

PLAN 3

PLANNING APPLICATION PLN-20-0296

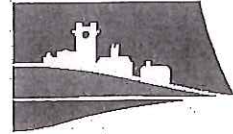
MULTIPLE DWELLING

50 MAIN ROAD, PERTH

ATTACHMENTS

- Application & plans, correspondence with applicant
- Responses from referral agencies
- Representation

Planning Application Proposal



NORTHERN
MIDLANDS
COUNCIL

<i>Description of proposal:</i>	Multiple Dwellings (1 new, 1 original) vary setback to secondary frontage, heritage listed property)
<i>Site address:</i>	50 MAIN ROAD, PERTH
<i>CT:</i>	123673/1
<i>Estimated cost of project (include cost of landscaping, car parks etc for commercial / industrial uses)</i>	\$250,000.00
<i>Are there any existing buildings on this property?</i>	Yes
<i>If yes – use of main building:</i>	Dwelling
<i>If variation to Planning Scheme provisions requested, justification to be provided:</i>	vary setback to secondary frontage
<i>Is any signage required? (if yes, provide details)</i>	No


PRIVACY STATEMENT

The Northern Midlands Council abides by the *Personal Information Protection Act 2004* and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the *Personal Information Protection Act, 2004* and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the *Building Act 2016*. This information will not be disclosed to any other external agencies unless required or authorised by law.

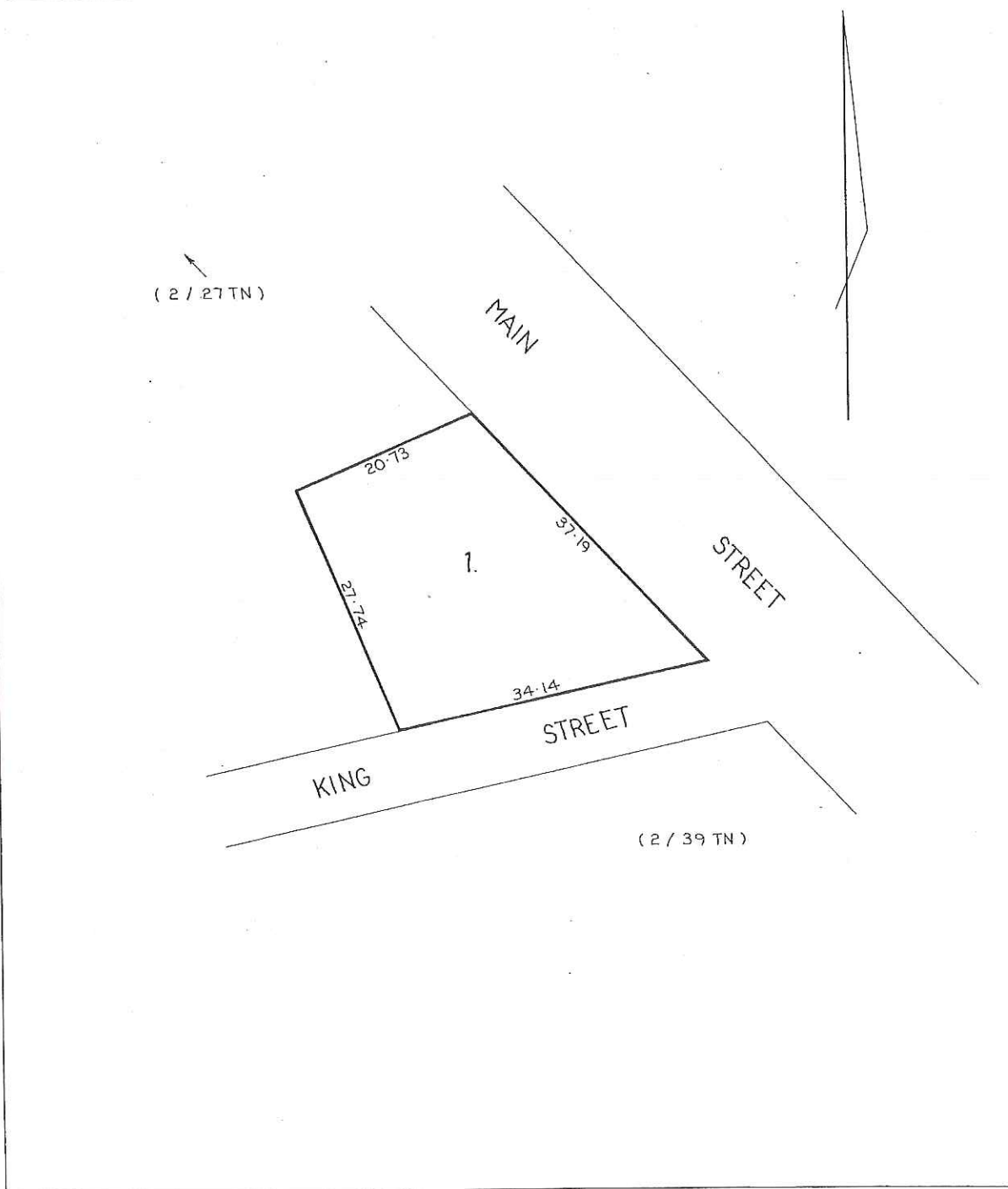
Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Northern Midlands Council on (03) 6397 7303. Please contact the Council's Privacy Officer on (03) 6397 7303 if you have any other enquires concerning Council's privacy procedures.

