

PLAN 2

PLANNING APPLICATION PLN-20-0176

96-102 FAIRLOUGH STREET (APPROVED LOT 30, WILL BE 102 FAIRLOUGH STREET), PERTH

ATTACHMENTS

- A Application & plans, correspondence with applicant

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- B Responses from referral agencies
- C Representations

1-413  
PLANNING APPLICATION

Proposal

ATTACHMENT

A

Description of proposal: ..... New 7-bedroom dwelling with deck & landings

.....  
.....  
.....  
.....  
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: ..... Lot 30, Diamond Park Estate, Perth 7300

.....

CT no: ..... TBC

Estimated cost of project \$..... 476,113.00..... (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes /  No  
If yes – main building is used as .....

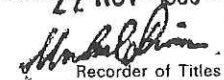
If variation to Planning Scheme provisions requested, justification to be provided:  
.....  
.....  
.....  
.....  
.....

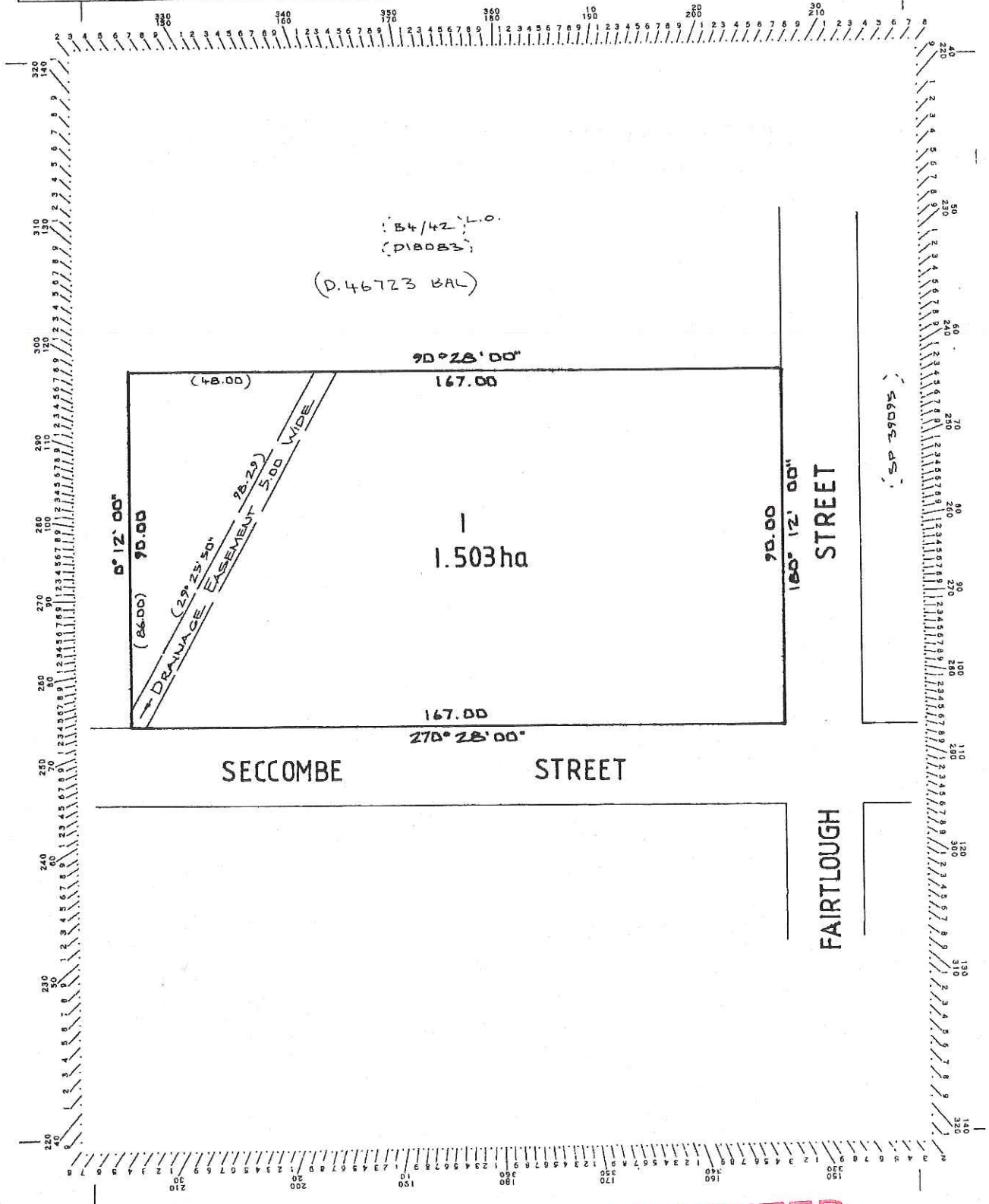
(attach additional sheets if necessary)

Is any signage required? ..... No

(if yes, provide details)

EXHIBITED

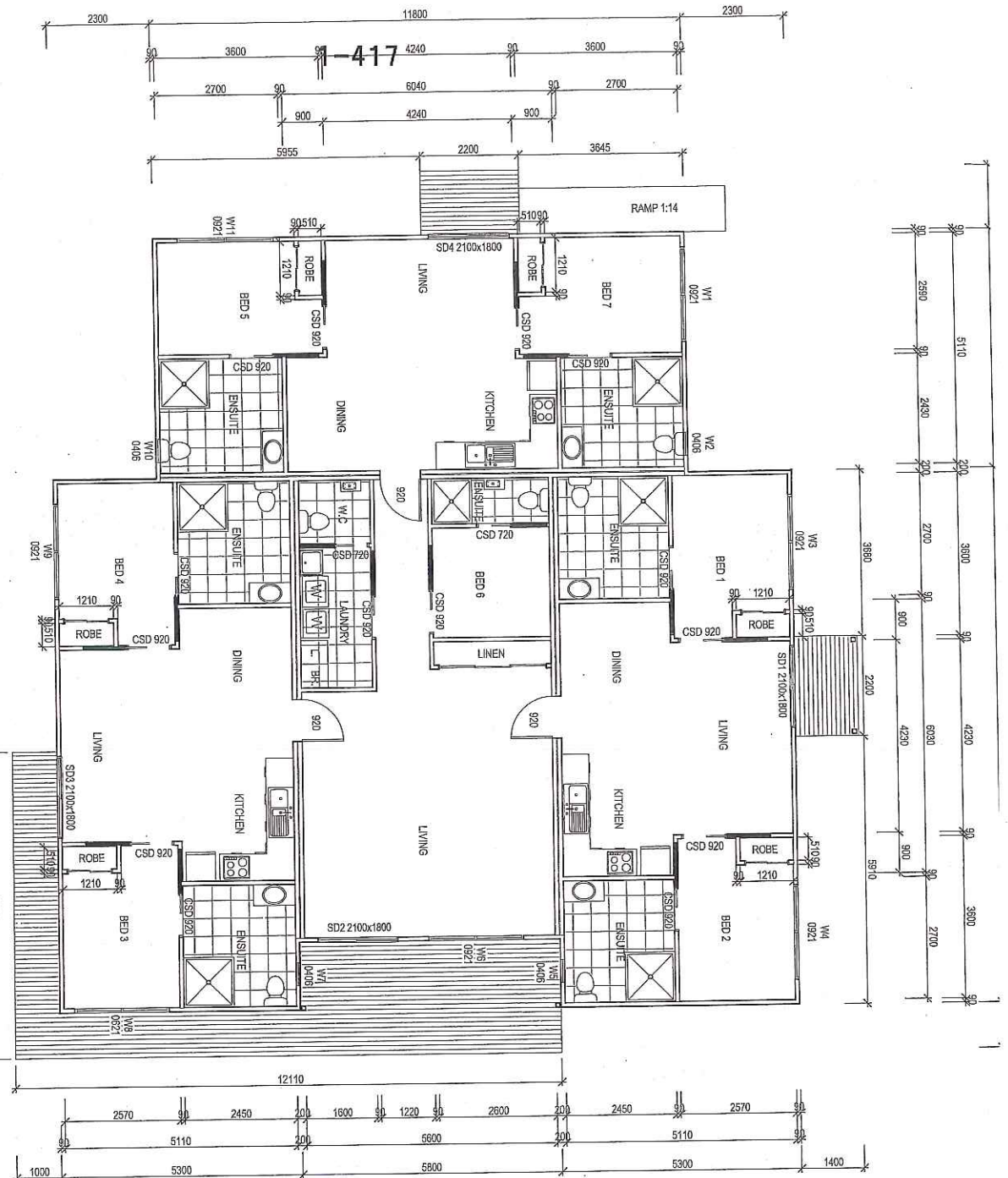
Owner: GEOFFREY PARNELL HUTCHINSON & KEITHA HUTCHINSON	PLAN OF SURVEY by Surveyor M. G. JACK of of land situated in the FISHER & JACK PTY LTD	Registered Number: <b>SP46765</b>
Title Reference: CT 4143-14	LAND DISTRICT OF CORNWALL	Approved Effective from: 22 NOV 1990
Grantee: PART OF LOT 1, 10 ACRES SEC EE LTD TO FREDERICK JAMES HOUGHTON.	PARISH OF PERTH SCALE 1: 1000 MEASUREMENTS IN METRES	 Recorder of Titles



EXHIBITED







**WINDOW SCHEDULE**

MARK HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	DG	4.3	.55
W2	400	DG	4.3	.55
W3	900	DG	4.3	.55
W4	900	DG	4.3	.55
W5	400	DG	4.3	.55
W6	900	DG	4.3	.55
W7	400	DG	4.3	.55
W8	600	DG	4.3	.55
W9	900	DG	4.3	.55
W10	400	DG	4.3	.55
W11	900	DG	4.3	.55
SD1	2100	DG	4.0	.61
SD2	1800	DG	4.0	.61
SD3	2100	DG	4.0	.61
SD4	1800	DG	4.0	.61

Area Schedule (Gross Building)

Name	Area	Area (sq)
DWELLING	247.28 m <sup>2</sup>	28.62
DECK	14.55 m <sup>2</sup>	1.57
LANDING	3.08 m <sup>2</sup>	0.33
LANDING	3.08 m <sup>2</sup>	0.33
LANDING	3.08 m <sup>2</sup>	0.33
<b>TOTAL</b>	<b>271.07 m<sup>2</sup></b>	<b>28.18</b>

