

PLAN 8

PLANNING APPLICATION PLN-20-0081

7A SCONE STREET, PERTH

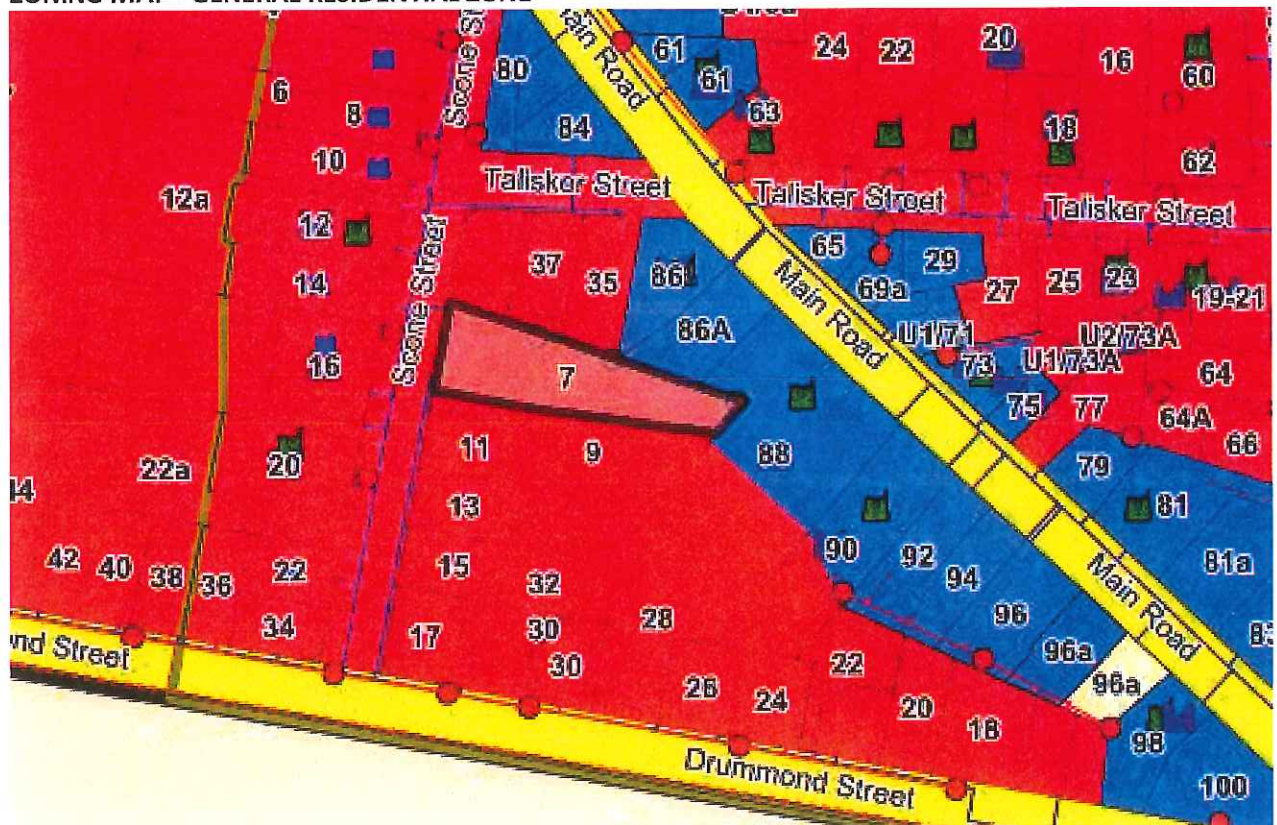
**ATTACHMENTS**

- A Application & plans, correspondence with applicant
- B Responses from referral agencies
- C Representations & applicant's response

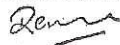
A  
AERIAL PHOTOGRAPH & SERVICES MAP for 7 SCONE STREET, PERTH