OWNER L.T. ACT 1980 FOLIO REFERENCE W. 4130 GRANTEE PART OF LOC. TO JAMES FENNER	PLAN OF TITLE		REGISTERED NUMBER P123673
	LOCATION TOWN OF PERTH (SECTION T)		APPROVED 22 APR 1996  Recorder of Titles
CONVERTED BY PLAN No CONV. 30/3558 COMPILED BY L.T.O. NOT TO SCALE LENGTHS IN METRES			

MAPSHEET MUNICIPAL CODE No. 123	LAST UPI No 5601265	LAST PLAN No	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
---------------------------------	---------------------	--------------	---

SKETCH BY WAY OF ILLUSTRATION ONLY
 "EXCEPTED LANDS"

~~BALANCE PLAN~~



A-142

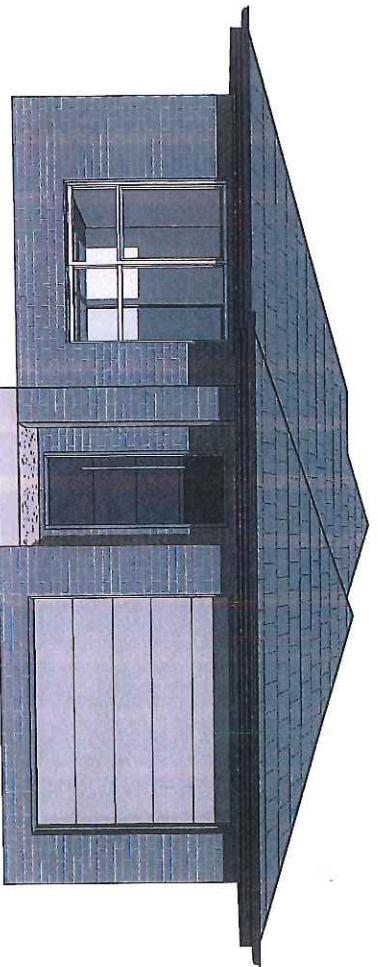
PRELIMINARY DRAWINGS

PROPOSED RESIDENCE FOR
MATHEW & JESSICA KEMPINICH

ADDRESS
**50a MAIN ROAD
 PERTH, TAS 7300**

PAGE NO.	PAGE TITLE
01	COVER
02	SITE PLAN
03	FLOOR PLAN
04	3D VIEWS
05	ELEVATIONS

Superseded



- GENERAL NOTES:**
- ALL DESIGN CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
 - THE CURRENT NATIONAL CONSTRUCTION CODES (NCC)
 - THE STATE DEVELOPMENT CODE
 - BUILDING REGULATIONS
 - CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED
 - THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS; RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
 - SUBSTITUTION OF ANY STRUCTURAL MEMBERS & VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING.
 - 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY; THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
 - ALL DIMENSIONS IN MILLIMETERS.
 - DIMENSIONS TAKE PRECEDENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK EXISTING WALLS MUST BE NOMINALLY DIMENSIONED.
 - ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFORMED BY CONTRACTOR, BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
 - MANUFACTURER'S SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR THESE UNDER THE CONDITIONS APPLICABLE TO THESE DRAWINGS ARE AVAILABLE ONLINE AT: IF REQUIRED SUPPLIED BY OTHERS AND SHOWN ON ANY DATA DRAWINGS ARE NOT THE RESPONSIBILITY OF THE DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA.
 - OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.
 - ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.

