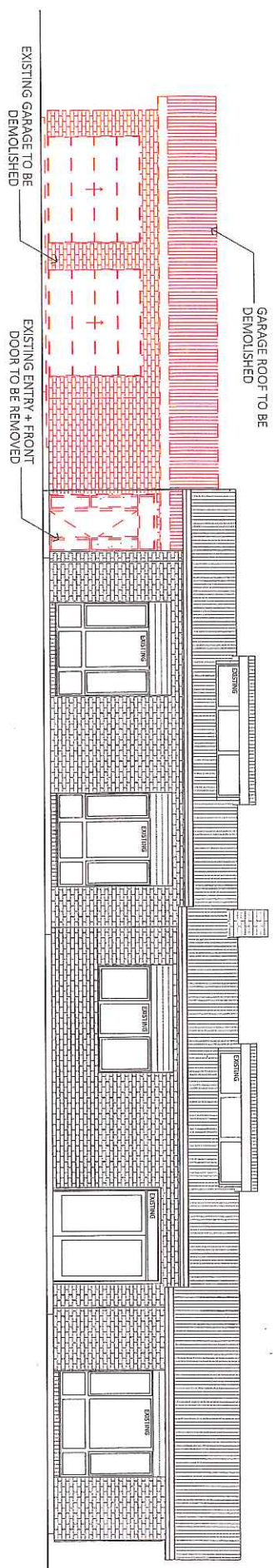
COPYRIGHT:
 This is the sole property of Design To Live, and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any person infringing the copyright.

REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER
R0	06/07/2020	CONCEPT			WLL158
R1	28/07/2020	FOR DA			5/11
R2	10/09/2020	DA AMENDMENT			
R2	15/09/2020	DA AMENDMENT			



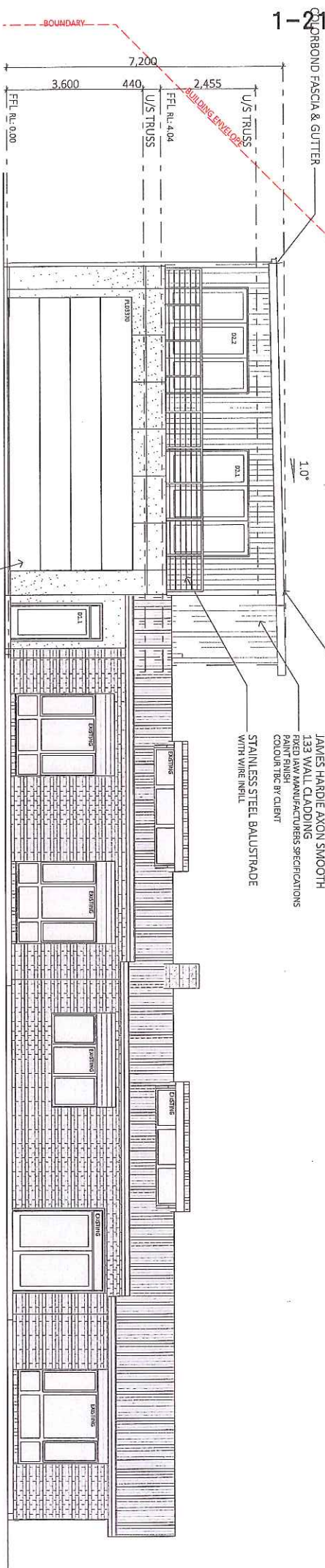
KEY:
 — NEW WALL
 - - - WALL TO BE REMOVED
 = = = UNMODIFIED
 = = = EXISTING