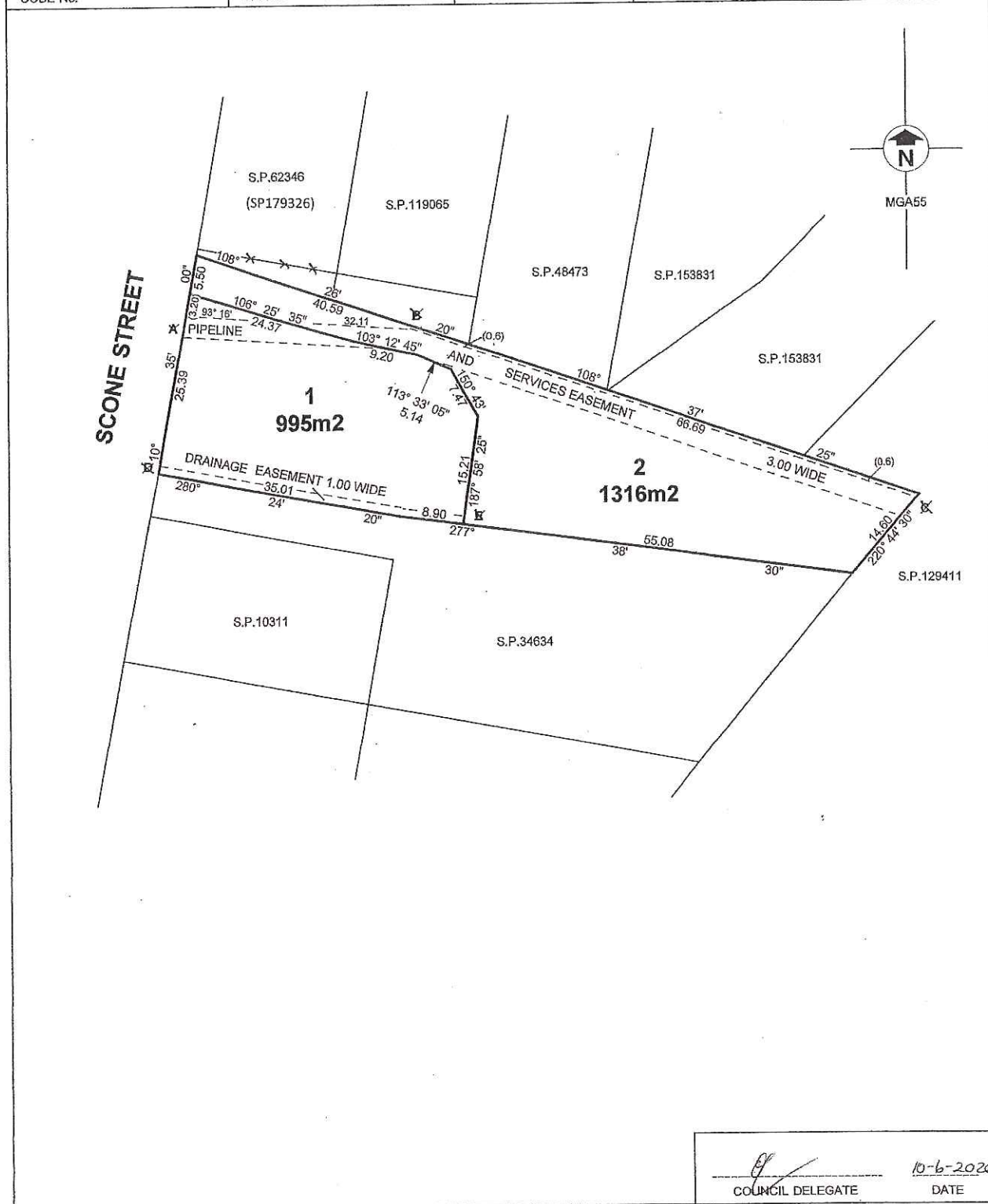



ZONING MAP - GENERAL RESIDENTIAL ZONE



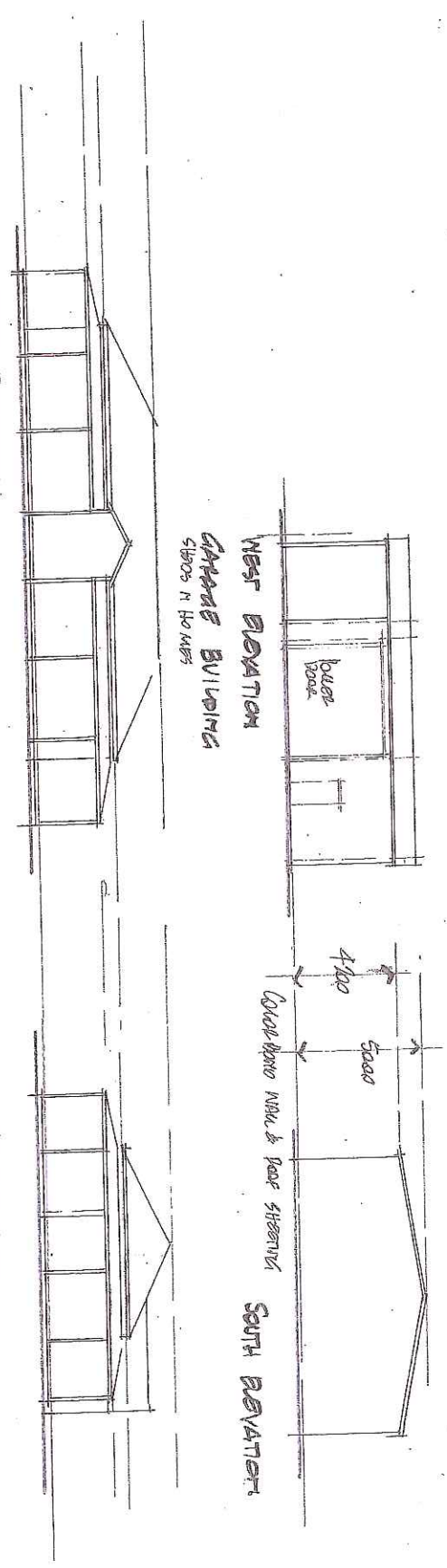
EXHIBITED

OWNER KAREN LOUISE PIRLOT AND JOHN VICTOR PIRLOT FOLIO REFERENCE C.T.10311-1 GRANTEE PART OF LOCATION TO BENNETT- PART OF 2A-OR-38PS GTD TO J BIRD AND WHOLE OF 6A-1R-3PS GTD TO J BIRD (SECTION K).		<b>PLAN OF SURVEY</b> BY SURVEYOR GARY I. FISHER LOCATION <b>TOWN OF PERTH</b> SCALE 1:500 LENGTHS IN METRES		REGISTERED NUMBER <b>SP179326</b> APPROVED EFFECTIVE FROM 23 JUL 2020  Recorder of Titles
MAPSHEET MUNICIPAL CODE No.	LAST UPI No.	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	




 10-6-2020  
 COUNCIL DELEGATE DATE

**EXHIBITED**



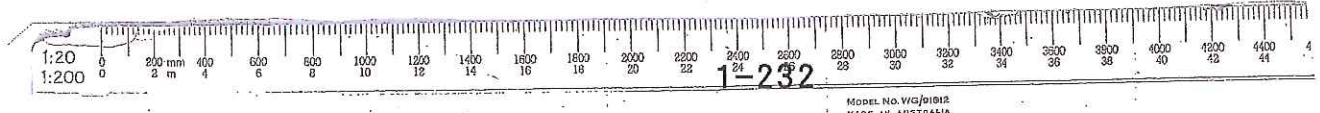
3000 3000  
SITE DEVELOPMENT PLAN

**EXHIBITED**

Proposed Residence  
75 LONG STREET PERTH  
FOR ME & MRS C & B FIVER

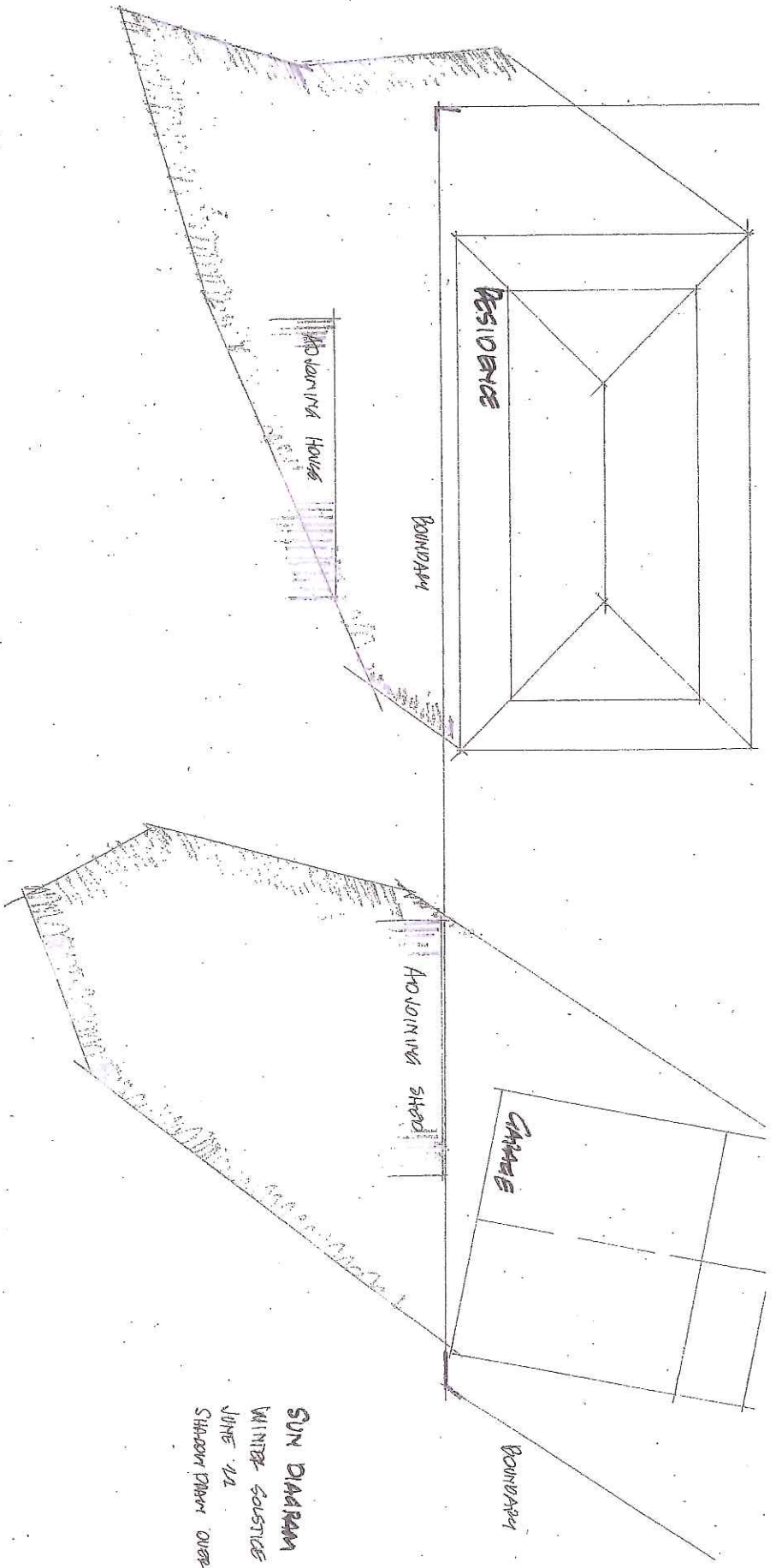
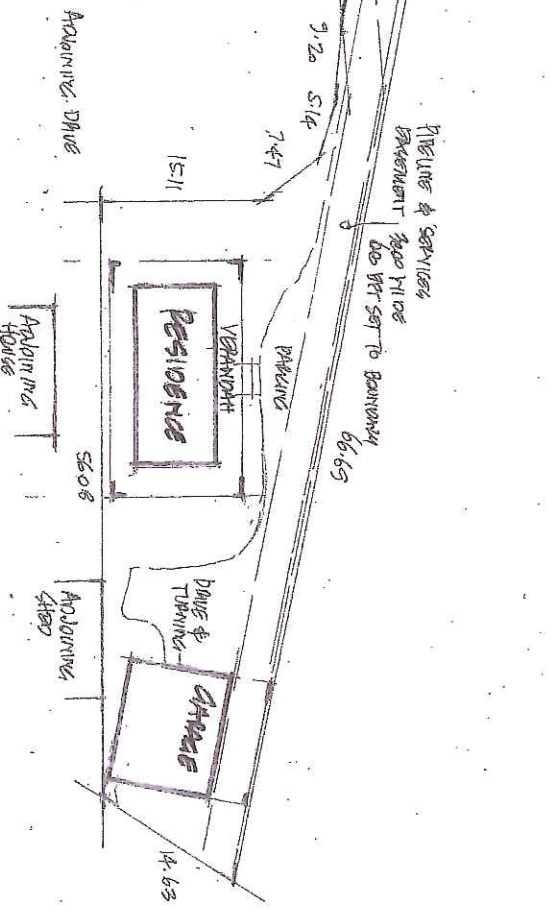
ALAN SHARREN ARCHITECT 56710  
BUILDING DESIGN SERVICE 6352316  
47 BUNNOR ST SCOTTSDALE