CONSTRUCTION PLAN  
 SCALE 1:100

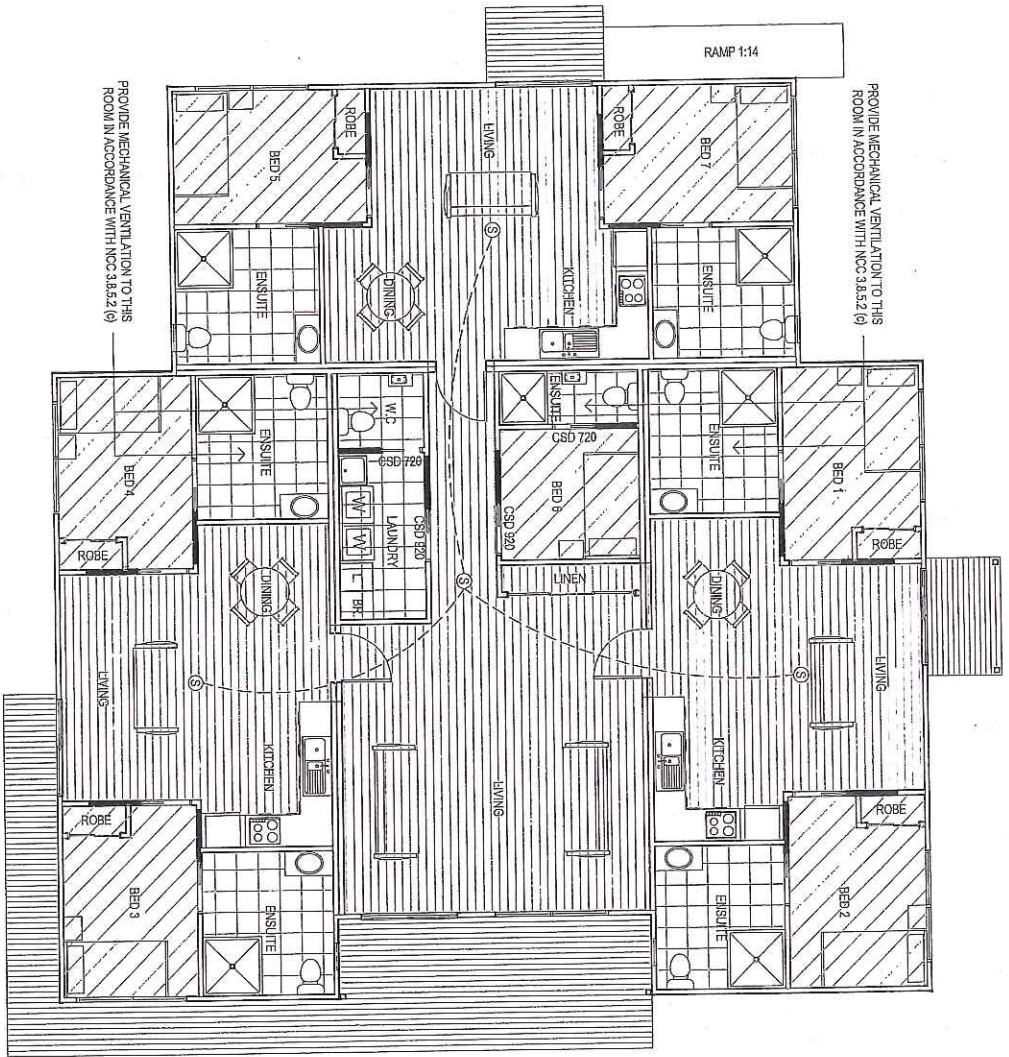
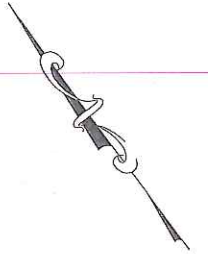
**EXHIBITED**

ISSUED FOR REVIEW

Client: SAAT  
 Project: PROPOSED DWELLING

Address: LOT 30 OF 84, 94, 96-102  
 FAIRTROUGH STREET, PERTH

Rev.	Amendment:	Date	Trn.	Accreditation No.
-	RE-ISSUED FOR REVIEW	24.09.20	O.J	Accredited Building Designer
-	ISSUED FOR REVIEW	29.05.20	O.J	Accredited Building Designer



**FLOOR PLAN**  
SCALE 1:100

Area Schedule (Gross Building)

Name	Area	Area (sq)
DWELLING	247.28 m <sup>2</sup>	26.62
DECK	14.55 m <sup>2</sup>	1.57
LANDING	3.08 m <sup>2</sup>	0.33
LANDING	3.08 m <sup>2</sup>	0.33
LANDING	271.07 m <sup>2</sup>	29.18

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

SMOKE ALARMS  
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786.  
CEILING MOUNTED WITH 9VDC  
ALKALINE BATTERY BACKUP  
TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART 3.7.5.2.

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

**EXHIBITED**

**ISSUED FOR REVIEW**

Date	Amendment	Date	By
		24.09.20	O.J
		29.05.20	O.J

Client: SAAT  
Project: PROPOSED DWELLING  
Address: LOT 30 OF 84, 94, 96-102 FAIRLOUGH STREET, PERTH

Date Drawn: 26.05.20  
Drawn: O. Jones  
Checked: C. Parry  
Approved: J. Pfeiffer  
Scale: As Shown @ A3

Accredited Building Designer  
Designer Name: J. Pfeiffer  
Accreditation No: CC2211T

Mobile: 0417 362 783 or 0417 515 813  
Email: info@tasbuilthomes.com.au  
www.tasbuilthomes.com.au

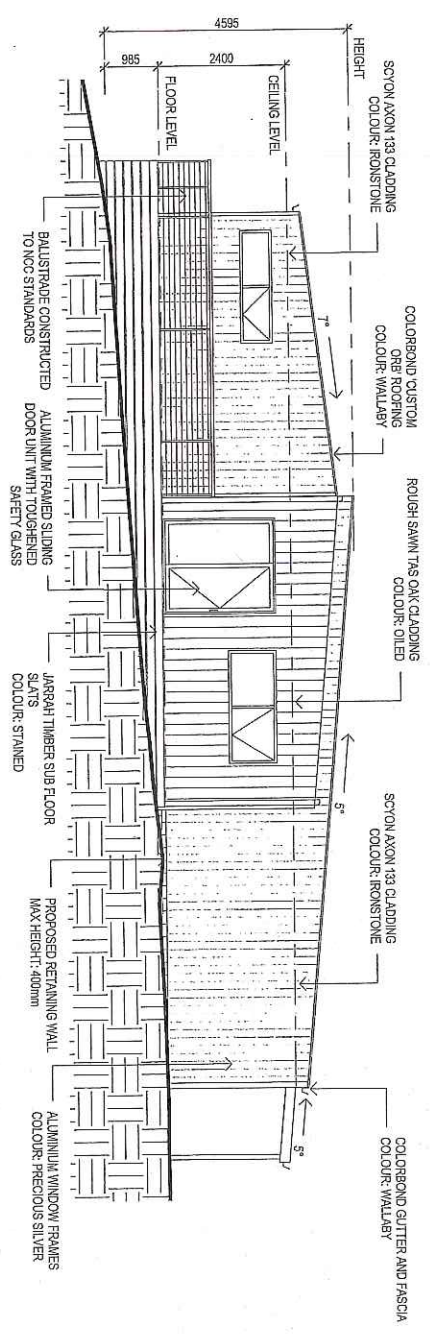
Drawing No: 712020  
Rev: A05

SUB FLOOR VENTILATION: BCA VOLUME 2 PART 3.4.1.

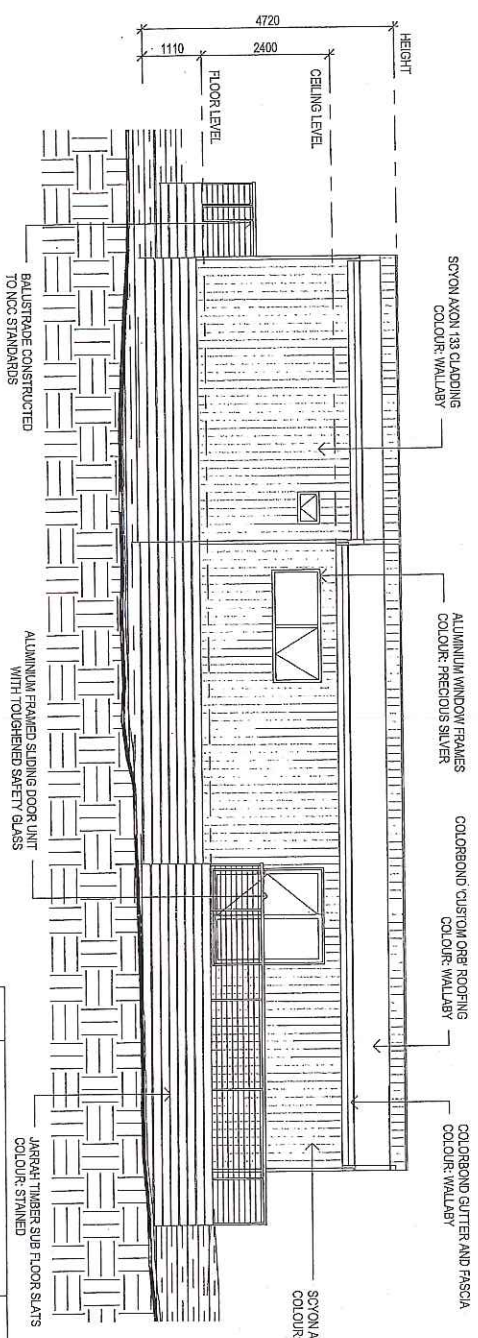
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM<sup>2</sup> PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 500 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PROVA 230X75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR  
 PROVA 230X165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



**SOUTH ELEVATION**  
SCALE 1 : 100



**WEST ELEVATION**  
SCALE 1 : 100

- STAIR CONSTRUCTION, BCA VOLUME 2 PART 3.9
- TREADS: 240 MM
  - RISERS: 180 MM
  - TREATED PINE TIMBER STAIR MATERIAL TO AS1684
  - TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
  - ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
  - STRINGER: 300X50 F5 TREATED PINE
  - TREADS: 240X45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

**EXHIBITED**

**ISSUED FOR REVIEW**

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**tesbitlithomes**  
 Your Choice is Endless, Satisfaction Guaranteed  
 Tesbitli Manufactured Homes & Cabins  
 P.O. Box 274, Deception Bay, Tasmania 7304  
 Ph: 03 6393 1013  
 admin@tesbitlithomes.com.au

Date	Issued for Review	24.09.20	O.J
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Client: SAAT  
 Project: PROPOSED DWELLING  
 Address: LOT 30 OF 84, 94, 96-102 FAIRTROUGH STREET, PERTH  
 No: 0417 382 783 or 0417 565 813  
 Email: info@tesbitlithomes.com.au  
 Website: www.tesbitlithomes.com.au

Scale: AS Shown @ A3  
 Date Drawn: 26.05.20  
 Drawn: O. Jones  
 Checked: C. Parry  
 Approved: J. Pfeiffer  
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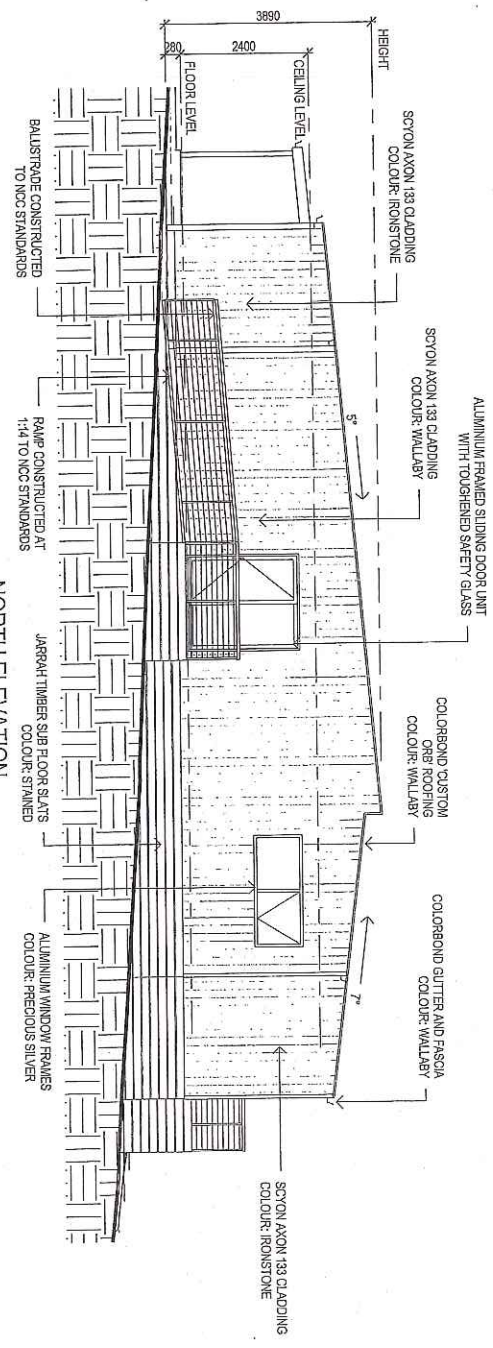
Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