EXISTING

1-216



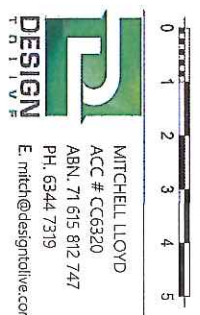
PROPOSED

KILBLOK ROOF CLADDING
FIXED JAW MANUFACTURERS SPECIFICATIONS

JAMES HARDIE AXON SMOOTH
133 WALL CLADDING
FIXED JAW MANUFACTURERS SPECIFICATIONS
PAINT FINISH
COLOUR TBC BY CLIENT

STAINLESS STEEL BALLUSTRADE
WITH WIRE INFILL

JAMES HARDIE AXON EASYTEX
WALL CLADDING
FIXED JAW MANUFACTURERS SPECIFICATIONS
LIGHT GREY PAINT FINISH



MITCHELL LLOYD
ACC # CC6320
ABN: 71 615 812 747
PH: 6344 7319
E: mitch@designtolive.com.au

CLIENTS:
JAMES + TIANA
CASSIDY-COOPER

SITE ADDRESS:
158 WELLINGTON STREET,
LONGFORD, 7301.

DRAWING
ELEVATION
NORTH EAST

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

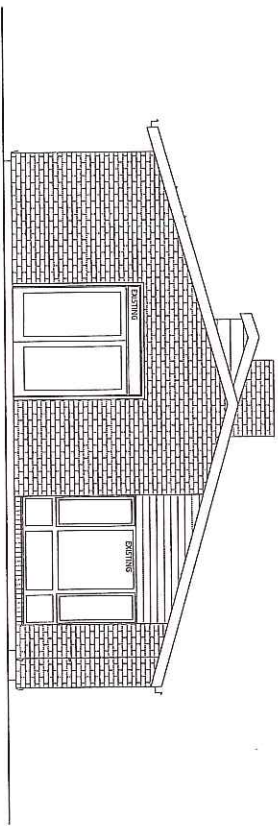
SIGNATURE:
DATE:

COPYRIGHT:
This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person's infraction that contravenes this copyright.

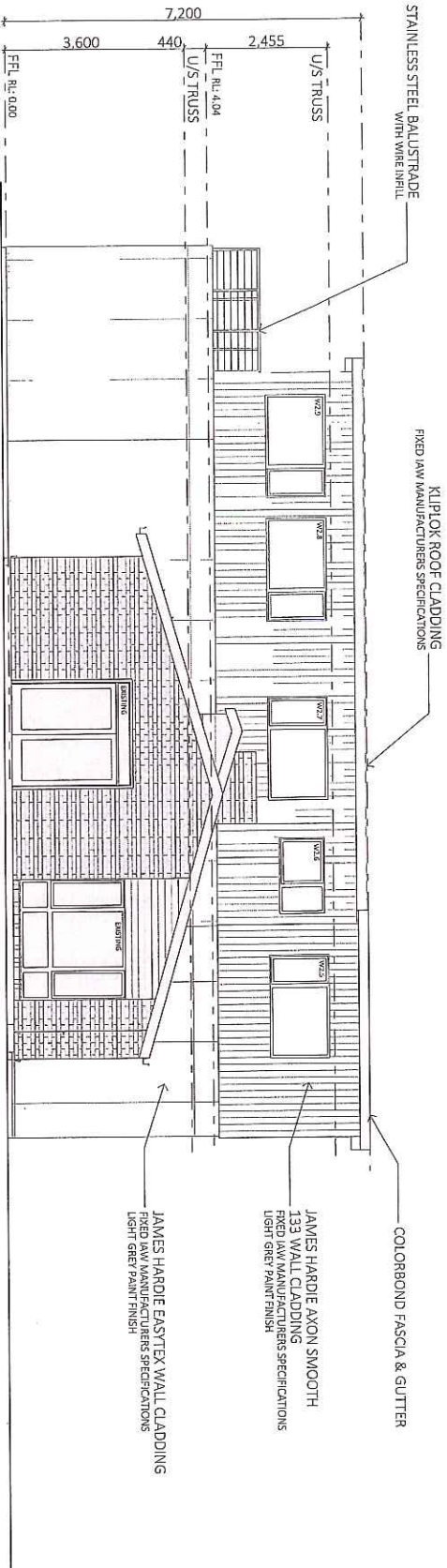
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER
R0	06/07/2020	CONCEPT			WLL158
R1	28/07/2020	FOR DA			7/11
R2	10/08/2020	DA AMENDMENT			
R2	15/09/2020	DA AMENDMENT			