SITE LAYOUT & BUILDING ELEVATION  
SCALE 1:200 AND 1:100 177B-1



MODEL NO. WG/1012  
MADE IN AUSTRALIA

**SITE PLAN**  
SCALE 1:500  
SITE AREA 1316 M<sup>2</sup>

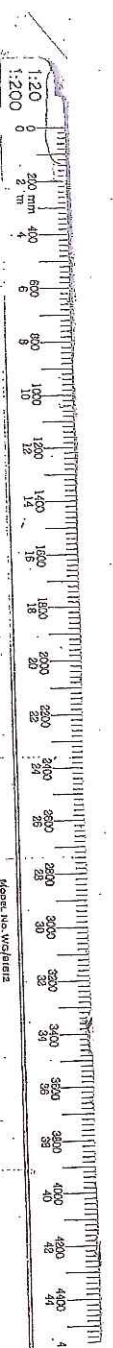
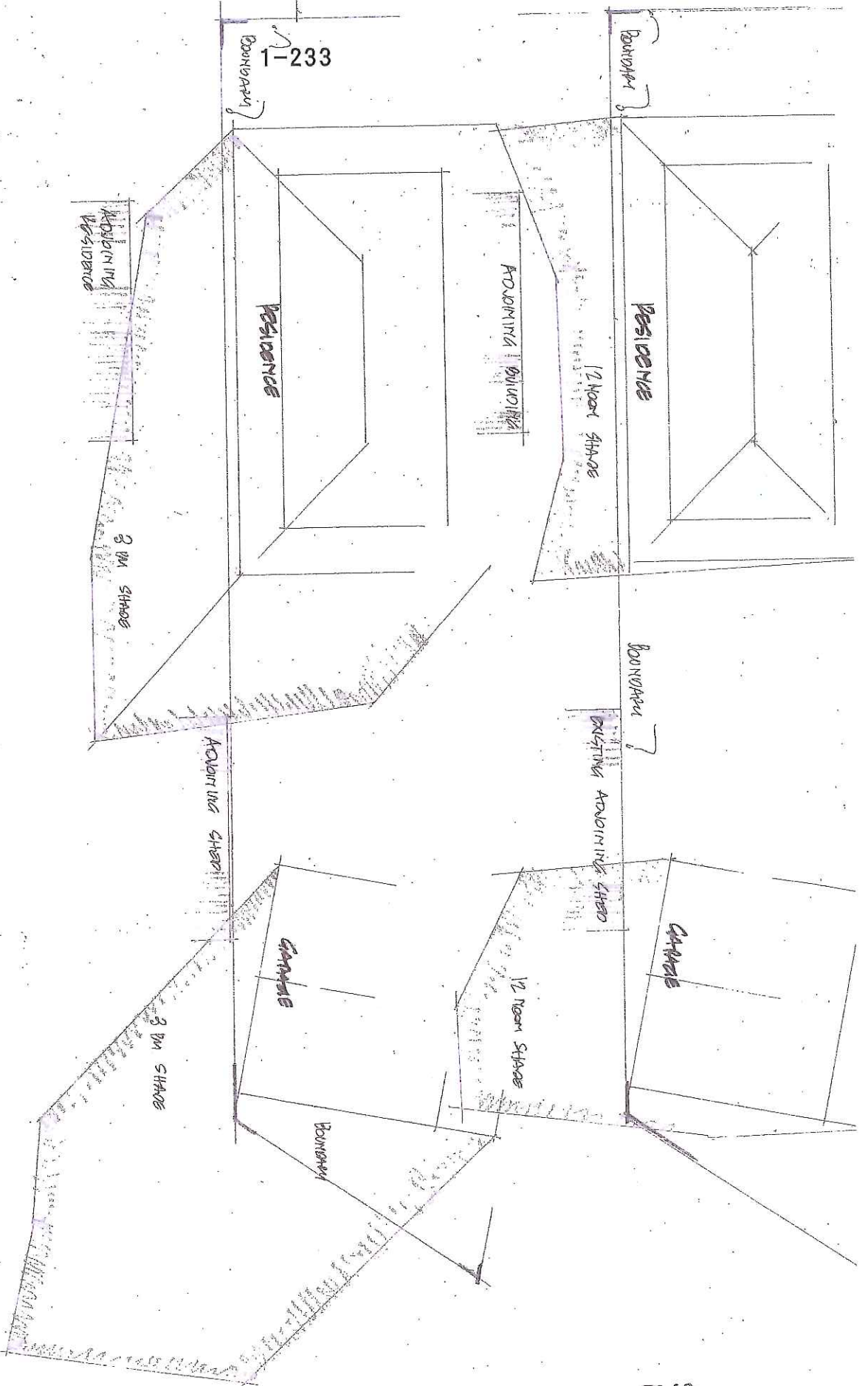


**EXHIBITED**

**PROPOSED RESIDENCES**  
7 STONE STREET PERM4  
FOR MR & MRS C & B FLOBER

ARCHITECT SHEPHERD ARCHITECTS DC 567D  
BUILDING DESIGN SERVICES  
47 EVELING STREET SCOTTSDALE 6352316

**SITE PLAN** **SUN DIAGRAM**  
SCALE 1:500 1:200  
1778-2

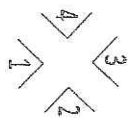


SUN DIAGRAM  
12 NOON

SUN DIAGRAM  
3 PM

WINTER SOLARICE  
JUNES 22  
SHADOWN PATTERN  
P.C. HARVEY TAYLOR  
**EXHIBITED**

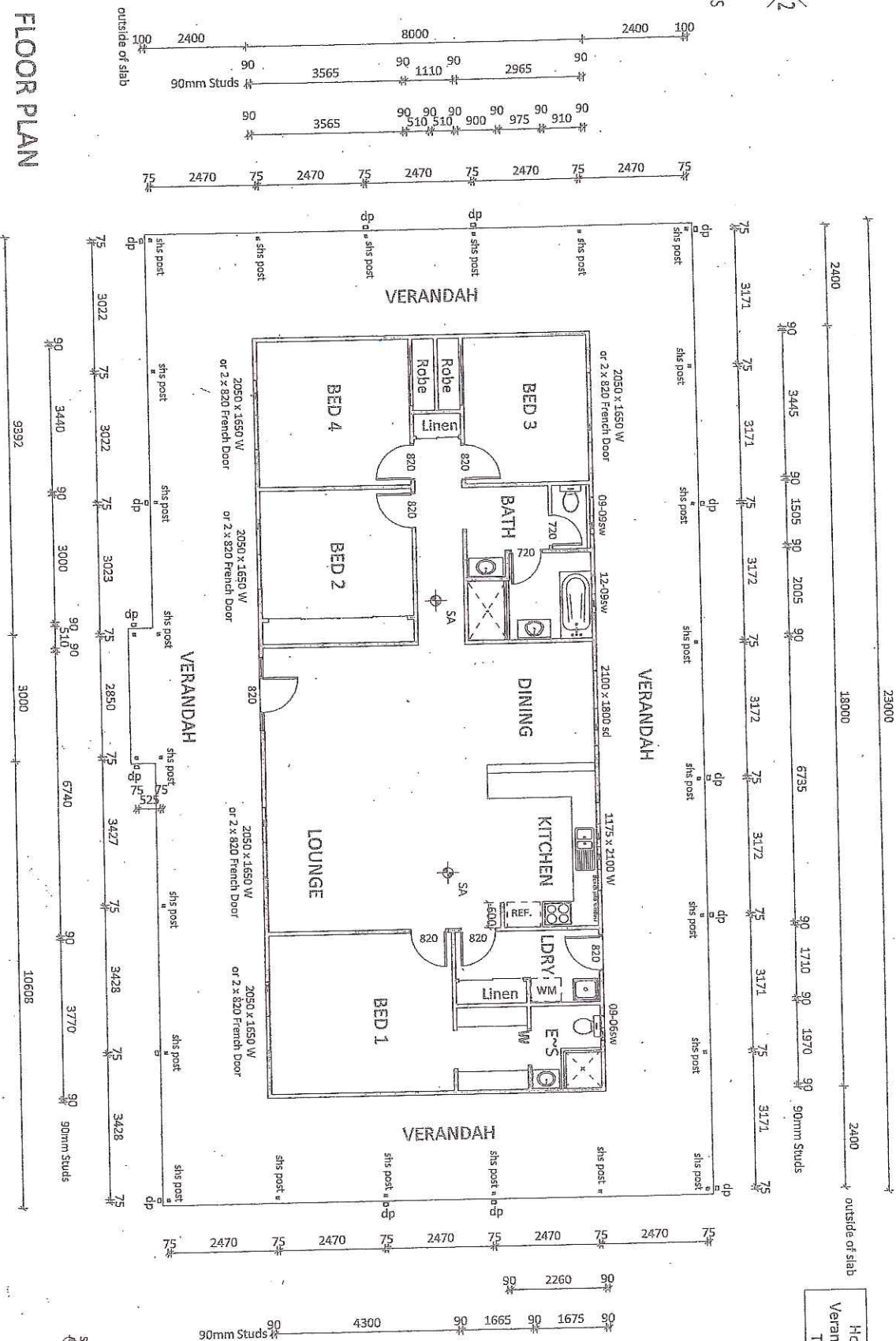
**PROPOSED RESIDENCE**  
7 SCANS STREET PERTH  
PERTH MAP & MRS C & B FIDLER  
ANOTHER SHADOWN APPARENT AT 5670  
BUILDING DESIGN SERVICE  
47 RIVERVIEW ST SCARSDALE 6352316  
**SHADE DIAGRAMS**  
SCALE: 1:200 AUGUST 17 1982