Drawing No: 712020  
 Rev: A07

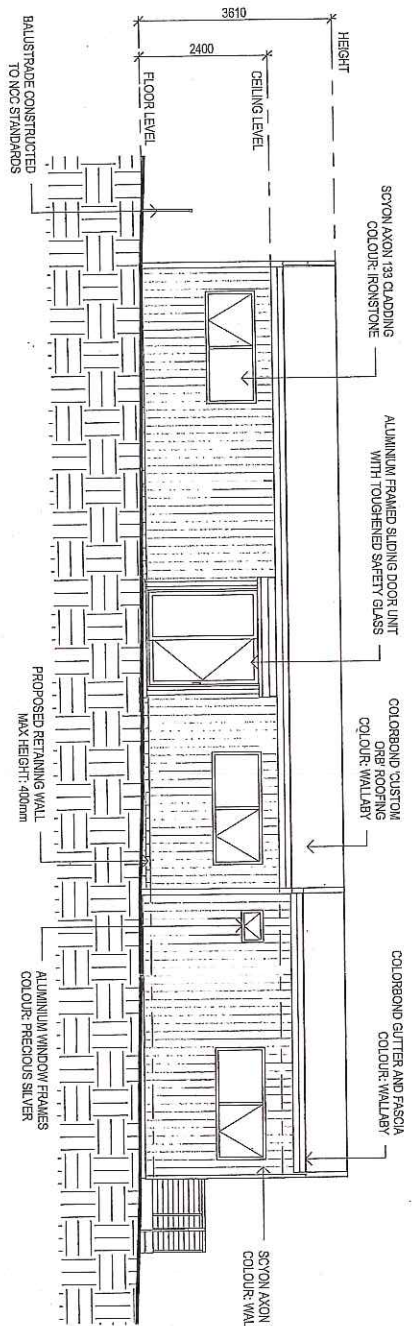
**ENGINEERING PLUS**  
 BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL/ENGINEERING



- SOFFIT / EAVE LINED WITH 'HARDI-FLUX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



NORTH ELEVATION  
 SCALE 1:100



EAST ELEVATION  
 SCALE 1:100

1-420

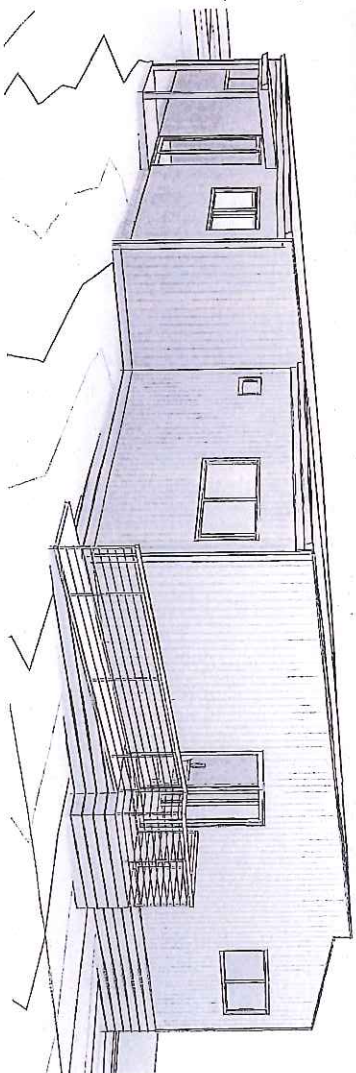
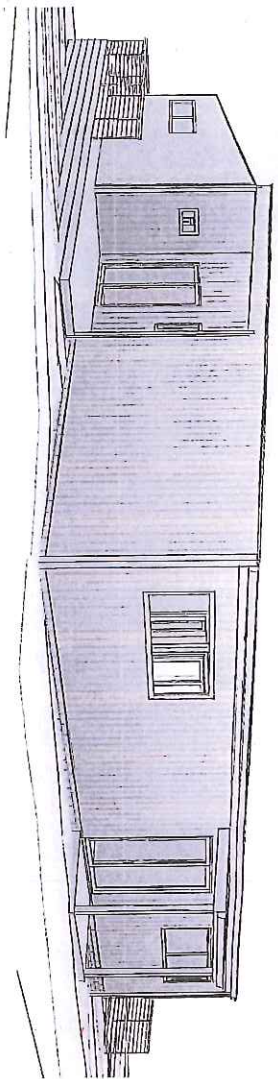
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 Project: PROPOSED DWELLING  
 Address: LOT 30 OF 84, 94, 96-102  
 FAIRLOUGH STREET, PERTH  
 900 0617 362 783 or 0817 565 813  
 info@estbuildhomes.com.au  
 estbuildhomes.com.au  
 Drawing No: 712020  
 A08  
 Rev

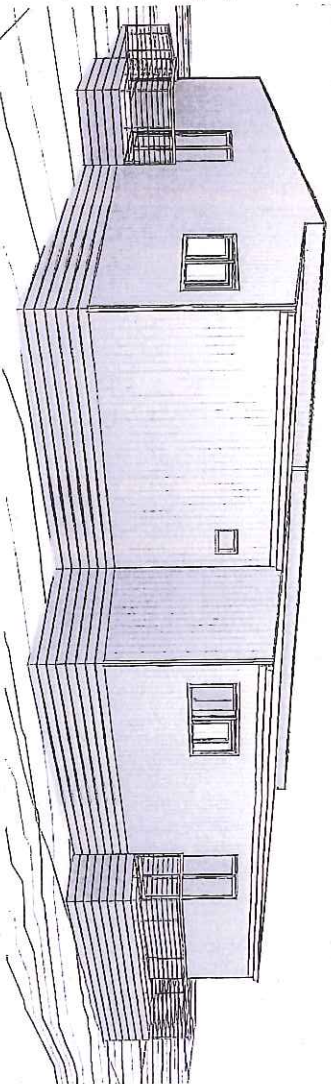
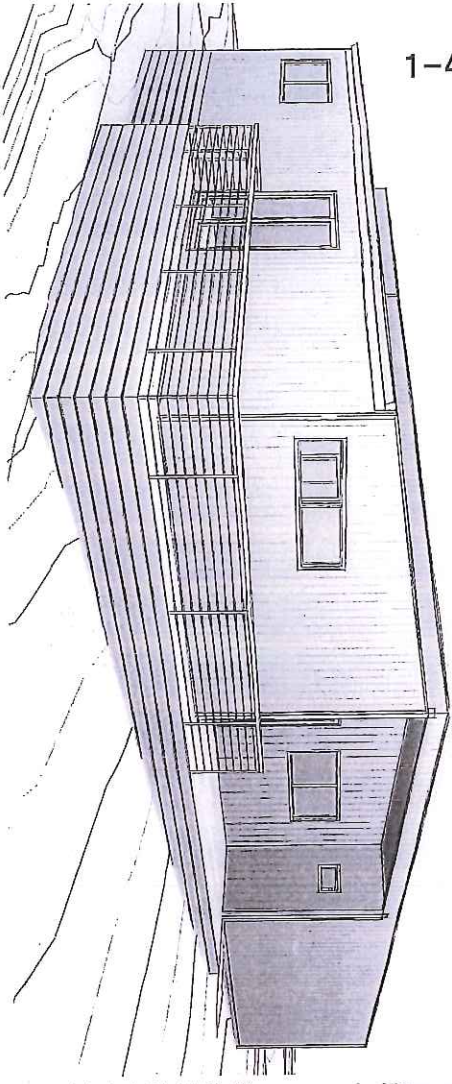
EXPLODED

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- SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6
- POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
- TASMANNIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.
- GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
- ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS
- WIND CLASSIFICATION AS4055 WIND DESIGN: N2
- TERRAIN CATEGORY: T2 (PARTIAL SHIELDING)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150



1-421



**EXISTED**

**ISSUED FOR REVIEW**

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RE-ISSUED FOR REVIEW	24.09.20	O.J
ISSUED FOR REVIEW	29.05.20	O.J

Date Drawn: 26.05.20  
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 Scale: As Shown @ A3

Accredited Building Designer  
 Designer Name: J.Pfeiffer  
 Accreditation No. CC7211T

Client: SAAT

Project: PROPOSED DWELLING

Address: LOT 30 OF 84, 94, 96-102

FAIRLOUGH STREET, PERTH

Mobile: 0417 262 789 or 0417 545 813  
 Email: j.pfeiffer@engineeringplus.com.au  
**ENGINEERING**  
PLUS

Drawing No:

712020

A12

Rev

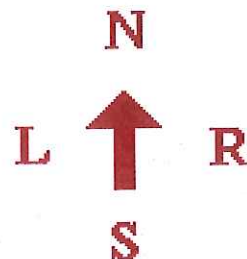
# Bushfire Hazard Management Report: Subdivision

**Report for:** 6TY Pty Ltd

**Property Location:** 84, 94 and 96-102 Fairtlough Street, Perth

**Prepared by:** Scott Livingston  
Livingston Natural Resource Services  
12 Powers Road  
Underwood, 7268

**Date:** 9<sup>th</sup> September 2019



EXHIBITED

**Summary**

**Client:** 6TY Pty Ltd obo Growth Developments Pty Ltd

84 Fairtlough Street, Perth  
CT 158305/101, PID 3006619

**Property**

**identification:** 94 Fairtlough Street, Perth  
CT 140407/1, PID 2272448

96-102 Fairtlough Street, Perth  
CT 140407/1, PID 7696426

Current zoning: General Residential, *Northern Midlands Interim Planning Scheme 2013*

**Proposal:** A 37 lot plus road subdivision is proposed from the 3 titles at 84, 94 and 96-102 Fairtlough Street Perth.

**Assessment comments:** A field inspection of the site was conducted to determine the Bushfire Risk and Attack Level.



**Assessment by:**

---

Scott Livingston,  
Master Environmental Management,  
Natural Resource Management Consultant.  
Accredited Person under part 4A of the Fire Service Act 1979:  
Accreditation # BFP-105.

EXHIBITED

**Contents**

DESCRIPTION ..... 1  
 BAL AND RISK ASSESSMENT..... 1  
 ROADS..... 1  
 PROPERTY ACCESS..... 2  
 FIRE FIGHTING WATER SUPPLY ..... 3  
 CONCLUSIONS..... 5  
 REFERENCES ..... 5  
 APPENDIX 1 – MAPS..... 6  
 APPENDIX 2 – PHOTO ..... 10  
 APPENDIX 3 – BUSHFIRE HAZARD MANAGEMENT PLAN..... 12  
 CERTIFICATE UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT  
 1993 ..... 15  
 CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM..... 20

Figure 1: Proposed Lots and building areas ..... 4  
 Figure 2: Location..... 6  
 Figure 3: Aerial Image ..... 8  
 Figure 4: Proposed Subdivision Plan ..... 9  
 Figure 5: access to adjoining property along northern boundary ..... 10  
 Figure 6: south west across property from Fairtlough St..... 10  
 Figure 7: north across property from Secome St..... 11  
 Figure 8: north along western boundary from Secome St..... 11

EXHIBITED

## **DESCRIPTION**

A 37 lot subdivision is proposed from the existing 3 titles CT 158305/101, CT 140407/1 and CT 167651/ 102, Fairtlough Street, Perth. The area is mapped as Bushfire Prone. Existing dwellings on proposed Lots 10, 26 and 34 are considered exempt from the Bushfire Code for subdivision purposes.