CHECKED M.L. SCALE (@A3) 1:100

EXISTING



PROPOSED



MITCHELL LLOYD
ACC # CG6320
ABN. 71 615 812 747
PH. 6344 7319
E. mitch@designlative.com.au

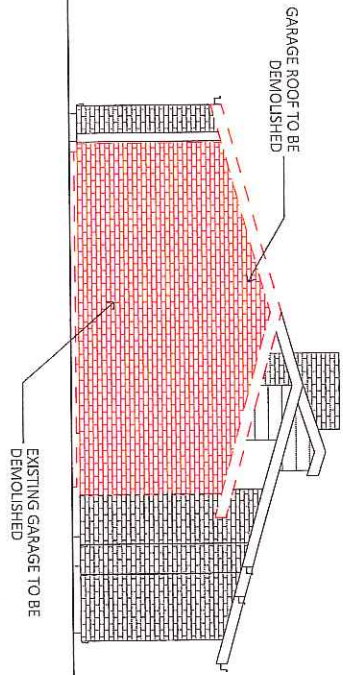
CLIENT/S:
JAMES + TIANA
CASSIDY-COOPER
SITE ADDRESS:
158 WELLINGTON STREET,
LONGFORD, 7301.

DRAWING
ELEVATION
NORTH WEST

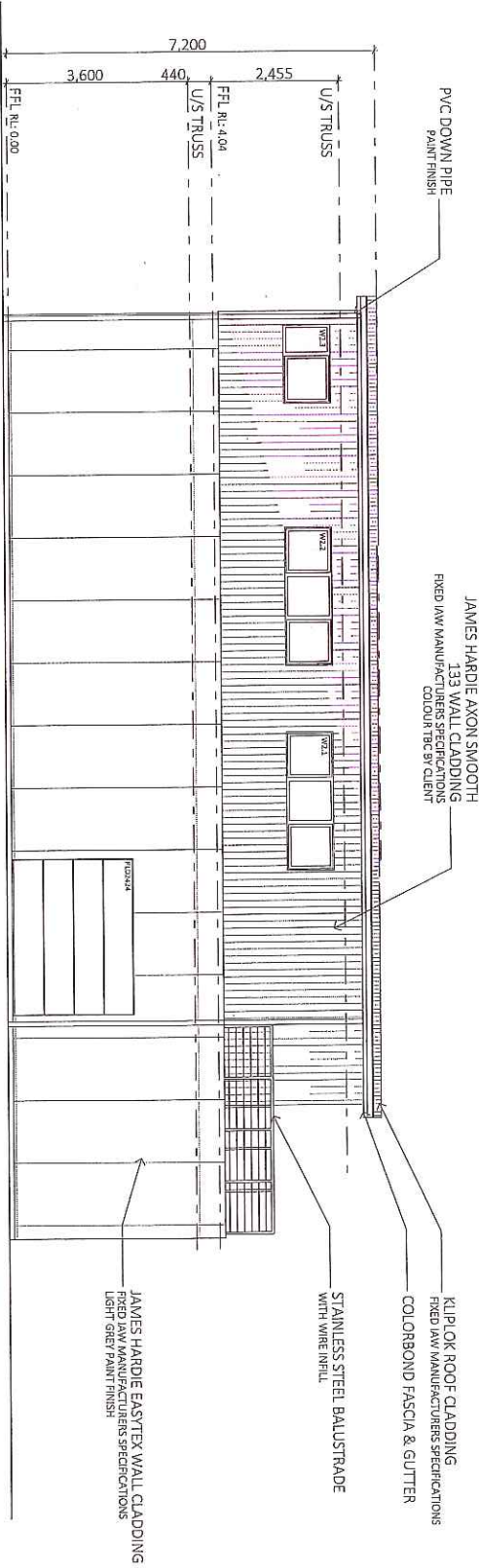
I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.
SIGNATURE:
DATE:

COPYRIGHT:
This is the sole property of Design To Live and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.

REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	WLL158
R0	06/07/2020	CONCEPT	DRAWN	D.M	DRAWING	8/11
R2	10/08/2020	DA AMENDMENT	CHECKED	M.L.	SCALE (@A3)	1:100
R2	15/09/2020	DA AMENDMENT				



EXISTING



PROPOSED

RENOTES AREA OF DWELLING OUTSIDE ACCEPTABLE BUILDING ENVELOPE



MITCHELL LLOYD
ACC # CG6320
ABN. 71 615 812 747
PH. 6344 7319
E. mitch@designolive.com.au

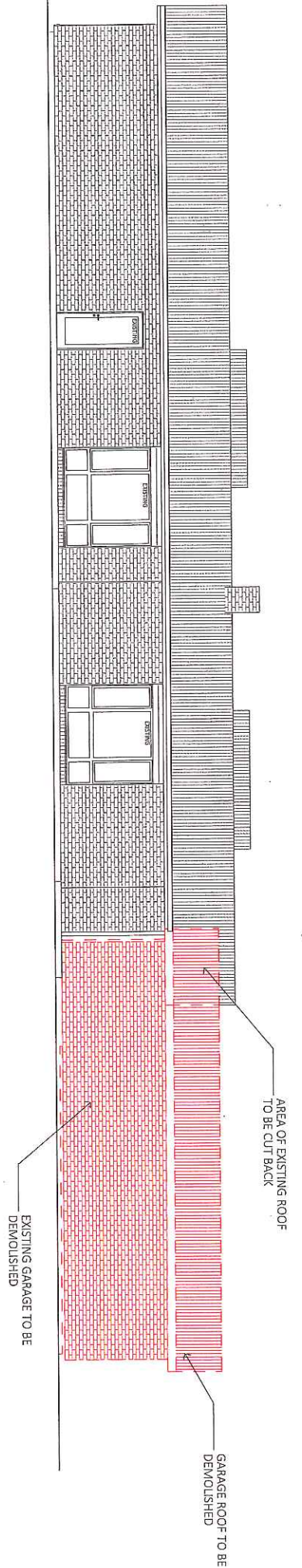
CLIENT/S:
JAMES + TIANA
CASSIDY-COOPER
SITE ADDRESS:
158 WELLINGTON STREET,
LONGFORD, 7301.

DRAWING
ELEVATION
SOUTH EAST

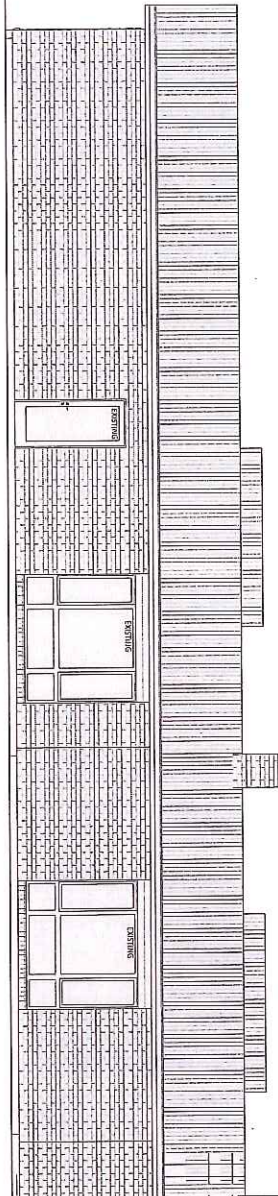
I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.
SIGNATURE: _____ DATE: _____
SIGNATURE: _____ DATE: _____

COPYRIGHT:
This is the sole property of Design To Live and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any persons infringing the copyright.