ELEVATIONS

1-234

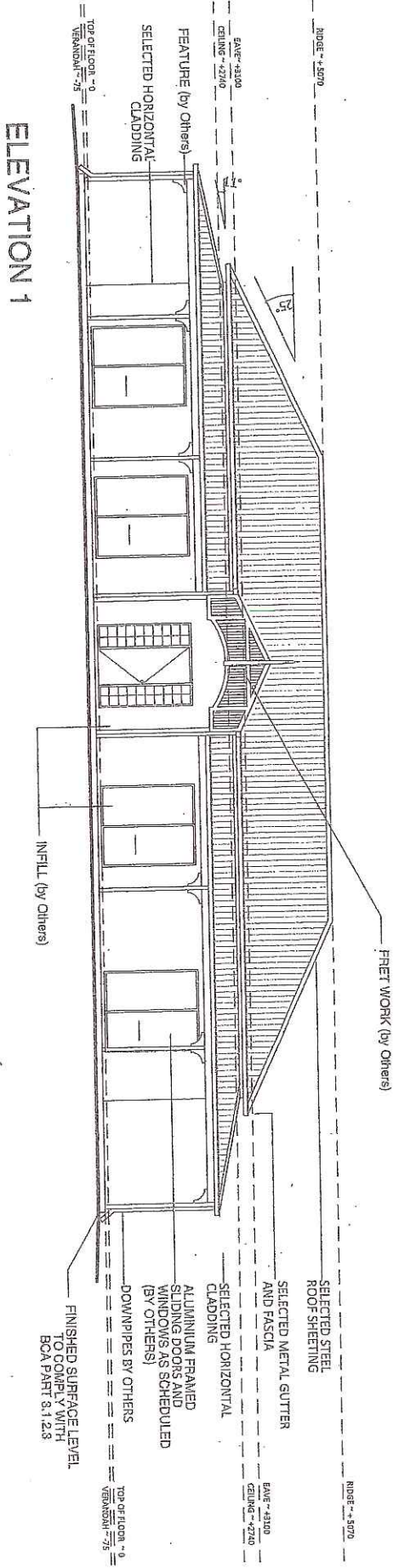
FLOOR PLAN



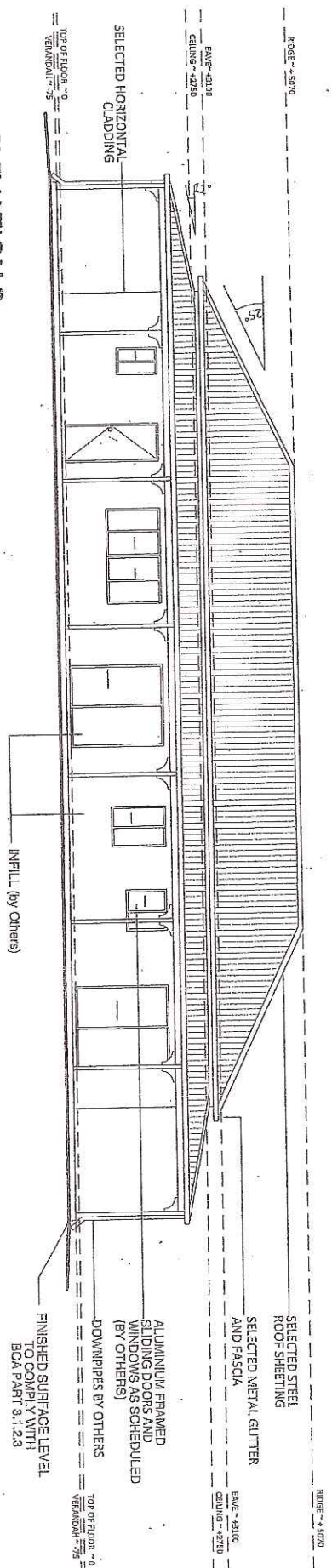
House : 144.0 m<sup>2</sup>  
 Verandah : 148.8 m<sup>2</sup>  
 Total : 292.8 m<sup>2</sup>

EXHIBITED

Purchaser Name: Balya & Olive Fielder  
 Site Address: 7 Scane Street Palm TMS 7300 Australia  
 Drawing # SLAN20027 - 2  
 Print Date: 27/04/20  
 Engineering Page 2 of 12 @ Copyright Staship Pty Ltd  
 Seller: Staship Homes, Laureston  
 Alison Piv Ltd  
 Phone: 0457 204110  
 Fax:   
 Email: info@stishomes.com.au  
 TMC ENGINEERING PTY LTD  
 ACN: 610 855 250  
 ME VUST (Registered) NER Structural & CIVIL 2741240  
 QLD: RPFDQ No. 19730 VICA ECH40404 TMS: COP9888 NT: 225561ERS  
 Practising Professional Structural & CIVIL Engineers  
 Signature: R. Nancarrow  
 Date: 27/04/20