The development is bounded to the east by Fairtlough Street and the south by Secome Street, Land to the north and east is low density residential zoned and a mosaic of low threat vegetation and grassland. Land to the south and west is developed general residential land considered low threat. The subdivision is serviced by a reticulated water supply.

See Appendix 1 for maps and site plan, and appendi2 for photographs.

## **BAL AND RISK ASSESSMENT**

The land is mapped as within a Bushfire Prone Area on Planning Scheme Overlays.

### **VEGETATION AND SLOPE**

	<b>North (western section)</b>	<b>North (eastern section)</b>	<b>East</b>	<b>South</b>	<b>West</b>
Vegetation, within 100m Subdivision boundaries	0-100m low threat	0-5m low threat (access), 5- 100m grassland	0-18m low threat (road), 18- 100m grassland.	0-100m low threat - residential	0-100m low threat - residential
Slope (degrees, over 100m)	Flat /upslope	Flat /upslope	Flat /upslope	Down slope 0-5°	Down slope 0-5°
BAL Rating at boundary	Not BFP	BAL29	BAL12.5	Not BFP	Not BFP

### **BUILDING AREA BAL RATING**

Setback distances for BAL Ratings have been calculated based on the vegetation that will exist after development and management of land within the subdivision and has also considered slope gradients.

Where no setback is required for fire protection other Planning Scheme setbacks may need to be applied, other building constraints such as topography have not been considered.

**EXHIBITED**

The BAL ratings applied are in accordance with the Australian Standard AS3959-2009, *Construction of Buildings in Bushfire Prone Areas*, and it is a requirement that any habitable building, or building within 6m of a habitable building be constructed to the BAL ratings specified in this document as a minimum.

Bushfire Attack Level (BAL)	Predicted Bushfire Attack & Exposure Level
BAL-Low	Insufficient risk to warrant specific construction requirements
BAL-12.5	Ember attack, radiant heat below 12.5kW/m <sup>2</sup>
BAL-19	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 12.5-19kW/m <sup>2</sup>
BAL-29	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 19-29kW/m <sup>2</sup>
BAL-40	Increasing ember attack and burning debris ignited by windborne embers together with increasing heat flux between 29-40kW/m <sup>2</sup>
BAL-FZ	Direct exposure to flames radiant heat and embers from the fire front

### **BUILDING SETBACKS**

BAL	Slope	Grassland
BAL Low	All	50m
BAL 12.5	Flat/ Upslope	14m
	Down slope 0-5°	16m
BAL 19	Flat/ Upslope	10m
	Down slope 0-5°	11m

### **PROPOSED LOT BAL RATING**

Proposed Lots 10, 26 and 34 have existing dwellings and are considered exempt from the Bushfire Code for subdivision purposes.

Lot	BAL	Setback
1-5	not bushfire prone	none required
6-7	BAL Low	none required
8	BAL Low	
	BAL 12.5	8m from northern boundary
9	BAL 12.5	none required
11		
7-10	BAL Low	none required
11-13	BAL 12.5	9m from northern boundary
	BAL 19	5m from northern boundary

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14	BAL 12.5	none required
15-18	BAL Low	none required
19-25	BAL Low (portions not bushfire prone)	none required
27	BAL Low	none required
28	BAL Low	south east of a line between point 10m west and 18m south from the NE corner of the lot
	BAL 12.5	none required
29-33	BAL 12.5 (western facades BAL Low)	none required
35-36	BAL 12.5	none required
37	BAL 12.5	9m from northern boundary
	BAL 19	5m from northern boundary

### HAZARD MANAGEMENT AREAS

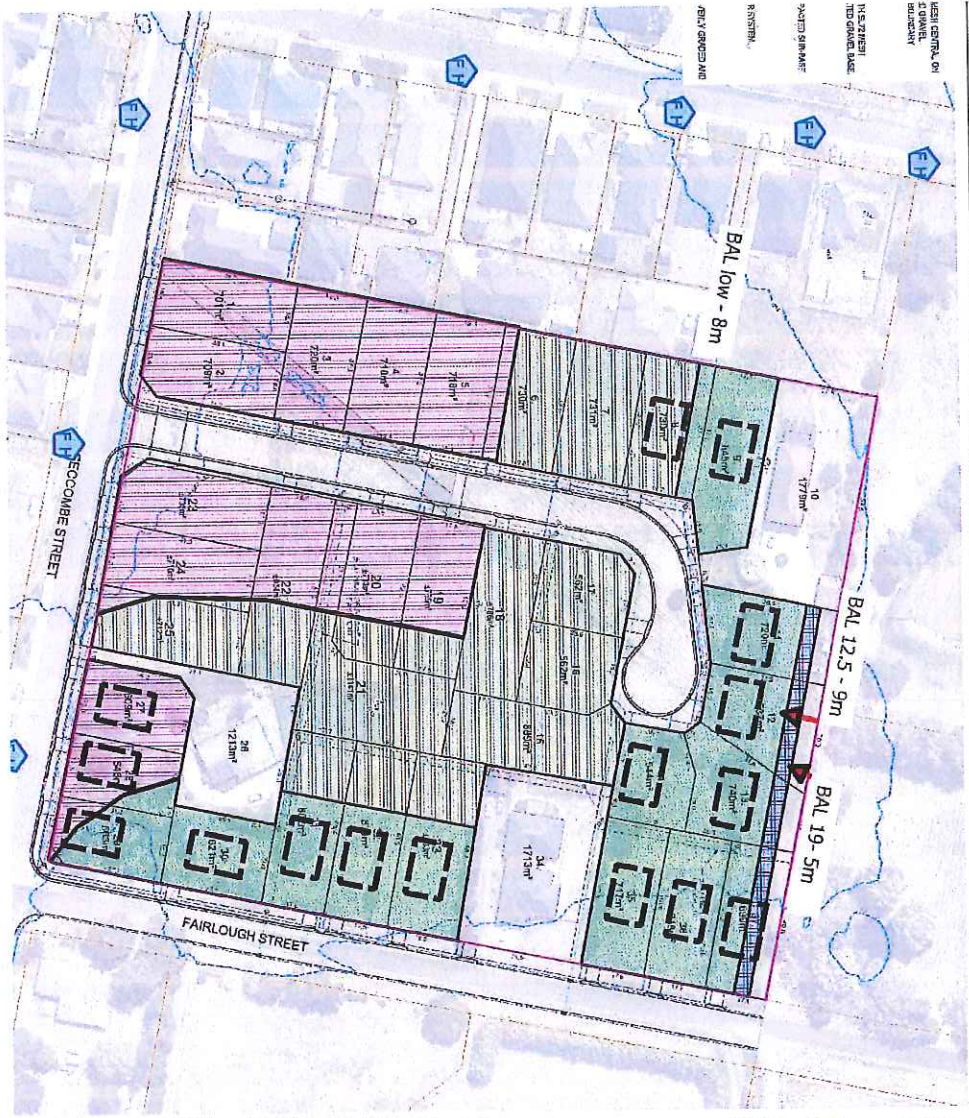
All land within the subdivision must be managed as low threat vegetation from commencement of construction on any lot under this management staging of works within the subdivision will not affect BAL rating of lots.

EXHIBITED



EXHIBITED

Figure 1: Proposed Lots and building areas



**6ty**<sup>o</sup>

**Legend**

- BAL low\_125
- BAL 12.5
- BAL 19
- BAL Low
- not BFP
- dwelling (indicative 10m x 15m)

BAL Low and not bushfire prone dwellings omitted for clarity



**ROADS**

Subdivision roads must comply with the relevant elements of Table E1 Roads, *Planning Directive No. 5.1 Bushfire-Prone Areas Code*.

**Table E1: Standards for roads**

Element		Requirement
A.	Roads	<p>Unless the development standards in the zone require a higher standard, the following apply:</p> <ul style="list-style-type: none"> <li>(a) two-wheel drive, all-weather construction;</li> <li>(b) load capacity of at least 20t, including for bridges and culverts;</li> <li>(c) minimum carriageway width is 7m for a through road, or 5.5m for a dead-end or cul-de-sac road;</li> <li>(d) minimum vertical clearance of 4m;</li> <li>(e) minimum horizontal clearance of 2m from the edge of the carriageway;</li> <li>(f) cross falls of less than 3 degrees (1:20 or 5%);</li> <li>(g) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads;</li> <li>(h) curves have a minimum inner radius of 10m;</li> <li>(i) dead-end or cul-de-sac roads are not more than 200m in length unless the carriageway is 7 metres in width;</li> <li>(j) dead-end or cul-de-sac roads have a turning circle with a minimum 12m outer radius; and</li> <li>(k) carriageways less than 7m wide have 'No Parking' zones on one side, indicated by a road sign that complies with <i>Australian Standard AS1743-2001 Road signs-Specifications</i>.</li> </ul>

**PROPERTY ACCESS**

Access to lots must comply with the relevant elements of Table E2 Access, *Planning Directive No. 5.1 Bushfire-Prone Areas Code*.

**Table E2: Standards for Property Access**

Column 1 Element	Column Requirement
<p><b>A.</b> Property access length is less than 30 metres; or access is not required for a fire appliance to access a water connection point.</p>	<p>There are no specified design and construction requirements.</p>
<p><b>B.</b> Property access length is 30 metres or greater; or access for a fire appliance to a water connection point.</p>	<p>The following design and construction requirements apply to property access:</p> <ol style="list-style-type: none"> <li>(1) All-weather construction;</li> <li>(2) Load capacity of at least 20 tonnes, including for bridges and culverts;</li> <li>(3) Minimum carriageway width of 4 metres;</li> <li>(4) Minimum vertical clearance of 4 metres;</li> <li>(5) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;</li> <li>(6) Cross falls of less than 3 degrees (1:20 or 5%);</li> <li>(7) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;</li> <li>(8) Curves with a minimum inner radius of 10 metres;</li> <li>(9) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and</li> <li>(10) Terminate with a turning area for fire appliances provided by one of the following:               <ol style="list-style-type: none"> <li>(a) A turning circle with a minimum inner radius of 10 metres; or</li> <li>(b) A property access encircling the building; or</li> <li>(c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.</li> </ol> </li> </ol>
<p><b>C.</b> Property access length is 200 metres or greater.</p>	<p>The following design and construction requirements apply to property access:</p> <ol style="list-style-type: none"> <li>(1) The Requirements for B above; and</li> <li>(2) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200</li> </ol>

EXHIBITED

1-430

<p><b>D.</b> Property access length is greater than 30 metres, and access is provided to 3 or more properties.</p>	<p>The following design and construction requirements apply to property access:</p> <ol style="list-style-type: none"> <li>(1) Complies with Requirements for B above; and</li> <li>(2) Passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.</li> </ol>
--	--

**FIRE FIGHTING WATER SUPPLY**

The subdivision will be serviced by a new reticulated supply. Existing hydrants on Secome Street are within 120m of portions of the subdivision. Additional hydrants will be required to provide coverage of all lots. New hydrants must meet the requirements of Table 4, *Planning Directive No. 5.1 Bushfire-Prone Areas Code*.