- SITE WORKS NOTES:**
- POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
 - ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION. LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
 - BUILDER TO ENSURE THAT FACTL CENTERLINE AND WASH-LE POSITION MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS, ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - BUILDER TO DETERMINE APPROXIMATE POSITION TO PLATFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVEL TO BE ABOVE FINISH MINIMUM LEVEL AS PER LOCAL AUTHORITY REQUIREMENTS & TO COMPLY WITH NCC VOL. 2.3.1.2.3.
 - FULLY AND UNKNOWN AND IS TO BE OBTAINED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURBENT NCC VOLUME 2.3.1.1 AS 3798 & AS 4200. THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM.
 - STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE -
 - STORMWATER KEYS ADAPTED TO STREET
 - MAXI
 - ROOFMATER/STORMWATER PIPE
 - RAINWATER TO COLLECT SPECIFICITY, CONNCT TO STORMWATER SYSTEM.
 - SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES
 - ALL SUB-GROUND AREAS MUST BE GRADED TO AVOID THE PENNING OF WATER.
 - THE HEIGHT OF FINISHES, INCLUDING THE HEIGHT ABOVE FINISHED GROUND LEVEL ONLY IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.
 - WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTATION TO THE TYPICAL BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

- PATH/DRIVEWAY NOTES:**
- DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS. PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KEYS.
 - PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB, COMPACTED AND LEVELLED.
 - SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

- 3D VIEW NOTES:**
- GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS.
 - FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
 - 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

- ELECTRICAL NOTES:**
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
 - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS.
 - ALL SMOKE ALARMS TO BE INTERCONNECTED.
 - INSTALL EACH BEDROOM AREA.
 - OUTSIDE EACH BEDROOM AREA.
 - THIS PLAN IS IN COMPLIANCE WITH THE NOMINATED FINAL POSITIONS OF ELECTRICAL APPLIANCES, LIGHTING AND ELECTRICAL FITTINGS.

- ELEVATION NOTES:**
- WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
 - GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
 - FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
 - ELEVATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

- SECTION NOTES:**
- TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS.
 - ALL PINE TO BE D4/M1N.
 - GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
 - FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
 - SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

- FOUNDATION NOTES:**
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS; RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE DETERMINED BY INSPECTION OF FOOTING EXCAVATIONS.
 - PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION OCCUPATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
 - WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTATION TO TYPICAL BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

- REBATE GARAGE DOORS & SLIDING GLASS DOORS**
- REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
 - ACCORDING TO MANUP SPEC OR BUILDERS DIRECTIONS.
 - MINIMUM COVER TO GROUND - 50mm.
 - TOP COVER TO SLAB REINFORCEMENT - 30mm.
 - GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
 - WATERPROOF MEMBRANE IS 0.2mm POLYETHYLENE JOINTS ARE TO BE LAPPED 300mm AND TARED.
 - REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 100mm CRS.
 - ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
 - FILL MATERIAL AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. DRY DENSITY.
 - FLOORS TO ALL VET AREAS TO HAVE A FALL TO A FLOOR WASTE.