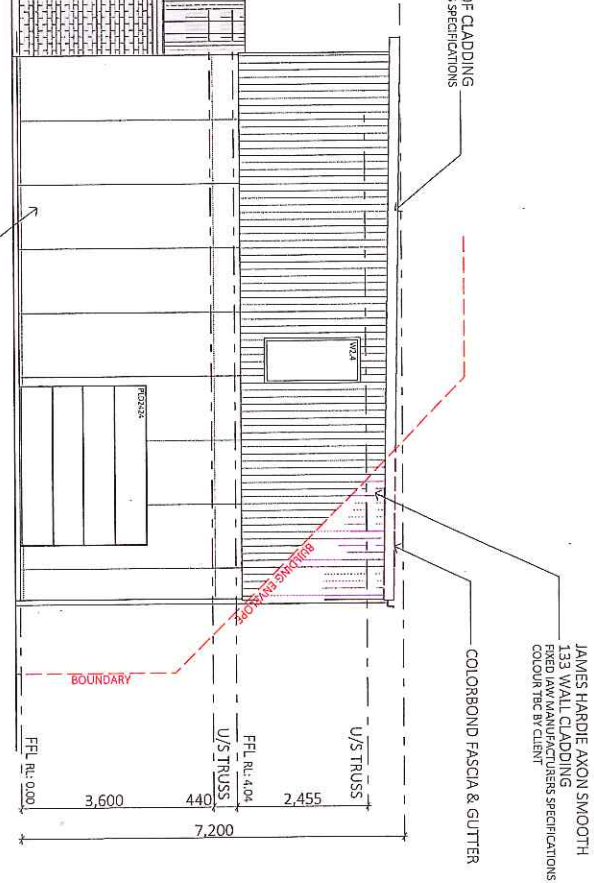
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	WLL158
R0	06/07/2020	CONCEPT	DRAWN	D.M	DRAWING	9/11
R2	28/07/2020	FOR DA	CHECKED	M.L.	SCALE (@A3)	1:100
R2	10/08/2020	DA AMENDMENT				
R2	15/09/2020	DA AMENDMENT				



EXISTING



PROPOSED



DENOTES AREA OF PIVELLING OUTSIDE ACCEPTABLE BUILDING ENVELOPE

DESIGN
T N I V F

MITCHELL LLOYD
ACC # CG6320
ABN: 71 615 812 747
PH: 6344 7319
E: mitch@designolive.com.au

CLIENT/S:
JAMES + TIANA
CASSIDY-COOPER

SITE ADDRESS:
158 WELLINGTON STREET,
LONGFORD, 7301.

DRAWING
ELEVATIONS
SOUTH WEST

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

COPYRIGHT:
This is the sole property of Design To Live, and may not be used in whole or in part without written or formal consent from Design To Live. Legal action will be taken against any persons infringing the copyright

REV.	DATE	DESCRIPTION
R0	06/07/2020	CONCEPT
R1	26/07/2020	FOR DA
R2	10/08/2020	DA AMENDMENT
R2	15/09/2020	DA AMENDMENT

DESIGNER	M.L.	JOB NUMBER	WLL158
DRAWN	D.M	DRAWING	10/11
CHECKED	M.L.	SCALE (@A3)	1:100



11/20

		MITCHELL LLOYD ACC # CG6320 ABN, 71 615 812 747 PH, 6344 7319 E, mitch@designtolive.com.au	
CLIENT/S: JAMES + TANA CASSIDY-COOPER		DRAWING PERSPECTIVES	
SITE ADDRESS: 158 WELLINGTON STREET, LONGFORD, 7301.		I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	
SIGNATURE:		DATE:	
SIGNATURE:		DATE:	
COPYRIGHT: This is the sole property of Design To Live and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any persons infringing the copyright.			
REV.	DATE	DESCRIPTION	DESIGNER
R0	06/07/2020	CONCEPT	DRAWN
R1	28/07/2020	FOR DA	D.M
R2	10/08/2020	DA AMENDMENT	M.L.
R2	15/09/2020	DA AMENDMENT	M.L.
CHECKED			JOB NUMBER
M.L.			WLL158
SCALE (@A3)			11/11

Rosemary Jones

From: TasWater Development Mailbox <Development@taswater.com.au>
Sent: Monday, 7 September 2020 8:07 AM
To: NMC Planning
Subject: TasWater Advice RE: Planning Authority Notice, TWDA 2020/01287-NMC, for Council permit PLN20-0167

Dear Sir/Madam

Pursuant to the Water and Sewerage Industry Act 2008 (TAS) Section 56P(1) TasWater has assessed the application for the above mentioned permit and has determined that the proposed development does not require a submission from TasWater.