**Table E4 Reticulated water supply for fire fighting**

Element	Requirement
<p>A. Distance between building area to be protected and water supply.</p>	<p>The following requirements apply:</p> <ol style="list-style-type: none"> <li>(a) the building area to be protected must be located within 120m of a fire hydrant; and</li> <li>(b) the distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.</li> </ol>
<p>B. Design criteria for fire hydrants</p>	<p>The following requirements apply:</p> <ol style="list-style-type: none"> <li>(a) fire hydrant system must be designed and constructed in accordance with <i>TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA 2<sup>nd</sup> Edition</i>; and</li> <li>(b) fire hydrants are not installed in parking areas.</li> </ol>

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C.	Hardstand	A hardstand area for fire appliances must be: (a) no more than 3m from the hydrant, measured as a hose lay; (b) no closer than 6m from the building area to be protected; (c) a minimum width of 3m constructed to the same standard as the carriageway; and (d) connected to the property access by a carriageway equivalent to the standard of the property access.
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## CONCLUSIONS

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37 lot plus road subdivision is proposed from the existing 3 titles CT 37065/100, 18088/1, 18088/7, at Fairtlough Street Perth. The area is mapped as bushfire prone, Proposed Lot 10, 26 and 34 have existing dwellings and are considered exempt for subdivision purposes.

There is sufficient area on all lots to provide for a BAL 19 or lower for any future habitable dwellings. Construction to BAL 12.5 is also possible on all lots with increased setbacks and hazard management areas. The majority of lots are rated BAL Low or not Bushfire Prone provided all land within the subdivision is managed as low threat vegetation from commencement of construction of a habitable building on any lot within the subdivision.

Subdivision roads must comply with the relevant elements of Table E1 Roads from the *Planning Directive No. 5.1 Bushfire-Prone Areas Code*. Access to all lots must comply with the relevant elements of Table E2 Access, *Planning Directive No. 5.1 Bushfire-Prone Areas Code*. It is anticipated that no dwelling will be more than 120m as the hose lays, from a water supply point and therefore will meet element A with no specific design or construction requirements.

The subdivision will be serviced by a new reticulated supply. New hydrants will be required to service the building areas, they must meet the requirements of Table 4, *Planning Directive No. 5.1 Bushfire-Prone Areas Code*.

## REFERENCES

---

Planning Commission (2017), *Planning Directive No. 5.1 Bushfire-Prone Areas Code*.

Standards Australia. (2009). *AS 3959-2009 Construction of Buildings in Bushfire Prone Areas*.

EXHIBITED

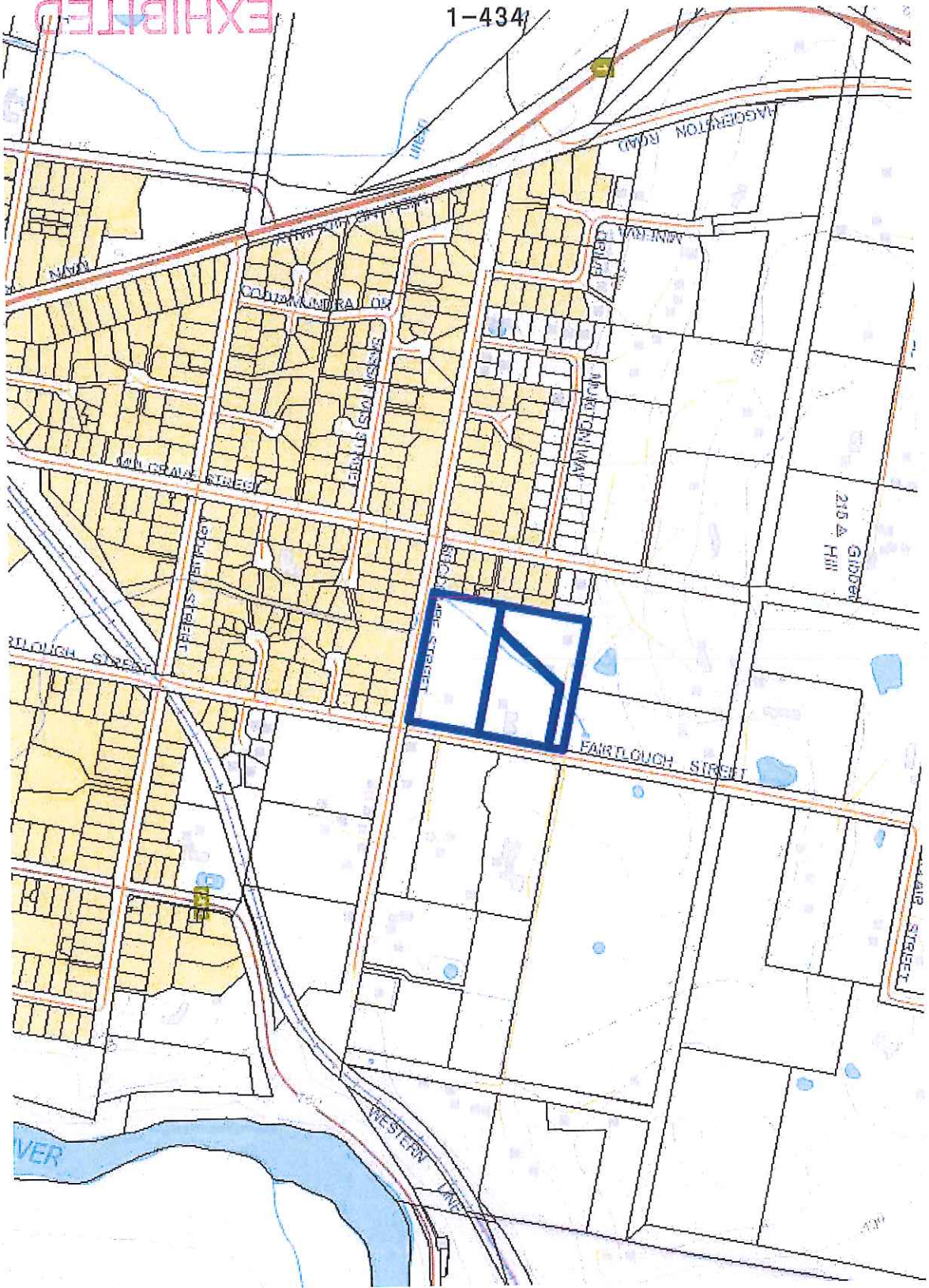


Figure 2: Location



EXHIBITED

Danielson Dam

Tributaries National Dammen Creation



Figure 3: Aerial Image

1-436

EXHIBITED



Figure 4: Proposed Subdivision Plan

D. W. D. D.

T. W. D. D.

APPENDIX 2 – PHOTO

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Figure 5: access to adjoining property along northern boundary



Figure 6: south west across property from Fairtlough St

EXHIBITED



Figure 7: north across property from Secome St

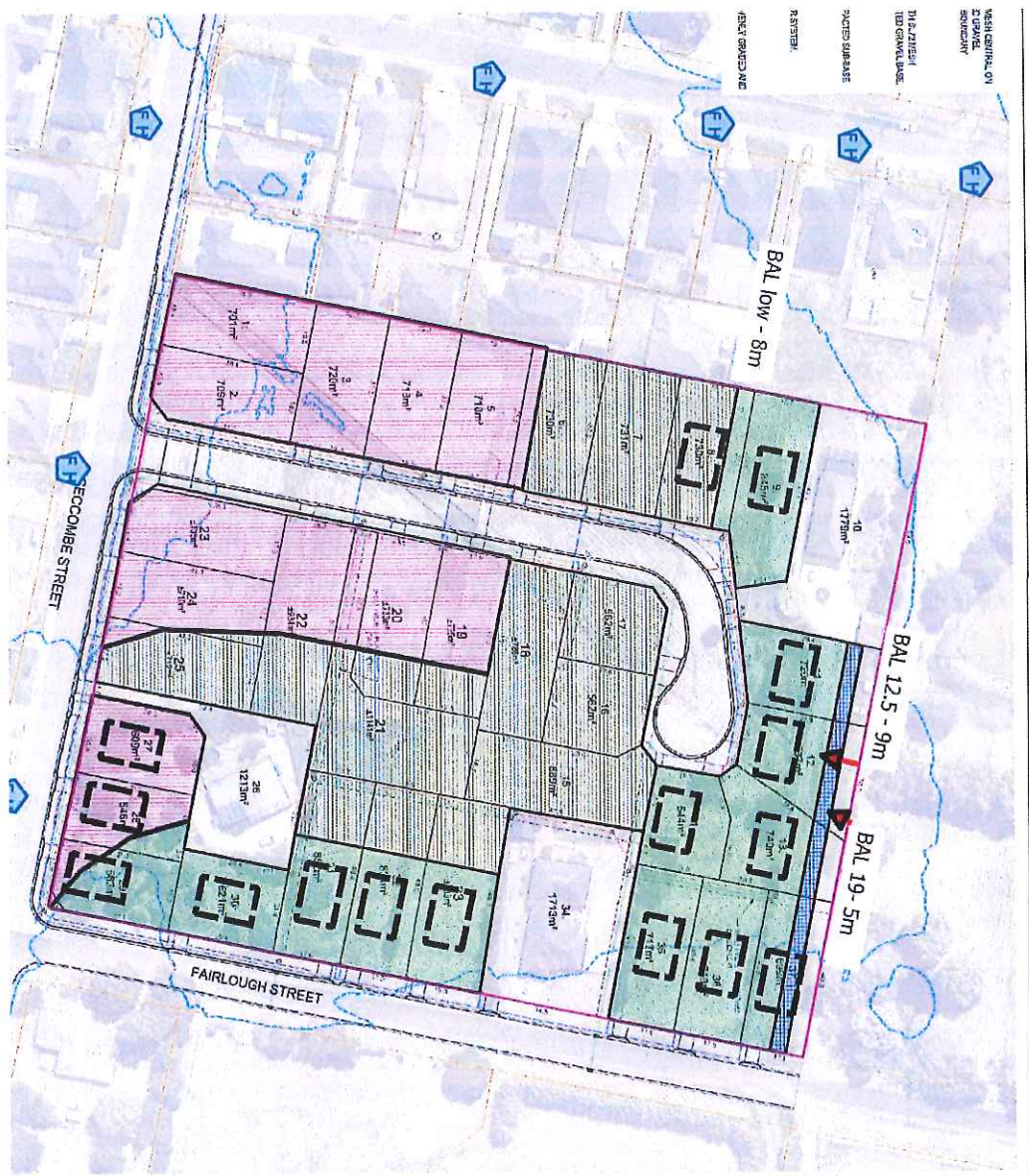


Figure 8: north along western boundary from Secome St

EXHIBITED

Bushfire Hazard Management Plan: Subdivision of 84, 94, 96-102 Fairtlough St, Perth (CT 158305/101, 140407/1 & 140407/1)

EXHIBITED



**6ty**  
 6ty Pty Ltd  
 10/100 ...  
 Perth, WA 6000  
 Tel: 08 9447 6666  
 Email: info@6ty.com.au  
 Website: www.6ty.com.au

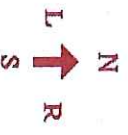
**Legend**

- BAL Low\_125
- BAL 12.5
- BAL 19
- BAL Low
- not BFP
- dwelling (indicative 10m x 15m)

BAL Low and not bushfire prone dwellings omitted for clarity



Scott Livingston  
 Accreditation: BFP - 105: 1, 2, 3A, 3B, 3C  
 Date 9/9/2019  
 SRL19/505



## Hazard Management Areas

All land within the subdivision to be managed as low threat vegetation from commencement of construction of a habitable building on any lot::

Low Threat/ Managed Land: managed gardens orchards or lawns maintained to < 100mm in height.