ELEVATION 1

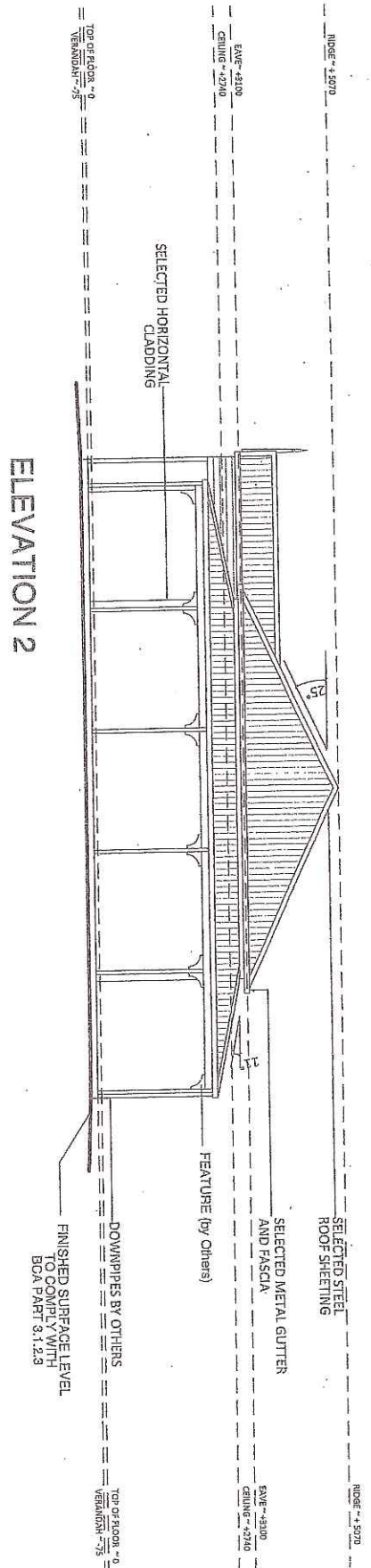


ELEVATION 3

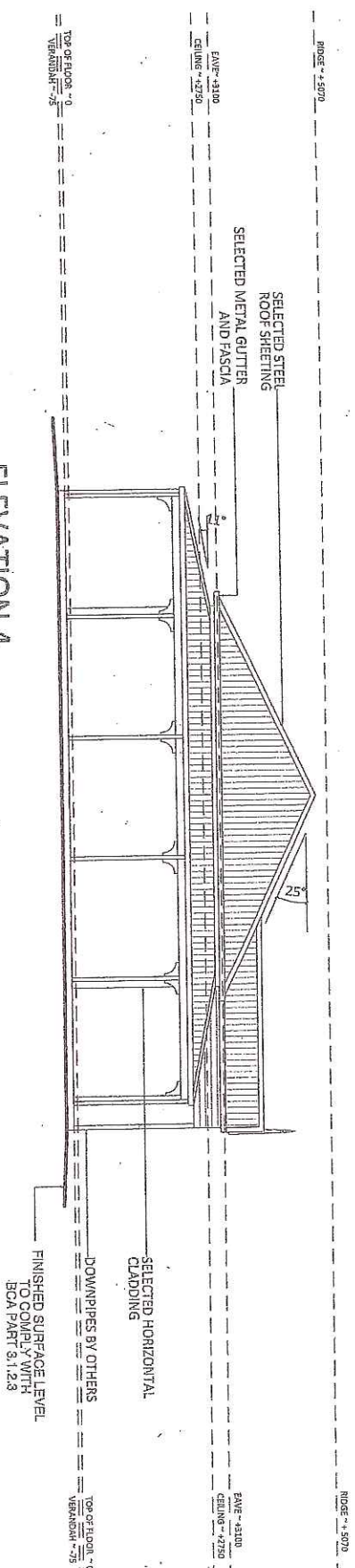
EXHIBITED

Purchaser Name: Baly & Olive Fidler Site Address: 7 Soame Street Perth TAS 7200 Australia Drafting # SLA200027 -2 Print Date: 27/04/20		Engineering Page 3 of 12 © Copyright Sharnoff Pty Ltd		Sales: Sharnoff Homes Launceston Altona Pty Ltd Phone: 0457 20410 Fax: Email: <a href="mailto:ian.sharnoff@sharnoffhomes.com.au">ian.sharnoff@sharnoffhomes.com.au</a>		TNC ENGINEERING PTY LTD ACN: 610 856 280 ME Aust. Registered (NER Structural & CIV) 274240 QLD: RPE/CL/No. 13750, VIC: EIC/4/04/ 75; COB/66; NT: 22592155; Practising Professional Structural & CIV Engineers Signature: <i>[Signature]</i> R. Nancarrow Date: 27/04/20	
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ELEVATION 2

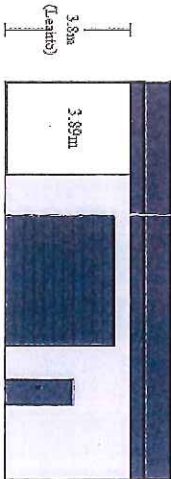
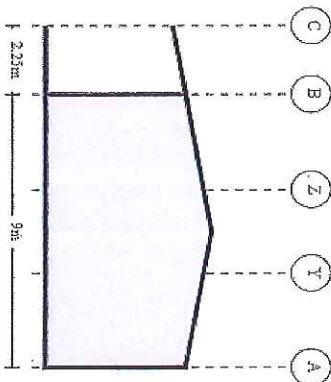
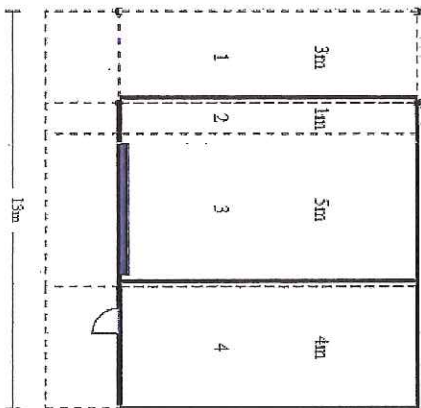
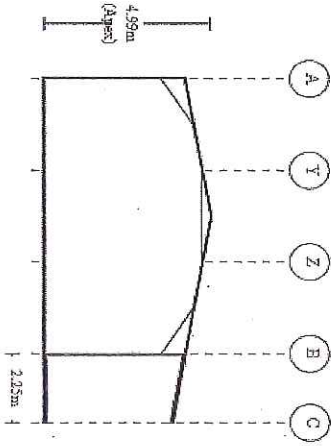
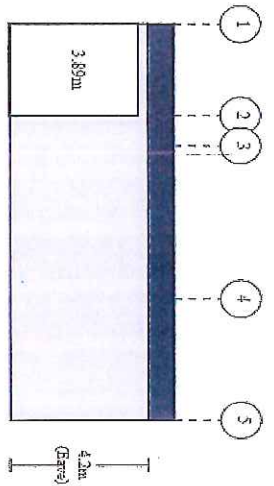


ELEVATION 4

EXHIBITED

Purchaser Name: Bayly & Coker Polder Site Address: 7 Scots Street Perth WA 6000 Australia Drawing #: SLAN200027 - 2		Engineering Page 4 of 12 @ Copyright Sleek IP Pty Ltd		Seller: Sheds n Homes Launceston Alisco Pty Ltd Phone: 0437120410 Fax: Email: anthamson@shedsnhomes.com.au		TNC ENGINEERING PTY LTD ACN: 610 859 280 ME: AULE (Registered NER Structural & CIVIL) 2741240 QLD: REPCO, INC. 19730 NCA, ECHO, INC. 70299888 NT: 225521 ESI, Pledging Professional Structural & Civil Engineers	
Print Date: 27/04/20		Signature:  R. Nananaw Date: 27/04/20					

1-237



Purchaser Name: Betty & Cive Trailer  
 Site Address: 7 Scome Street Path TAS 7300 Australia  
 Drawing# SLAN200028 - 3

Print Date: 30/03/20  
 Amended Date: 29/05/20 - RH  
 Layout  
 Not to Scale  
 © Copyright Stealix IP Pty Ltd

Seller: Sheds n Homes Launceston  
 Altec Pty Ltd  
 Phone: 0437120410  
 Fax: 0437120410  
 Email: hannah@shedsnhomes.com.au

TNC ENGINEERING PTY LTD  
 A/CN: 610 885 250  
 M/E/As: (Registered NER Structural & Civil) 2741240  
 QLD: P/E/C/N: 13730 VIC: E/C/H/O/E: 1751 CO3866; N.T.: 22552155  
 Practising Professional Structural & Civil Engineers  
 Signature: *R. Nancarrow* R. Nancarrow  
 Date: 30/03/20

**Amended EXHIBITED**  
**29.05.20**

## Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-0081	Council notice date	18/08/2020
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2020/01239-NMC	Date of response	24/08/2020
TasWater Contact	David Boyle	Phone No.	0436 629 652
<b>Response issued to</b>			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
<b>Development details</b>			
Address	7 SCONE ST, PERTH	Property ID (PID)	6746196
Description of development	New dwelling and shed with carport		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Building Design Services	Site Plan / 1778-1		April 2020
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>56W CONSENT</b></p> <p>1. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.</p> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <p>2. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.</p> <p style="padding-left: 40px;">The payment is required within 30 days of the issue of an invoice by TasWater.</p>			
<b>Advice</b>			
<b>General</b>			
<p>For information on TasWater development standards, please visit <a href="http://www.taswater.com.au/Development/Development-Standards">http://www.taswater.com.au/Development/Development-Standards</a></p> <p>For application forms please visit <a href="http://www.taswater.com.au/Development/Forms">http://www.taswater.com.au/Development/Forms</a></p>			
<b>56W Consent</b>			
<p>The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;</p>			

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (c) A note on the plan indicating how the pipe location and depth were ascertained.

#### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### Authorised by



**Jason Taylor**

Development Assessment Manager

#### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN  
DATE: 18 August 2020  
REF NO: PLN-20-0081; 112100.04  
SITE: 7a Scone Street, Perth  
PROPOSAL: Dwelling & Shed (vary rear and side [S & N] setbacks,  
private open space provisions; within heritage precinct)  
APPLICANT: J & B Fidler  
REASON FOR REFERRAL: HERITAGE PRECINCT  
*Local Historic Heritage Code*  
*Heritage Precincts Specific Area Plan*

Do you have any objections to the proposal: No

The proposed dwelling and Shed will be located on an internal lot and will therefore not form part of the immediate historic streetscape.

The shed/Garage is located in the back corner with no impact on the streetscape.

The scale, form, height, and architectural detailing are all acceptable.

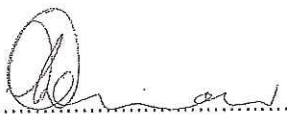
The proposal will not have any adverse impact on the historic heritage values of the streetscape.

I have no objection to the proposal.

*Email referral as word document to David Denman – [david@denman.studio](mailto:david@denman.studio)*

*Attach public exhibition documents*

*Subject line: Heritage referral PLN-20-0081 - 7a Scone Street, Perth*



David Denman (Heritage Adviser)

Date: 25/8/2020

This is a written representation for Development Application:

**PLN -20 – 0081 – 7a Scone Street Perth**

This representation is in regard to the variations in the development application relating to the Northern Midlands Interim Planning Scheme. Listed on the DA as discretionary for - Dwelling & Shed (Vary rear & side [S & N] setbacks, private open space provisions, within heritage precinct)

Our main concern is the side setback.

**10.4.2 Setbacks and building envelope for all dwellings**

Objective: To control the siting and scale of dwellings to:

(a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and **Does this DA provide reasonably consistent separation between dwellings on adjacent sites? The side setback is 0.5m from the boundary of 9 Scone Street.**

(b) assist in the attenuation of traffic noise or any other detrimental impacts from roads with high traffic volumes; and

(c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and **Does the size and height of the garage/shed provide consistency in the apparent scale, bulk, massing and proportion of dwellings?**

(d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space. **Does the house and shed/garage provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space of 9 Scone Street?**

**So, in relation to the Acceptable solutions - A3 and the Performance Criteria - P3, does this DA meet the A3 acceptable solutions and P3 performance criteria in relation to 9 Scone Street, Perth? If these setbacks are left as they are, how detrimental will this be to 9 Scone Street being able to have ample sunlight to a habitable room (dining room and living room on this side) and overshadowing of open private space.**

**A3**

A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:

(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:

(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and

(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and

(b) only have a setback within 1.5m of a side boundary if the dwelling:

(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot;  
or

(ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).

**P3**

The siting and scale of a dwelling must:

(a) not cause unreasonable loss of amenity by:

(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or

(ii) overshadowing the private open space of a dwelling on an adjoining lot; or

(iii) overshadowing of an adjoining vacant lot; or

(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and

(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

Representation from:

John V and Karen L Pirlot

7 Scone Street, Perth, 7300

Written representations in accordance with section 57(5) of the Land Use and Planning Approvals Act 1993 may be made during this time to the General Manager, Mailed to PO Box 156, Longford 7301, delivered to Council offices or a pdf letter emailed to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

# Applicants Response

This is a written representation for Development Application:

## PLN -20 - 0081 - 7a Scone Street Perth

This representation is in regard to the variations in the development application relating to the Northern Midlands Interim Planning Scheme. Listed on the DA as discretionary for - Dwelling & Shed (Vary rear & side [S & N] setbacks, private open space provisions, within heritage precinct)

Our main concern is the side setback.

### 10.4.2 Setbacks and building envelope for all dwellings

Objective: To control the siting and scale of dwellings to:

(a) provide reasonably consistent separation between dwellings on adjacent sites and a dwelling and its frontage; and **Does this DA provide reasonably consistent separation between dwellings on adjacent sites?**  
The side setback is 0.5m from the boundary of 9 Scone Street. *YES. 9 SCONE ST IS 6.5m FROM FENCE.*

(b) assist in the attenuation of traffic noise or any other detrimental impacts from roads with high traffic volumes; and *NORMAL DOMESTIC VEHICLES AND MOTOR HOME.*

(c) provide consistency in the apparent scale, bulk, massing and proportion of dwellings; and **Does the size and height of the garage/shed provide consistency in the apparent scale, bulk, massing and proportion of dwellings?**  
*YES. SAME CONSTRUCTION AND COLOURING OF SURROUNDING BUILDINGS.*

(d) provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space. **Does the house and shed/garage provide separation between dwellings on adjacent sites to provide reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space of 9 Scone Street?**  
*YES. 7 METRES FROM PROPOSED BUILDING.*

**So, in relation to the Acceptable solutions - A3 and the Performance Criteria - P3, does this DA meet the A3 acceptable solutions and P3 performance criteria in relation to 9 Scone Street, Perth? If these setbacks are left as they are, how detrimental will this be to 9 Scone Street being able to have ample sunlight to a habitable room (dining room and living room on this side) and overshadowing of open private space.**

### A3

*NO DETRIMENTAL EFFECT TO 9 SCONE ST BECAUSE OF DISTANCE, SOME SHADING OCCURS FROM THEIR OWN SHEDS.*

A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:

(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:

(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and

(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and *SEE (a)*



PLAN 9

DRAFT PLANNING SCHEME AMENDMENT 03/2020 & PLANNING APPLICATION PLN-20-0071  
2A SAUNDRIDGE ROAD, CRESSY

ATTACHMENTS

- Draft amendment and permit
  
- Representation

**NORTHERN MIDLANDS INTERIM  
PLANNING SCHEME 2013**

**INSTRUMENT OF CERTIFICATION**

The Northern Midlands Council resolved at its meeting of 29 June 2020 to certify that draft Amendment 03/2020 of *Northern Midlands Interim Planning Scheme 2013* meets the requirements specified in section 32 of the *Land Use Planning and Approvals Act 1993*.

Draft Amendment 03/2020:

To amend the text provisions of the *Northern Midlands Interim Planning Scheme 2013* Particular Purpose - Future Residential Zone, as follows:

- Delete clause 32.4.2 A1 "No subdivision".
- Insert clause 32.4.2 A1 "No subdivision, except on CT 14961/1 in accordance with PLN-20-0071".

The **COMMON SEAL** of the )  
Northern Midlands Council is )  
affixed hereto, pursuant to the )  
Council's resolution of )  
**29 June 2020** in the presence of: )



*M Knowles*

.....  
Mayor

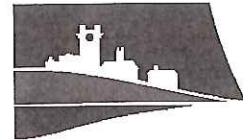
A handwritten signature in black ink, appearing to be "G. Knowles", is written over a horizontal line.

.....  
General Manager

# Northern Midlands Interim Planning Scheme 2013

## Planning Permit PLN-20-0071

DRAFT



NORTHERN  
MIDLANDS  
COUNCIL

In accordance with Division 2 of the *Land Use and Planning Approvals Act 1993*, the Northern Midlands Council (Planning Authority) hereby grants a permit for –

### ADDRESS OF LAND:

2A SAUNDRIDGE ROAD CRESSY

Property No: 6750793  
Subdivision No: 27/003/880  
CT 14961/4

### THIS PERMIT ALLOWS FOR:

The land at 2A SAUNDRIDGE ROAD, Cressy to be developed and used for a 2 lot subdivision in accordance with application PLN-20-0071, and subject to the following conditions:

#### 1 LAYOUT NOT ALTERED

The use and development must be in accordance with the endorsed documents.