- TERMITE RISK NOTES:**
- TERMITE CONTROL BARRIERS TO BE IN ACCORDANCE WITH AS 3660.1 AND NCC CLAUSE 3.11.3.
 - ANY UNTREATED TIMBER POSTS, STAIRS AND THE LIKE SHALL BE SET 75mm MINIMUM CLEAR OF GROUND FOR VISUAL TERMITE CONTROL.
 - TWO APPROVED NOTICES SHALL BE AFFIXED TO THE DWELLING AS REQUIRED ADVISING OWNERS OF THE METHOD OF TERMITE RISK MANAGEMENT USED, AND THEIR ONGOING RESPONSIBILITY FOR THE MAINTENANCE OF THE SYSTEMS.
 - BUILDER TO CONFIRM WITH OWNER THE CHOSEN METHOD OF TIMBER PROTECTION, OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL TIMBER ELEMENTS, AND THAT BARRIERS ARE NOT COMPROMISED.
 - WHERE CONCRETE SLAB FORMS BARRIER SLAB TO BE CONSTRUCTED AS PER AS2870. SLAB & FOOTINGS TO BE 'NON-LITIC'. TERMITE COLLAR FLANGE TO BE CLAMPED TO PIPES AND SET IN SLAB 75mm MIN OF EXPOSED SLAB EDGE TO REMAIN ABOVE FINISHED PERIMETER LEVEL. EXPOSED EDGE NOT TO BE COVERED BY SOIL. RENOVATED OR TILED BUT MAY BE PAINTED. WHERE BIRKWORK CONCRETS EDGE OF SLAB, IN ADDITION TO ABOVE, PROVIDE TERMITE COLLAR BARRIER BELOW D.P.C. FIXED TO SLAB EDGE.
 - INSTALL ANT CARPING TO ALL BRICK PIERS, TIMBER OR CONC. STUPE'S. KEEP TIMBER CLEAR OF GROUND WHEN ON STEEL ANCHORS; NON-TIMBER ELEMENTS (EG STEEL POSTS) NEED NO PROTECTION FROM TERMITES.
 - ALL TIMBER IN DIRECT CONTACT WITH CONCTO BE SEPARATED BY GL FLASHING.

- FLOOR PLAN NOTES:**
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS3786.
 - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS.
 - ALL SMOKE ALARMS TO BE INTERCONNECTED.
 - ON EACH LEVEL OF LIVING SPACE
 - IN EVERY BEDROOM AREA
 - WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
 - ALL GLAZING TO BE IN ACCORDANCE WITH AS2870. WINDOWS SIZES MAY VARY DUE TO MANUFACTURERS SPECIFICATIONS.
 - BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO).
 - S.S. BALUSTRADING TO COMPLY WITH CURRENT NCC VOL. 2.3.1.2.3 SECTION 3.9.2.3. WIRE BULS TRADING TO HAVE LIFT OFF FINISHES ONLY IF THE DOOR OR SWING IN TOWARDS THE W.C.I.
 - MASONRY CONSTRUCTION TO AS 3700.
 - REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS & REMAINING FRACING. THE DOWN AND SLAB/ROOFING DETAILS SEAL VET AREAS IN ACCORDANCE WITH AS 3740/6 NCC REQUIREMENTS.
 - PROVIDE FLOOR WASTE TO ALL VET AREAS.

- ROOF DRAINAGE NOTES:**
- ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 3500.3 AND CURRENT NCC VOLUME 2, PART 3.5.2.
 - DOWNPIPES (DP) TO BE 100mm UPVC.
 - TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION DRAINING ROOF WATER ONTO GROUND, 2M MIN AWAY FROM BUILDING.
 - ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION. LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
 - THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING.
 - THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM NCC TABLE 3.5.2.1 OR FROM AS/NZS 2650.
 - GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 50 WITH SUPPORT BRACKETS AT BOX GUTTERS. MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100 IN ACCORDANCE WITH AS/NZS 2650.
 - DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH. ONLY ONE DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO WALLEY GUTTERS. BAYED GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 12 METERS FROM A WALLEY GUTTER.
 - DOWNPIPES (DP) TO BE MAX. 12m LINEAL ADAPT. DP Ø 90mm MIN. 100mm MIN. 3mm CROSS SECT. AREA.

AREI

M: 0419 786 678
 E: 0403 588 705
 Email: arei@areiconsult.com.au
 Web: areiconsult.com.au
 AIN: 3161432939
 QBOC LIC: 15040377