Maintenance Schedule:: Managed Land

- Cut lawns to less than 100mm and maintained
- Remove pine bark and other flammable garden mulch
- Prune larger trees to establish and maintain horizontal and vertical canopy separation
- Minimise storage of petroleum fuels
- Maintain road access to the dwelling and water connection point.
- Remove fallen limbs, leaf & bark from roofs, gutters and around buildings.

## Construction: BAL Low, 12.5, BAL 19

Buildings in Bushfire Prone Area to be built in accordance with the Building Code of Australia and Australian Standard AS3959

Lot	BAL	Setback
1-5	not bushfire prone	none required
6-7	BAL Low	none required
8	BAL Low	8m from northern boundary
9	BAL 12.5	none required
11		
7-10	BAL Low	none required
11-13	BAL 12.5	9m from northern boundary
14	BAL 12.5	5m from northern boundary
15-18	BAL Low	none required
19-25	BAL Low (portions not bushfire prone)	none required
27	BAL Low	none required
28	BAL Low	none required
29-33	BAL 12.5	none required
35-36	BAL 12.5 (western facades BAL Low)	none required
37	BAL 12.5	9m from northern boundary
	BAL 19	5m from northern boundary

Note:  
It should be borne in mind that the measures contained in this Bushfire Management Plan cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire and extreme weather conditions

It is important to prepare your Bushfire Survival Plan, read your Community Protection Plan and know your Nearby Safer Place. These can be obtained from your Council or the Tasmanian Fire Service. For more information, visit [www.fire.tas.gov.au](http://www.fire.tas.gov.au)

Scott Livingston  
Accreditation: BFP – 105: 1, 2, 3A, 3B, 3C  
Date 9/9/2019  
SRL19/505



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## ROADS

All future roads within the subdivision must comply with the following:

- a. two-wheel drive, all-weather construction;
- b. load capacity of at least 20t, including for bridges and culverts;
- c. minimum carriageway width is 7m for a through road, or 5.5m for a dead-end or cul-de-sac road;
- d. minimum vertical clearance of 4m;
- e. minimum horizontal clearance of 2m from the edge of the carriageway;
- f. cross falls of less than 3 degrees (1:20 or 5%);
- g. maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads;
- h. curves have a minimum inner radius of 10m;
- i. dead-end or cul-de-sac roads are not more than 200m in length unless the carriageway is 7 metres in width;
- j. dead-end or cul-de-sac roads have a turning circle with a minimum 12m outer radius; and
- k. carriageways less than 7m wide have 'No Parking' zones on one side, indicated by a road sign that complies with *Australian Standard AS1743-2001 Road Signs-Specifications*.

## Access

If access exceeds 30m to a habitable building or water supply point it must be constructed to the following standards:

The following design and construction requirements apply to property access:

- a. All-weather construction;
- b. Load capacity of at least 20 tonnes, including for bridges and culverts;
- c. Minimum carriageway width of 4 metres;
- d. Minimum vertical clearance of 4 metres;
- e. Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- f. Cross falls of less than 3 degrees (1:20 or 5%);
- g. Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- h. Curves with a minimum inner radius of 10 metres;
- i. Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- j. Terminate with a turning area for fire appliances provided by one of the following:
  - i) A turning circle with a minimum inner radius of 10 metres; or
  - ii) A property access encircling the building; or a hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.

## Water Supply

Additional Hydrants must comply with :

- a. Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011 3.1 MRWA Edition 2.0; and
- b. Fire hydrants are not installed in parking areas

A hardstand area for fire appliances must be provided:

- a. no more than 3m from the hydrant, measured as a hose lay;
- b. No closer than six metres from the building area to be protected;
- c. With a minimum width of three metres constructed to the same standard as the carriageway; and
- d. Connected to the property access by a carriageway equivalent to the standard of the property access

Scott Livingston  
Accreditation: BFP – 105-1, 2, 3A, 3B, 3C  
Date 9/9/2019  
SRL19/505



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**BUSHFIRE-PRONE AREAS CODE****CERTIFICATE<sup>1</sup> UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993****1. Land to which certificate applies<sup>2</sup>**

*Land that is the Use or Development Site that is relied upon for bushfire hazard management or protection.*

Name of planning scheme or instrument:

Northern Midlands Interim Planning Scheme 2013

Street address:

84, 94, 96-102 Fairtlough Street, Perth

Certificate of Title / PID:

CT 158305/101, PID 3006619

CT 140407/1, PID 2272448

CT 167651/1, PID 7696426

*Land that is not the Use or Development Site that is relied upon for bushfire hazard management or protection.*

Street address:

Certificate of Title / PID:

**2. Proposed Use or Development**

**Description of Use or Development:**

31 lot subdivision from 3 existing titles

**Code Clauses:**

<sup>1</sup> This document is the approved form of certification for this purpose, and must not be altered from its original form.

<sup>2</sup> If the certificate relates to bushfire management or protection measures that rely on land that is not in the same lot as the site for the use or development described, the details of all of the applicable land must be provided.



E1.4 Exempt Development

E1.5.1 Vulnerable Use

E1.5.2 Hazardous Use

E1.6.1 Subdivision

**3. Documents relied upon**

**Documents, Plans and/or Specifications**

Title: Proposed Subdivision

Author: 6TY Pty Ltd

Date: 16/4/2019

Version: 1

**Bushfire Hazard Report**

Title: Bushfire Hazard Management Report, 84, 94, 96-102 Fairtlough St

Author: Scott Livingston

Date: 9/9/2019

Version: 1

**Bushfire Hazard Management Plan**

Title: Bushfire Hazard Management Plan 84, 94, 96-102 Fairtlough St

Author: Scott Livingston

Date: 9/9/2019

Version: 1

**Other Documents**

Title:

Author:

Date: \_\_\_\_\_

Version:

**4. Nature of Certificate**

E1.4 – Use or development exempt from this code

Assessment  
Criteria

Compliance Requirement

Reference to Applicable  
Document(s)

E1.4 (a)

Insufficient increase in risk

Lots 10, 26, 34 only

E1.5.1 – Vulnerable Uses

Assessment  
Criteria

Compliance Requirement

Reference to Applicable  
Document(s)

- E1.5.1 P1 Residual risk is tolerable
- E1.5.1 A2 Emergency management strategy
- E1.5.1 A3 Bushfire hazard management plan

**E1.5.2 – Hazardous Uses**

Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/> E1.5.2 P1	Residual risk is tolerable	
<input type="checkbox"/> E1.5.2 A2	Emergency management strategy	
<input type="checkbox"/> E1.5.2 A3	Bushfire hazard management plan	

**E1.6 – Development standards for subdivision**

**E1.6.1 Subdivision: Provision of hazard management areas**

Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/> E1.6.1 P1	Hazard Management Areas are sufficient to achieve tolerable risk	
<input type="checkbox"/> E1.6.1 A1 (a)	Insufficient increase in risk	
<input checked="" type="checkbox"/> E1.6.1 A1 (b)	Provides BAL 19 for all lots	Bushfire Hazard Management Plan, 84, 94, 96-102 Fairtlough Street
<input type="checkbox"/> E1.6.1 A1 (c)	Consent for Part 5 Agreement	

**E1.6.2 Subdivision: Public and fire fighting access**

Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/> E1.6.2 P1	Access is sufficient to mitigate risk	
<input type="checkbox"/> E1.6.2 A1 (a)	Insufficient increase in risk	

- |                                     |               |   |   |
|-------------------------------------|---------------|---|---|
| <input checked="" type="checkbox"/> | E1.6.2 A1 (b) | Access complies with Tables E1, E2 & E3 | Bushfire Hazard Management Plan, 84, 94, 96-102 Fairtlough Street |
|-------------------------------------|---------------|---|---|

**E1.6.3 Subdivision: Provision of water supply for fire fighting purposes**

Assessment Criteria	Compliance Requirement	Reference to Applicable Document(s)
<input type="checkbox"/> E1.6.3 A1 (a)	Insufficient increase in risk	
<input checked="" type="checkbox"/> E1.6.3 A1 (b)	Reticulated water supply complies with Table E4	Bushfire Hazard Management Plan, 84, 94, 96-102 Fairtlough Street
<input type="checkbox"/> E1.6.3 A1 (c)	Water supply consistent with the objective	
<input type="checkbox"/> E1.6.3 A2 (a)	Insufficient increase in risk	
<input type="checkbox"/> E1.6.3 A2 (b)	Static water supply complies with Table E5	
<input type="checkbox"/> E1.6.3 A2 (c)	Static water supply is consistent with the objective	

**5. Bushfire Hazard Practitioner<sup>3</sup>**

<b>Name:</b>	Scott Livingston	<b>Phone No:</b>	0438 951 021
<b>Address:</b>	12 Powers Road	<b>Fax No:</b>	
	Underwood	<b>Email Address:</b>	scottlivingston.lnra@gmail.com
	Tasmania		7250
<b>Accreditation No:</b>	BFP - 105	<b>Scope:</b>	1, 2, 3A, 3B, 3C

**6. Certification**

I, certify that in accordance with the authority given under Part 4A of the Fire Service Act 1979 –

The use or development described in this certificate is exempt from application of Code E1 – Bushfire-Prone Areas in accordance with Clause E1.4 (a) because there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measure in order to be consistent with the objectives for all the applicable standards identified in Section 4 of this Certificate.

or

There is an insufficient increase in risk from bushfire to warrant the provision of specific measures for bushfire hazard management and/or bushfire protection in order for the use or development described to be consistent with the objective for each of the applicable standards identified in Section 4 of this Certificate.

and/or

The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and can deliver an outcome for the use or development described that is consistent with the objective and the relevant compliance test for each of the applicable standards identified in Section 4 of this Certificate.

**Signed:**  
certifier



**Date:** 9/9/2019

**Certificate No:** SRL19/50S

<sup>3</sup> A Bushfire Hazard Practitioner is a person accredited by the Chief Officer of the Tasmania Fire Service under Part IVA of Fire Service Act 1979. The list of practitioners and scope of work is found at [www.fire.tas.gov.au](http://www.fire.tas.gov.au).