#### 2 WORKS & INFRASTRUCTURE DEPARTMENT CONDITIONS

##### 2.1 Stormwater

- Confirmation must be provided that lot 1 has a stormwater connection to the kerb in Saundridge Road, otherwise, lot 1 must be provided with a connection to the kerb in Saundridge Road.
- The applicant must enter into, and comply with all conditions of, an agreement under Part 5 of the Land Use Planning & Approvals Act 1993 with the Northern Midlands Council to provide for the following:
  - The owner of lot 2 agrees to construct an absorption drain prior to any building works on lot 2.
  - The drain shall be sized taking into account the saturated permeability of the soil
  - The drain shall be sized to meet the full range of storms for the 10 year ARI for storage capacity with an additional safety factor volume 50% above the calculated need.
  - The drain shall be located to command the stormwater discharge from all areas of the site.
  - The drain shall be installed along the contour at a minimum of 6.0 metres clear of boundaries down slope of any structures.
  - The installation shall be located to ensure there is no concentrated discharge from any structures.
  - A system operation / maintenance manual is to be provided and approved by the Works Manager.
  - The system shall be marked on an "As Constructed" plan to Council requirements with the plan provided to Council.
  - The system is to be installed prior to site occupancy, operated and maintained by the owner in conformity with the manufacturer or design engineer's instruction manual and any additional conditions as required by Council. Any nuisance / concentrated discharge from the facility shall be rectified by the owner to Council's requirements and at the owner's expense within 14 days notice of the nuisance.

DRAFT

2.2 Access (Urban)

- A gravel driveway crossover and apron must be constructed from the edge of Saundridge Road to the property boundary of lot 2 in accordance with Council standards.
- Access works must not commence until an application for vehicular crossing has been approved by Council.

2.3 As constructed information

As Constructed Plans and Asset Management Information must be provided in accordance with Council's standard requirements.

2.4 Municipal standards & certification of works

Unless otherwise specified within a condition, all works must comply with the Municipal Standards including specifications and standard drawings. Any design must be completed in accordance with Council's subdivision design guidelines to the satisfaction of the Works & Infrastructure Department. Any construction, including maintenance periods, must also be completed to the approval of the Works & Infrastructure Department.

2.5 Works in Council road reserve

- Works must not be undertaken within the public road reserve, including crossovers, driveways or kerb and guttering, without prior approval for the works by the Works Manager.
- Twenty-four (24) hours notice must be given to the Works & Infrastructure Department to inspect works within road reserve, and before placement of concrete or seal. Failure to do so may result in rejection of the vehicular access or other works and its reconstruction.

2.6 Separation of stormwater services

- All existing stormwater pipes and connections must be located.
- Where required, pipes are to be rerouted to provide an independent system for each lot.
- Certification must be provided that stormwater services have been separated between the lots.

2.7 Payment in lieu of works

A payment of \$19,974 (68m of kerb = \$7,480; 136 sq. m of road construction = \$9,520; 2 x concrete driveway aprons = \$2,614) shall be made to cover the cost of future kerb and road widening works and a concrete driveway to lot 1 and 2.

2.8 Easements to be created

Easements must be created over all Council owned services in favour of the Northern Midlands Council. Such easements must be created on the final plan to the satisfaction of the General Manager.

2.9 Pollutants

- The developer/property owner must ensure that pollutants such as mud, silt or chemicals are not released from the site.
- Prior to the commencement of the development authorised by this permit the developer/property owner must install all necessary silt fences and cut-off drains to prevent soil, gravel and other debris from escaping the site. Material or debris must not be transported onto the road reserve (including the nature strip, footpath and road pavement). Any material that is deposited on the road reserve must be removed by the developer/property owner. Should Council be required to clean or carry out works on any of their infrastructure as a result of pollutants being released from the site the cost of these works may be charged to the developer/property owner.

2.10 Nature strips

Any areas of nature strip that are disturbed during construction must be topped with 100mm of good quality topsoil and sown with grass. Grass must be established and free of weeds before the final plan is sealed.

**3 TasWater conditions**

Sewer and water services shall be provided in accordance with TasWater's Submission to Planning Authority Notice (reference number TWDA 2020/00600-NMC, dated 19/05/2020) – see Appendix A.

**4 Sealing of Plans**

The final plan of survey will not be sealed until all conditions have been complied with.



DES JENNINGS

**GENERAL MANAGER**

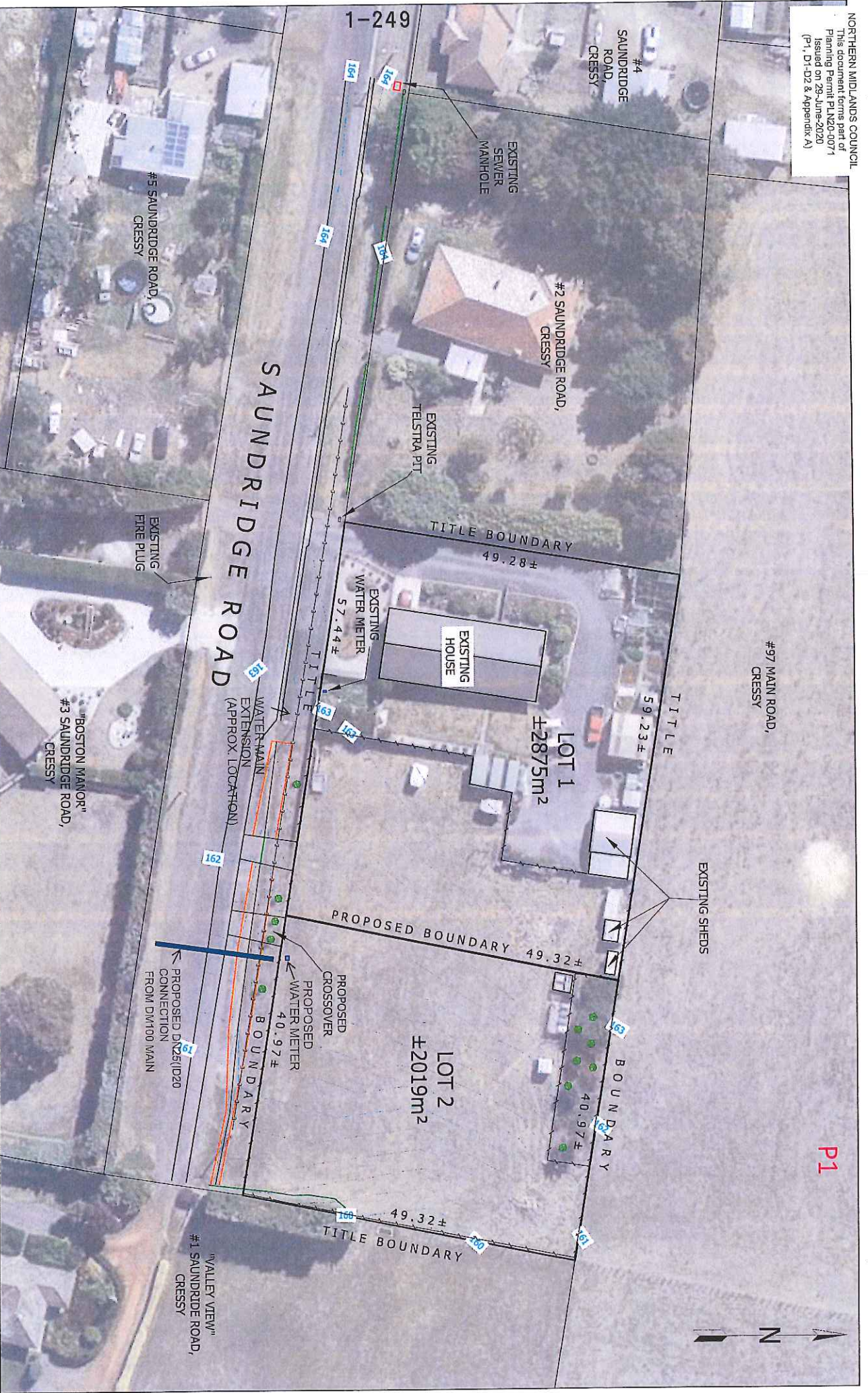
Date of Decision: 29 June 2020

DRAFT

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Notes:

- A This permit lapses after a period of two years from the date of granting of this permit if the use or development has not substantially commenced within that period.
- B The issue of this planning permit does not certify compliance with the *Building Code of Australia*, the *Disability Discrimination Act 1992* or any other applicable legislation.
- C All new road reservation and/or drainage reserve areas shall be transferred to Council prior to takeover of the subdivision works as council assets at no cost to Council.
- D This permit has no force or effect until such time as the associated Planning Scheme Amendment is approved by the Tasmanian Planning Commission.
- E Attention is directed to Section 39 of the Land Use Planning and Approvals Act 1993: "... representations in relation to that draft amendment may be submitted to the authority by any person before the expiration of the exhibition period referred to in section 38(1)(a) ... 28 days (or a longer period agreed to by the planning authority and the Commission) from the date, specified in the notice, on which the public exhibition of those documents is to begin." (The authority is the Northern Midlands Council.)