If you have any queries, please contact me.

Regards

Phil Papps
Senior Assessment Officer



D 0474 931 272
F 1300 862 066
A GPO Box 1393, Hobart TAS 7001
169 Main Road, Moonah, TAS 7009
E phil.papps@taswater.com.au
W <http://www.taswater.com.au/>

Have I been helpful? Please provide feedback by clicking [here](#).



**THANKS
IS ENOUGH**



Tasmanians are often keen to say thanks to our employees for a job well done. Instead of a gift, we'd prefer that you send us a simple card, a letter or an email. We'd appreciate it!

Disclaimer

This email, including any attachments, may be confidential and/or legally privileged. You must not use, access or disclose it other than for the purpose for which it was sent. If you receive this message or any attachments or information in it in error, please destroy and delete all copies and notify the sender immediately by return email or by contacting TasWater by telephone on 136992. You must not use, interfere with, disclose, copy or retain this email. TasWater will not accept liability for any errors, omissions, viruses, loss and/or damage arising from using, opening or transmitting this email

To Whom It May Concern:

I write to you today regarding Application 158 Wellington Street, Longford (PLN-20-0167) and wish to raise concerns about the apparent scale, bulk, massing and proportions of the proposed extension which does not appear sympathetic to the existing dwelling or the surrounding area more generally.

With regard to 10.4.2 A2, there are three scenarios in (a), (b) and (c) with the Application stating the proposed extension is compliant with 10.4.2 A2 (a). However, the proposed extension includes a portion of the dwelling gross floor area above the garage in which case the relevant acceptable solution is 10.4.2 A2 (b).

The definition of 'gross floor area' under the Scheme is such that balconies are to be excluded and meaning the garage façade is not the same as any part of the dwelling (new or existing). The proposal is therefore non-compliant with the relevant acceptable solution in 10.4.2 A2 (b).

The Application would subsequently need to be assessed against 10.4.2 P2 which requires the setback be compatible with existing garages and carports in the street. On this basis, it seems unlikely the setback is sufficient to be considered compatible with existing garages and carports in the street. This is due to the apparent scale, bulk, massing and proportion of the garage element in the proposed extension significantly exceeding that typical of residential developments elsewhere along Wellington Street, even where a similar setback might exist.

The Application further indicates heavy reliance on existing vegetation providing a screening effect to satisfy 10.4.2 P3 (a) and 10.4.5 P1.

This reliance is concerning given the vegetation has not been accurately plotted on drawings and renders, the height approximated and no obvious consideration of the type of vegetation (i.e. deciduous trees providing less screening effect during cooler months) or the potential that some vegetation may require removal due to a number of reasons (e.g. storm damage).

With regard to 10.4.2 P3 (a) (i) and (ii), the height of the proposed extension is significantly greater than the approximated height of the vegetation. This suggests the extension may cast longer shadows, adversely impacting the amount of sunlight entering habitable rooms other than bedrooms and/or increase overshadowing to the private open space of the dwelling to the south. Neither of these performance criteria can be assessed without accurate shadow diagrams.

It is equally unclear how vegetation of approximately 5m in height could sufficiently screen the visual impact caused by the proposed extension which has an overall height of approximately 7.3m to ground level (7.2m shown on

drawings is to finished floor level). Given the overall scale of the proposed extension, it is likely to dominate the skyline when viewed from adjoining properties (and beyond) and therefore does not adequately satisfy the requirements of 10.4.2 P3 (a) (iv).