**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE  
ITEM**

Section 321

To:  Owner /Agent  
 Address  
  Suburb/postcode

Form **55****Qualified person details:**

Qualified person:   
 Address:  Phone No:   
  Fax No:   
 Licence No:  Email address:

Qualifications and Insurance details:  (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise:  (description from Column 4 of the Director of Building Control's Determination)

**Details of work:**

Address:  Lot No:   
  Certificate of title No:

The assessable item related to this certificate:  (description of the assessable item being certified)  
 Assessable item includes –  
 - a material;  
 - a design  
 - a form of construction  
 - a document  
 - testing of a component, building system or plumbing system  
 - an inspection, or assessment, performed

**Certificate details:**

Certificate type:  (description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

EXHIBITED

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

- Bushfire Attack Level Assessment & Report

Relevant calculations:

N/A

References:

- Australian Standard 3959
- Planning Directive No.5.1
- Building Amendment Regulations 2016
- Director of Building Control, Determination (2017)
- Guidelines for development in bushfire prone areas of Tasmania

*Substance of Certificate: (what it is that is being certified)*

1. Assessment of the site Bushfire Attack Level (BAL) to Australian Standards 3959
2. Bushfire Hazard Management Plan

Assessed as -BAL 19, BAL 12.5, BAL Low, not Bushfire Prone

Proposal is compliant with DTS requirements, clauses 4.1, 4.2, 4.3 & 4.4 Directors Determination Requirements for Building in Bushfire Prone Areas (v2.1)

*Scope and/or Limitations***Scope:**

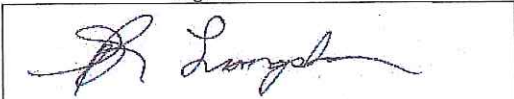
This report was commissioned to identify the Bushfire Attack Level for the existing property. All comment, advice and fire suppression measures are in relation to compliance with Planning Directive No 5.1, Bushfire-Prone Areas Code issued by the Tasmanian Planning Commission, the Building Code of Australia and Australian Standards, AS 3959-2009, Construction of buildings in bushfire-prone areas.

**Limitations:**

The inspection has been undertaken and report provided on the understanding that:-

1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

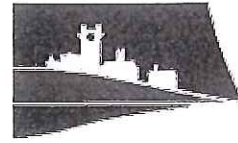
I certify the matters described in this certificate.

Qualified person:	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
		SRL19/50S	9/9/2019

**E-MAILED**  
17-8-2020

Our ref: PLN-20-0176

17 August 2020



**NORTHERN  
MIDLANDS  
COUNCIL**

Laura Wycherley  
P.O. Box 274  
DELORAINIE TAS 7304

By email: lauraw@tasbuilthomes.com.au

Dear Ms Wycherley

**Additional Information Required for Planning Application PLN-20-0176  
Communal Residence at 96-102 Fairtlough Street, Perth (on Lot 30 approved by permit PLN-19-0184)**

Thank you for your application. The following information is required to allow consideration of your application under the *Northern Midlands Interim Planning Scheme 2013*:

- A copy of the title for Lot 30.
- Plans showing:
  - Landscaping of the site.
  - Any sealed paths.
  - Percentage of the site free from buildings, paving and other impervious surfaces.
  - Waste storage in location(s) not visible from Fairtlough Street.
  - Parking dimensions and turning circles.
- A report from an Accredited Bushfire Hazard Practitioner addressing clause E1.4 or E1.5 of the planning scheme.
- A Traffic Impact Assessment from a suitably qualified person addressing the impact of the reduced on-site parking provision on the traffic circulation, safety and efficiency of the surrounding area and whether parking is adequate to meet the needs of the residents of the proposed use having regard to the pattern of parking in the locality.

The planning scheme requires a 5m setback from Fairtlough Street. It will be difficult to recommend approval of the proposed 3.5m setback. However I could support a 4.5m setback (as it would be compatible with the setbacks that would be required for the adjoining properties) providing the street elevation is made more compatible with the residential environment by, for example, giving the windows a vertical orientation, including a bedroom window to the south of the front entrance, and including a 0.6m deep awning/roof (which may be within the 4.5m front setback) over the front entrance.

In accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been satisfactorily supplied. If you have any questions, please contact me on 6397 7301, or e-mail [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au).





25<sup>th</sup> August 2020

Ben Trimmer  
Tasbuilt

**Re: Expected traffic implications on Lot 13 and Lot 30, Perth - SAA Trust Homes**

Hi Ben

I can confirm that each building on Lot 13 and Lot 13, Diamond Park Estate, Perth will be available as permanent group homes for people being supported by Devonfield Enterprise staff.

There will be 2 vehicles on each site, which will be driven by support staff for the 6 clients in each building.

So, it is just like an average home with 2 cars and, in my view, not needing a special traffic management report.

Yours Sincerely

A handwritten signature in black ink, appearing to read "Ralph Doedens". The signature is fluid and cursive, with a large initial "R" and "D".

Ralph Doedens  
Supported Affordable Accommodation Trust

**Erin Miles**

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**From:** Paul Godier  
**Sent:** Thursday, 5 November 2020 11:58 AM  
**To:** Erin Miles  
**Subject:** FW: PLN-20-0177 - (Lot 13) & PLN-20-0176 - (Lot 30) - Request for additional information

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

---

**From:** Laura Wycherley <lauraw@tasbuilthomes.com.au>  
**Sent:** Monday, 31 August 2020 10:16 AM  
**To:** Paul Godier <paul.godier@nmc.tas.gov.au>  
**Cc:** Ben Trimmer <bent@tasbuilthomes.com.au>; NMC Planning <planning@nmc.tas.gov.au>  
**Subject:** RE: PLN-20-0177 - (Lot 13) & PLN-20-0176 - (Lot 30) - Request for additional information

Good Morning Paul,

Please see below response from the owner, hope this helps:

*Hi Laura*

*Apart from the 2 Devonfield vehicles per site,  
there will be a max of 2 cars parked for support staff per home between 6am and 10pm.  
But no staff cars overnight.*

*Please call if an issue. These houses should be treated like any other family home.  
Please call if you have further questions.*

*Regards*

*Ralph Doedens*

*Phone*

Kind Regards,



**Laura Wycherley**  
COUNCIL LIAISON MANAGER  
T: (03) 6393 1013  
E: [laurat@tasbuilthomes.com.au](mailto:laurat@tasbuilthomes.com.au)



**REFERRAL OF DEVELOPMENT APPLICATION PLN-20-0176 TO WORKS & INFRASTRUCTURE DEPARTMENT****Property/Subdivision No:** 104900.31**Date:** 9 October 2020**Applicant:** Laura Wycherley**Proposal:** Residential (communal residence) (vary front and rear setbacks, reduce parking provision)**Location:** 96-102 Fairtlough Street (approved Lot 30, will be 102 Fairtlough Street), Perth

W&I referral PLN-20-0176, 96-102 Fairtlough Street (approved Lot 30, will be 102 Fairtlough Street), Perth

Planning admin: W&I fees paid.

NO W&I comment.

*Jonathan Galbraith (Engineering Officer)*

*Date: 15/10/20*

## Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-0176	Council notice date	9/10/2020
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2020/01632-NMC	Date of response	16/10/2020
TasWater Contact	Sam Bryant	Phone No.	0474 933 294
<b>Response issued to</b>			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
<b>Development details</b>			
Address	96-102 FAIRTLOUGH ST, PERTH	Property ID (PID)	7696426
Description of development	New Dwelling		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Tasbuilt Homes / Engineering Plus	Site Plan 712020	--	24/09/2020
<b>Conditions</b>			
<b>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</b>			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
<b>CONNECTIONS, METERING &amp; BACKFLOW</b>			
1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
<i>Advice: Plans submitted for the Certificates for Certifiable Works (Building &amp; Plumbing) must show the property water connection upgraded to a minimum DN32mm (ID25mm) to service the development for water in accordance with TasWater Water Metering Guidelines.</i>			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
<b>DEVELOPMENT ASSESSMENT FEES</b>			
3. The applicant or landowner as the case may be, must pay a development assessment fee of \$351.28 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.			
The payment is required within 30 days of the issue of an invoice by TasWater.			

### Advice

#### General

For information on TasWater development standards, please visit  
<http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### Authorised by



**Jason Taylor**  
 Development Assessment Manager

### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Rosemary Jones

---

**From:** Sophie Grantham <...>  
**Sent:** Wednesday, 21 October 2020 7:04 AM  
**To:** NMC Planning  
**Subject:** Lot 30 diamond park

Dear general manager,

I have a few concerns regarding the new development on lot 30 diamond park estate. I am building my first home on lot 29, I will be living on my own, if there had been mention of this prior I probably wouldn't of purchased this particular block. I believe the deck area faces directly into my block and my whole entertaining area. As there are seven bedrooms and as I understand a staff member, and only two car parks, if there are multiple visitors I worry they will take up a lot of the street parking. My biggest concern is the resale value of my property, because people may choose something else over living beside a disability home.

Regards,  
Sophie grantham

The General Manager  
Northern Midlands Council  
[planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Objection to Application PLN -20-0176

To Whom it may Concern

I wish to object to the above application on the following grounds :

A Communal residence including verandahs of approx. 30 squares on a 624 square metre block that requires Varying of front and rear setbacks and reduced parking provision is completely unsuitable to be built on that block.

Planning schemes are in place to protect neighbouring properties from completely unsuitable buildings being erected and having 3 important issues varied clearly shows an unsuitable block for the building. The streetscape is very unpleasant and not at all in keeping with a new subdivision or the existing residences. I believe it could devalue neighbouring properties.

I do not believe two parks is enough for the number of people who will be attending the house and as it is being built on a crest of a hill it is not suitable for staff and visitors to be parking on the street. Allowing an applicant to vary all of these issues is overboard and is a very dangerous precedent for other dwellings to be built that are not in keeping with the area and do not comply with your planning scheme.

I hope this building is considered on it's own merit and not it's intended use and you see sense and refuse to allow the variations.

Michelle Calder  
13-15 Seacombe Street West  
PERTH TAS 7300

Phone

Jessica Crowden

NORTHERN MIDLANDS COUNCIL						
File No.						
Property						
Attachments						
REC'D 16 OCT 2020						
			A			A
GM				PLN		
P&DM				BLD		
GSM				MYR		
WM				EA		
HR						
HLT						

**Attention: The General Manager, Northern Midlands Council****RE: Objection of the Proposed Communal Dwelling of Lot 30 (102 Fairtlough St Perth, TAS)**

I am writing to express my objection regarding the proposed communal house on Lot 30 (to be 102 Fairtlough Street, Perth). As the owner of Lot 31, I will be building my first home on this block adjacent to lot 30. I am deeply saddened to learn that a communal dwelling has been proposed for the adjacent lot.

Firstly, I would like to express the concerns I have with the design of the proposed dwelling for lot 30. The design does not simply fit in with the designs of both the preexisting and other family homes that will undoubtedly be built within this area. I am concerned that the non-uniform design of the building will devalue my property once established.

It is to my knowledge that lot 30 will be used to establish a group home for individuals requiring 24/7 disability support. I am concerned that parking will become an issue assuming that little to no off-street parking will be provided for staff given the size of the block. I initially purchased my block of land (lot31) presuming that I would eventually build a house in a quiet dead-end street without needing to worry about issues relating to parking and the constant noise of vehicles coming and going next door.

Having worked in the disability support sector myself, I do understand the need for these people to have access to modern purpose-built homes to reside in. However, under the circumstances, I believe that more thought needs to be added to the conversation of how the owner(s)/operator(s) of lot 30 plan to mitigate these issues that myself and, I am sure, other local residents have raised.

Kindest regards

Jessica Crowden



21 October 2020

The General Manager  
Northern Midlands Council,

I refer to the planning application reference number PLN-20-0177 and PLN-20-0176.

I would like to make a representation opposing the planned development based on the following issues:

The dwellings are 7 bedroom/ensuite units. There is insufficient parking, especially in a cul-de-sac, for potentially 7 vehicles. Whilst the current use may be for people without cars, the buildings may in future house 7 individual adults with vehicles. The current use (I believe) for people with disabilities may not have sufficient parking space for service providers and there is very limited public transport i.e. bus services. Taxis to services needed in Launceston will be costly.