P1

- Notes:
1. HORIZONTAL DATUM IS PLANE BASED ON MGA94
  2. VERTICAL DATUM IS AHD83
  3. CONTOUR INTERVAL IS 0.2m, INDEX 1.0m

PROPOSED 2 LOT SUBDIVISION  
 OWNERS: STEVEN VICTOR JOHNSON & ROSELY JEAN JOHNSON  
 2a SAUNDRIDGE ROAD, CRESSY 7302  
 C.T. 14961-4

	10 Goodman Court Invermay TAS 7248 PO Box 593 Mowbray Heights TAS 7248 Phone (03) 6332 3764 Fax (03) 6332 3764 Email: admin@woolcottsurveys.com.au	Job Number L191106
	Drawn JAG	Date 03/04/20
File name L191106 Prop PlanV2_030420.dwg	Scale 1:500@A3	Sheet 1 of 1



**WOOLCOTT SURVEYS**



Our Ref: L191106  
Date: 11 August 2020

General Manager  
Northern Midlands Council  
13 Smith Street  
LONGFORD 7301

Dear Council

**REPRESENTATION ON DRAFT PERMIT PLN-20-0071  
2A SAUNDRIDGE ROAD, CRESSY**

We thank the staff and Council for the certification of the draft amendment and subdivision at 2A Saundridge Road, Cressy.

By letter of 29 June 2020, we raised some questions and concerns regarding condition 2.7, which requires a payment of \$19,974 for road improvements.

We understand that the contribution relates to road widening and kerbing to the full frontage of the land and two concrete driveways.

For the reasons below, we do not consider that the conditions is fair or reasonable having regard to the characteristics of the amendment and subdivision. During the advertising period, we have had discussions with Council staff regarding a fairer and more reasonable condition but at the time of writing have not had any firm response.

The draft amendment allows one additional lot. There is no potential for multiple dwellings or for further subdivision. As such, the proposal will generate a small increase in traffic only, and none of this traffic will be to the east of the crossover to lot 2. That is, all traffic from the additional lot will head west along Saundridge Road.

The property, along with adjoining land, is within a Future Residential Zone. At some point, the Future Urban Zone will be upgraded to residential zone and made available for subdivision. Traffic generation and circulation will be matters that are considered as part of any rezone. The upgrade of the Future Residential Zone will generate additional traffic movements along Saundridge Road that will be significantly greater than that generated by this one additional lot.

The condition does not describe when the payment will be used by Council to complete the works. Payment without works within a timeframe of one to two years is unreasonable and is nothing more than a tax of development.

**LAUNCESTON**

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PO Box 593, Mowbray TAS 7248  
P 03 6332 3760

**ST HELENS**

48 Cecilia St, St Helens  
PO Box 430, St Helens TAS 7216  
P 03 6376 1972

**HOBART**

Rear Studio, 132 Davey St,  
Hobart TAS 7000  
P 03 6227 7968

**DEVONPORT**

2 Piping Lane,  
East Devonport TAS 7310  
P 03 6332 3760



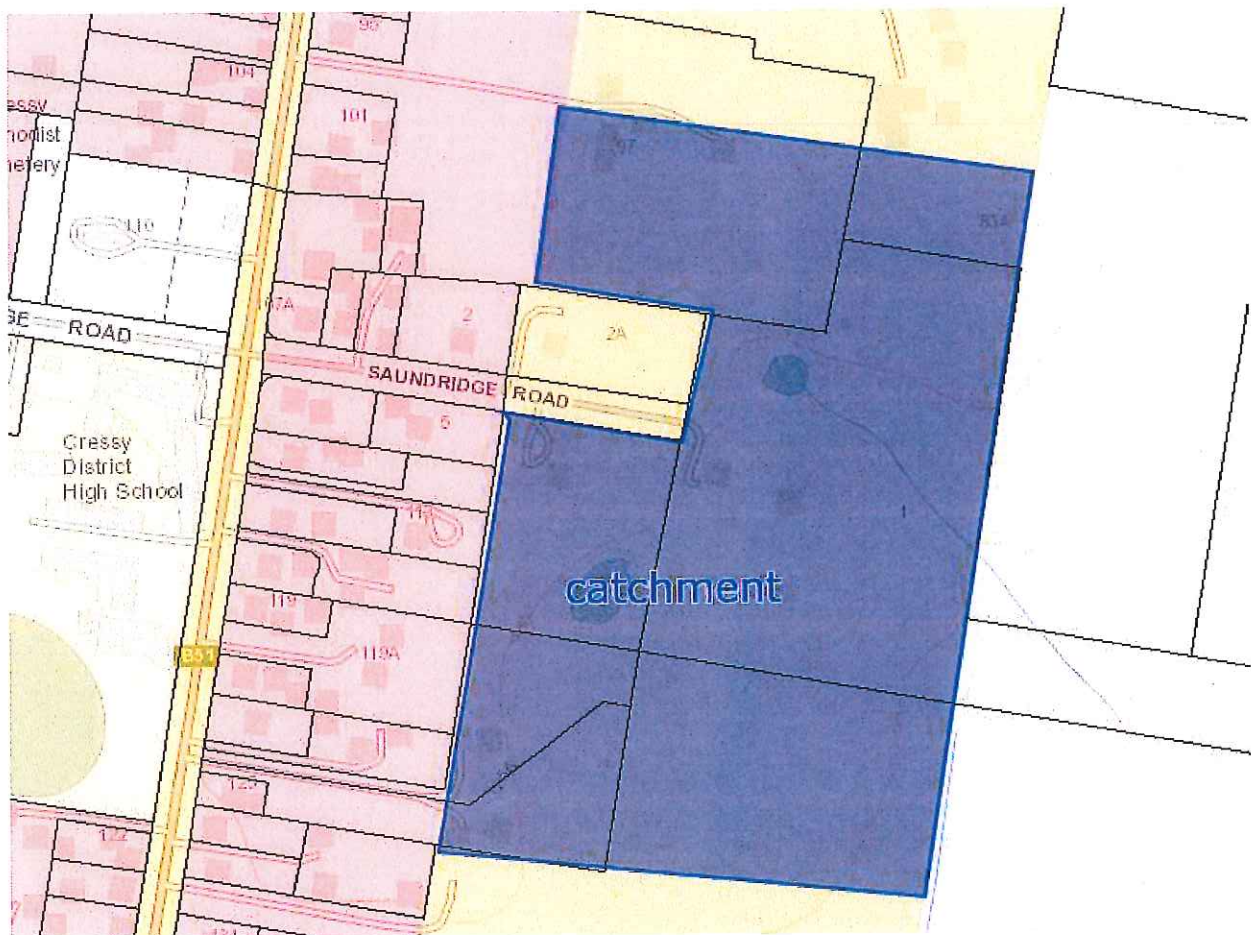
**WOOLCOTT SURVEYS**



In light of the above, we consider that the draft permit be amended:

- Such that any financial contribution to Council is not required until the land at the end of Saundridge Road is rezoned from a Future Urban Zone to a General Residential Zone or Low Density Residential Zone and that road widening works to Saundridge Road and budgeted and scheduled by Council; and
- Be apportioned on a land area basis to reflect the traffic generated from the subject site relative to all land in the Future Residential Zone.

As shown below, some 10.5ha of Future Residential Zone land would rely principally on Saundridge Road for access. The subject site represents less than 10% of this area, and therefore less than 10% of traffic generation.



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1-252



**WOOLCOTT SURVEYS**



We consider that a reasonable alternative condition would be to delete condition 2.7 and amend condition 2.1 to the effect that the Part 5 Agreement would also require:

- A payment of \$1190.00 to Council as a contribution to future kerb and road widening works and a payment of \$5200.00 to Council for two concrete driveway aprons if concrete aprons are not existing;
- Payment to be made on the commencement of works to Saundridge Road by Council following a rezoning of the future residential zone; and
- Rates of payment to increase by 2.5% per year; and
- The Agreement to be null and void if Council does not undertake with work within 15 years from the date of subdivision approval.

If you have any questions on this request please contact me on 0400 336 796.

King regards

**Shane Wells**  
**Senior Town Planner**

**LAUNCESTON**

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