The objective of 10.4.5 is given to reduce the potential for garage or carport openings to dominate the primary frontage and the application notes reliance on 10.4.5 P1.

The dimensions of the garage opening are 7m wide (approx. 6m shown on the drawings and renders) by 3.3m high. This is significantly greater than typical of residential developments and does not appear to have been designed in a way which minimises the dimensions.

Likewise, the existing vegetation would only provide screening when approached from the south given the canopy of the existing plane trees along Wellington Street starts at a considerable height above ground level and as the only vegetation north of the driveway would offer little if any screening effect when approached from the north or viewed from the front.

As such, the proposal does not adequately satisfy 10.4.5 P1.

In addition to noted issues with the drawings above, there appears to be a number of additional errors in the drawings supplied which are of relevance in assessing how scale of the proposed extension fits in the context of the existing area. These include, but may not be limited to the following:

- Setback dimensions given to internal face of framing rather than external face of cladding
- Vegetation shown to south of driveway in nature strip on site plan does not exist
- Roof of existing dwelling is incorrect (has three distinct 'zones' relating to variations in façade depth and likely sits lower than shown)
- Renders exaggerate height of some trees

I trust these issues will be carefully considered in the assessment of the Application relating to the proposed extension located at 158 Wellington Street.

Kind regards,

Mark Rhodes
B.EnvDes, B.Arch

To Whom It May Concern:

I write to you today regarding Application 158 Wellington Street, Longford (PLN-20-0167) and wish to raise concerns about the apparent scale, bulk, massing and proportions of the proposed extension which does not appear sympathetic to the existing dwelling or the surrounding area more generally. With regard to 10.4.2 A2, there are three scenarios in (a), (b) and (c) with the Application stating the proposed extension is compliant with 10.4.2 A2 (a). However, the proposed extension includes a portion of the dwelling gross floor area above the garage in which case the relevant acceptable solution is 10.4.2 A2 (b).

Not applicable. See below statement.

The definition of 'gross floor area' under the Scheme is such that balconies are to be excluded and meaning the garage façade is not the same as any part of the dwelling (new or existing). The proposal is therefore non-compliant with the relevant acceptable solution in 10.4.2 A2 (b).

This is incorrect, in the Northern Midlands Interim Planning Scheme, the definition outlined in Part B (Page B-4) for 'gross floor area' is '..the total floor area of the building measured from the outside of the external walls or the centre of a common wall'. There is nothing to exclude the garage façade, it is considered part of the dwelling due to the development being double storey with habitable spaces located above the garage. Therefore, the applicable acceptable solution is still 10.4.2 A2 (a) where the garage is setback from front boundary more than 5.5m. If it were to be assessed against 10.4.2 (b) as suggested, the proposal would be 1m further back from the acceptable solution of 4.5m, which still complies.

The Application would subsequently need to be assessed against 10.4.2 P2 which requires the setback be compatible with existing garages and carports in the street. On this basis, it seems unlikely the setback is sufficient to be considered compatible with existing garages and carports in the street. This is due to the apparent scale, bulk, massing and proportion of the garage element in the proposed extension significantly exceeding that typical of residential developments elsewhere along Wellington Street, even where a similar setback might exist.

This is not applicable as it meets the acceptable solution outlined in 10.4.2 A2 (a).

The Application further indicates heavy reliance on existing vegetation providing a screening effect to satisfy 10.4.2 P3 (a) and 10.4.5 P1. This reliance is concerning given the vegetation has not been accurately plotted on drawings and renders, the height approximated and no obvious consideration of the type of vegetation (i.e. deciduous trees providing less screening effect during cooler months) or the potential that some vegetation may require removal due to a number of reasons (e.g. storm damage).

Artist impressions are indicative only and not drawn to scale. The height of any vegetation shown is purely for artistic purposes and should not be relied upon as an accurate measure of their height. It is not a requirement of the performance criteria to consider the type of existing trees or their possible removal in the future.