The setbacks/surrounds to each building are minimal, leaving very little room for landscaping to soften the appearance of the industrial style proposed dwelling.

The industrial look and proposed use of the dwelling does not fit with the current constructions in close proximity to the area.

Being a communal residence which may at some point be sold and used for other communal style living, this will impact on the amenity and value of the surrounding properties.

Sincerely yours,

Michael and Sharon Wise.

Lot 35 Diamond Park Estate, Perth.

Rosemary Jones

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**From:** Lisa Grantham <lisa.grantham@nmc.com>  
**Sent:** Wednesday, 21 October 2020 7:24 PM  
**To:** NMC Planning  
**Subject:** PLN-20-0176

Dear general manager.

I am writing to express my concern with the development of lot 30 diamond park estate.

My daughter is building in this subdivision and it will be her first home and she will be living on her own, I am concerned for her safety and I know that she would never have bought this particular block if she had known this would be built behind her home.

There will be visitors coming and going and I'm concerned this will also affect my ability to get parking.

Lisa grantham.

Sent from my iPhone

**Rosemary Jones**

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**From:** W Van Der Pols <.....>  
**Sent:** Friday, 23 October 2020 1:15 PM  
**To:** NMC Planning  
**Subject:** PLN - 20 - 0176 Representation

To the General Manager of NMC,

As one of the current owners of this property, I would like to express my concerns with the above planning application.

As I have no issues with having this type of housing in our community, I feel that a 7 bed, 7 bath, 3 kitchen is over - doing it, especially when 2 are proposed for the area and both are situated on small lots.

I am extremely disappointed in the lack of thought gone into designing these.

As the developers we were fully aware of who is purchasing these 2 lots and we are supportive of integration of social housing in our sub-divisions. We did not expect this type of dwelling. The proposal this applicant has presented, could prevent us from selling to them in the future.

The design of these buildings show that they are of modular configuration and are in fact multiple dwellings joined together. ie: three modules with **each** containing 2 bedrooms, 2 bathrooms a kitchen, dining and living area. Then a central module with a bedroom, living, bathroom and laundry.

I can understand a residential dwelling having 7 bedrooms and 7 bathrooms, but to have **3 kitchens with full** kitchen facilities??

This has been a clever design for the owners, which enabled them to avoid multiple dwellings under the planning scheme.

My main areas of concern are-

1. 10.3 of the NMC Planning Scheme (Amenity). This building has no appeal whatsoever and will impact and affect values of neighbouring properties. Every new sub-division is wary and frightened of what these designers have actually proposed here. Surely the designers realised this is a new area of Perth and therefore could have designed something a little more appropriate.
2. 10.3.2 (A3) - Waste Management. Although there is no criteria for waste management with a single dwelling, I am concerned that a waste and recycling bin (picked up fortnightly) will not suffice for 8 adult persons, which then means more bins taking up road space.
3. 10.4.2 (A1) – Setback from front boundary in the planning scheme is 4.5 metres. This proposal has a setback of 3.11 metres. The planning scheme states 4.5 metres unless an eaves, steps, awnings and porch, can extend not more into this area by only .6 of a metre. The porch extends 1.39 metres into the exclusion zone. All other residences in the street will need to comply to the 4.5 metre setback, making this one stand out.
4. Parking - I am concerned with the allocated parking spots (2) for a "Communal" dwelling. There are 7 residents, who no doubt will have visitors. There are times there will be a minimum of 7 visitors which require parking, therefore taking up spaces in front of neighbouring properties. I am aware this can occur with functions on private residences but the possibility of constant visitors is greater with this type of dwelling.

As I mentioned previously, I am not against this type of housing and hope the owners and designers come up with something more appropriate for the area.

Kind regards,

Wim Van Der Pols

Director

W Van Der Pols Building Contractor

Growth Developments Pty Ltd

Mobile - - - - -

Email - - - - -

22nd October, 2020

The General Manager,  
PO Bo 156,  
LONGFORD TAS 7301

RE: PLN-20—0176 & PLN-20—0177

I write to you in regards to the proposed developments lodged by SAAT for “communal dwellings” to be constructed on Lot 30 Fairtlough Street and Lot 13 Zircon Place, Perth.

As purchaser of Lot 16, I have a number of concerns relating to these developments, particularly the proposed dwelling for Lot 13 as it will be in close proximity of my new home.

Among my concerns are the following:

Parking:

- The reduced amount of available off-street parking
- 2 parking spaces seems grossly insufficient to allow enough parking for staff/carers and visitors of a facility that will house 6 + people.
- the fact too that this particular dwelling is to be constructed at the end of a cul-de-sac will make parking even more difficult as cu-de-sacs typically offer little in the way of on street parking to begin with.
- Safety risks will be heightened with the extra vehicles parking where they can on the road close by.

Increase in foot traffic:

- This is likely to occur as staff/carers and visitors will be forced to park back further down Zircon Place and walk to Lot 13.
- The potential extra cars parked on the roadside and extra traffic throughout Zircon Place will be of a concern and would likely pose additional safety hazards/risks.

Security of my property:

- How ill the security of my property be affected? How secure will these “communal dwellings” be?
- Will they be staffed at all times?

Design of Dwellings:

- While design/aesthetics can be highly subjective – I personally believe that the design of these dwellings will detract greatly from the streetscape and am worried they may cause a decline in property values in the immediate vicinities if they aren't maintained or if they need to be sold or have their use changed in the future.

Size of development:

- With the design of the dwelling requiring alterations to the set backs of Lot 30, I don't believe the original size of the blocks / locations are suitable for these communal housing developments, placing them too close to neighbouring residences.

I thank you for taking the time to consider my concerns on this matter and look forward to receiving your response.

Regards

*Ben Ring*  
Ben Ring

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

19<sup>th</sup> October 2020

General Manager  
Northern Midlands Council

c/- Email [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Submission to Public Comments for Reference No's –

PLN-20-0176  
96-102 Fairtlough Street Perth  
Approved Lot 30, will be 102 Fairtlough Street Perth

Residential (Communal residence) (vary front and rear setbacks, reduce parking provision)

PLN-20-0177  
84 & 94 Fairtlough Street Perth  
Approved Lot 13, will be 12 Zircon Place Perth

Residential (communal residence) (reduced parking provision)

As a resident and ratepayer of Perth being 1 Collins Street since 2008, I make this representation to please be considered in public comments for the above planning applications. I have also been a past resident and ratepayer of Evandale dating back to 1991 evidencing long term commitment to the Northern Midlands Municipality.

Whilst I most certainly appreciate the sensitivity of the developments and the service being provided by the proponents, which each and every one of us could very easily require for ourselves or our family and friends, at any given time, I express concerns with two main points on each. Those are the size of the buildings compared to the lot sizes and the reduced parking provisions.

My home is accessed via Fairtlough Street and I believe the traffic would increase considerably with 2 communal buildings in the Diamond Park subdivision. Fairtlough Street is fairly narrow and with only 2 allotted parking spaces for 7 residents even if those residents do not drive, the visitor traffic would have an impact on access route to my residence. The buildings do not include any garaged or driveway areas as would be generally expected and accepted in residential subdivisions.

For the aesthetic nature of Perth residential areas, the building sizes are extremely large compared to the block/land allotments. This does not allow for proportionate landscaping as might be seen within most residential areas. Without formal research and knowledge, I would have thought open park areas and space should be appropriately considered. Whilst there is a park at the Secombe Street side opposite road entrance to Diamond Park, I don't believe with all of the neighbouring residences, this would be adequate for such condensed residential areas including two oversized communal developments.

Would the proponents perhaps have developments of a smaller scale for example 5 bedrooms which are more in keeping with a residential subdivision and would be a most valuable addition to our community?

I trust my submission will be taken and considered with the correct thoughts and intention.

Kind Regards



Kaylene Lewis  
1 Collins Street Perth

Ph / .....  
Email



20<sup>th</sup> October 2020

General Manager  
Northern Midlands Council

c/- Email [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Submission to Public Comments for Reference No's –

PLN-20-0176  
96-102 Fairtlough Street Perth  
Approved Lot 30, will be 102 Fairtlough Street Perth

Residential (Communal residence) (vary front and rear setbacks, reduce parking provision)

PLN-20-0177  
84 & 94 Fairtlough Street Perth  
Approved Lot 13, will be 12 Zircon Place Perth

Residential (communal residence) (reduced parking provision)

As the purchaser of Lot 3 Diamond Park Estate Perth I submit this representation to public comments for the above planning applications.

The proposed development at the end of cul-de-sac directly past my property, has only 2 allotted parking spaces for 7 bedrooms/residents. The resident and visitor traffic has the potential to create congestion within the street and cul-de-sac area, even if residents are supported and do not drive or own vehicles. The buildings do not include any garaged or driveway areas to ease congestion as is normally the case in a residential subdivision.

The same applies for the proposed development on Fairtlough Street which will also add traffic to the area with reduced parking allotted.

Both building sizes are too large for their blocks and the area. This does not allow yard space for day use therefore overflowing to the street areas.

The developments have an industrial look and are very large for the lots, which is not in keeping with a residential subdivision. An alternative option could be a 4 bedroom house with yard for activities. That would also allow space within the lot for driveway, garage and additional adequate parking.

Hopefully my concerns are viewed with open mindedness.

Regards



Jared Lewis  
Purchaser – Lot 3 Diamond Park Estate, Perth

Ph: \_\_\_\_\_  
Email: \_\_\_\_\_

Rosemary Jones

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**From:** Hannah Marshall <hannah\_marshall@nmc.com.au>  
**Sent:** Thursday, 22 October 2020 8:41 PM  
**To:** NMC Planning  
**Subject:** ATTN General Manager - RE development on Lot 30 Diamond Park Estate PERTH

Hi,

I am writing with concerns about the current plan of development on Lot 30 Diamond Park Estate, Perth.

I live close to this area and was not aware there was plans for communal housing.

I walk my dog frequently past this area of a morning and night.

I am concern for my safety and others.

Diamond park estate, is a narrow street and with so many houses already crammed into a small area plus existing houses on seccombe street, parking is already very limited.

I feel this development would only add to the problem.

Thank you for taking the time to read my email.

Kind regards  
Hannah Marshall  
5 Muirton Way, Perth, TAS 7300

The General Manager  
PO Box 156  
LONGFORD TAS 7301

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachments					
REC'D 22 OCT 2020					
GM			PLN		
PRDM			BLD		
CEM			MYR		
WIM			EA		
HE					
HLT					

Date: 22/10/20

I, STEPHEN FRANKCOMBE wish to make a representation to planning application number:  
PLN-20-0176 on the following grounds:

1. UNSIGHTLY CONSTRUCTION (BUILDING) FOR NEW SUBDIVISION
2. BEING COMMUNAL RESIDENCE OF 7 BEDROOM, INSUFFICIENT OFF STREET PARKING ON PROPERTY
3. OVERFLOW PARKING ONTO FAIRTROUGH ST WILL CAUSE TRAFFIC ISSUES WITH EXCESSIVE CAR PARKING ON STREET RESTRICTING TRAFFIC FLOW AND BEING DANGEROUS FOR PEDESTRIAN'S ESPECIALLY GIVEN THE BLIND RISE IN THE STREET LIMITING VIEWING TO A SHORT DISTANCE

Yours sincerely

Stephen Frankcombe

Email: strankcombe@haywards-steel.com

Address: 6 COLLINS STREET PERTH

Contact Number: 08 9442 1111