With regard to 10.4.2 P3 (a) (i) and (ii), the height of the proposed extension is significantly greater than the approximated height of the vegetation. This suggests the extension may cast longer shadows, adversely impacting the amount of sunlight entering habitable rooms other than bedrooms and/or increase overshadowing to the private open space of the dwelling to the south. Neither of these performance criteria can be assessed without accurate shadow diagrams.

See statement below.

It is equally unclear how vegetation of approximately 5m in height could sufficiently screen the visual impact caused by the proposed extension which has an overall height of approximately 7.3m to ground level (7.2m shown on drawings is to finished floor level). Given the overall scale of the proposed extension, it is likely to dominate the skyline when viewed from adjoining properties (and beyond) and therefore does not adequately satisfy the requirements of 10.4.2 P3 (a) (iv).

The height of the existing vegetation is not relevant in relation to the total height of the proposal. As seen in Diagram 10.4.2A the allowable building envelope has a maximum height of 8.5m. The proposed development height is well contained within this height. The only area that protrudes the building envelope is in the south west corner of the development which is already indicated on the elevations (see pages WLL158-9 & WLL158-10). Refer to cover letter for further information.

The neighbour to the south of the development has also written a letter of support for this application, due to the overshadowing on the property only estimated to fall on the rear of their property which is undeveloped due to existing vegetation; resulting in no impact to this property.

The objective of 10.4.5 is given to reduce the potential for garage or carport openings to dominate the primary frontage and the application notes reliance on 10.4.5 P1.

See below statement.

The dimensions of the garage opening are 7m wide (approx. 6m shown on the drawings and renders) by 3.3m high. This is significantly greater than typical of residential developments and does not appear to have been designed in a way which minimises the dimensions.

Artist impressions are indicative only and not drawn to any specific scale, as indicated on the plans. In addition to this, 10.4.5 A1 states that the garage opening width can be a maximum of 6 metres. As our proposed garage opening width is 7m this is only 1 metre greater than the acceptable solution, and there is no requirement listed in the relevant performance criteria stating that the width of the garage has to match the width that is 'typical of residential developments'.

Likewise, the existing vegetation would only provide screening when approached from the south given the canopy of the existing plane trees along Wellington Street starts at a considerable height above ground level and as the only vegetation north of the driveway would offer little if any screening effect when approached from the north or viewed from the front. As such, the proposal does not adequately satisfy 10.4.5 P1.

See above statement.

In addition to noted issues with the drawings above, there appears to be a number of additional errors in the drawings supplied which are of relevance in assessing how scale of the proposed extension fits in the context of the existing area. These include, but may not be limited to the following:

- *Setback dimensions given to internal face of framing rather than external face of cladding.*

This has been rectified on the revised plans attached. Please note that the setback from the external face of the cladding is still within the acceptable solution outlined in 10.4.2 A2 (a).

- *Vegetation shown to south of driveway in nature strip on site plan does not exist*

The above statement contradicts an earlier statement that the existing vegetation would only provide screening of the development when approached from the south of the proposal due to the existing canopy of trees along Wellington Street. It is unclear whether the representor believes that the vegetation is existing or not and therefore this statement should be disregarded.

- *Roof of existing dwelling is incorrect (has three distinct 'zones' relating to variations in façade depth and likely sits lower than shown)*

The roof of the existing dwelling has been accurately drawn after an extensive site visit was conducted to fully measure and document the existing dwelling, including the eave width and height from ground, the roof apex, and external walls, all of which have been accurately modelled. The statement that the roof is incorrect seems to be based on the representors incorrect opinion, that I would assume has been informed by aerial imagery and visual appearance from the street which is an inaccurate basis to draw such a conclusion from.

- Renders exaggerate height of some trees

As stated earlier, artist impressions are indicative only and not drawn to scale. The height of any vegetation shown is purely for artistic purposes and should not be relied upon as an accurate measure of their height.

I trust these issues will be carefully considered in the assessment of the Application relating to the proposed extension located at 158 Wellington Street.