CLIENT: **ABODE DH**
 DRAWING NAME: **COVER**

PROJECT: **PROPOSED RESIDENCE FOR
 M & J KEMPINICH AT
 50a MAIN ROAD
 PERTH**

PLAN NUMBER: 1
 DATE: 23/10/20
 SCALE: A3

PAGE NO: 01 OF 05
 DRAWN: KF
 CHECKED: BENDYE

REV.	REVISION DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	23/10/20

© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & RULER AS A GUIDE ONLY

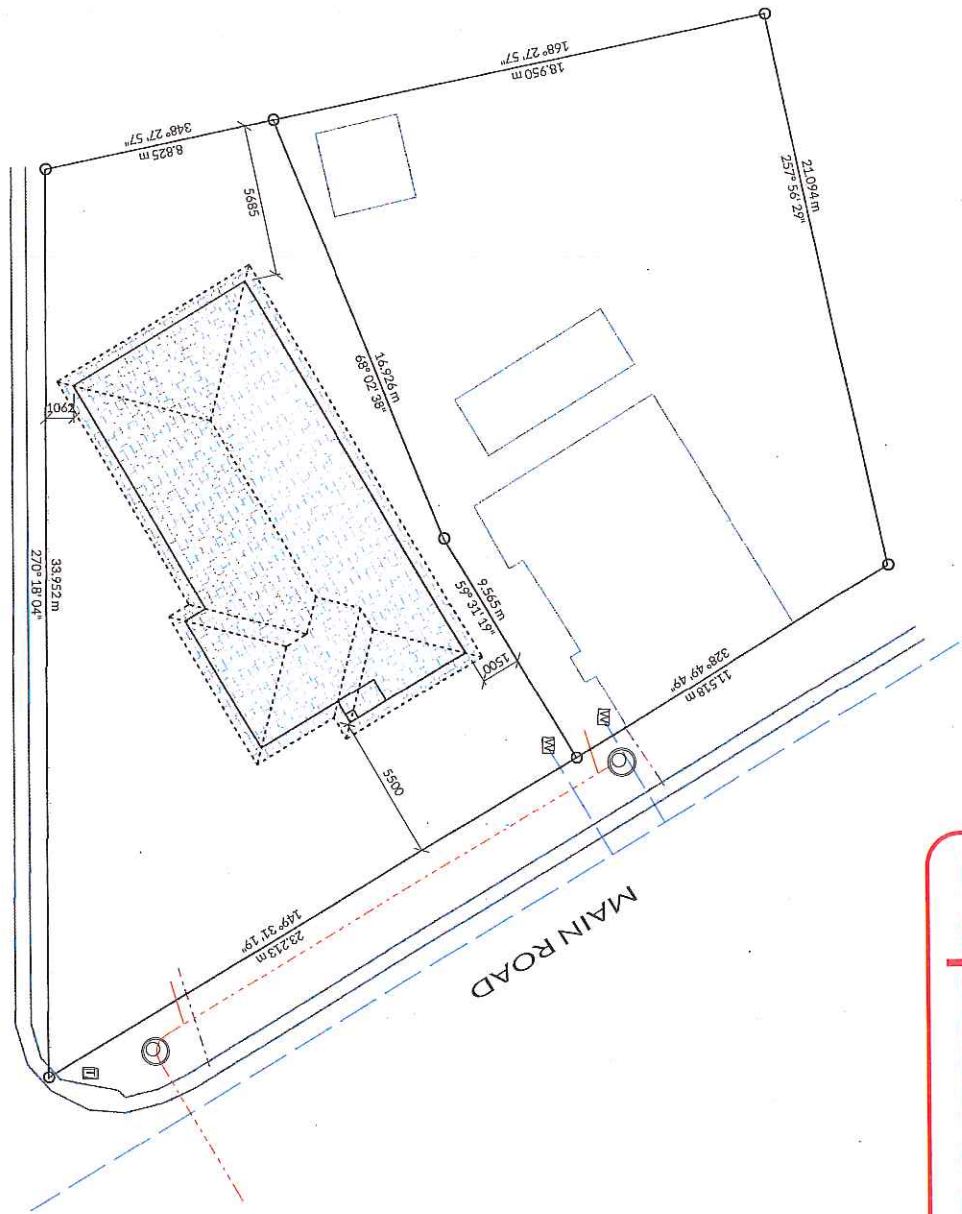
Superseded



1-434

LEGEND

- UNDERGROUND GAS MARKER
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MANHOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT
- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- STORM WATER LINE
- FENCE
- ELECTRICAL
- TELSTRA COMMUNICATIONS
- WATER LINE



KING STREET

MAIN ROAD



M: 0413 786 578
 M: 0403 308 705
 E: plans@reididsgns.com.au
 W: www.reididsgns.com.au
 ABRN: 31614195818
 QBCC LIC: 15040397

AREI PLAN CODE:
 SERIES AREI

CLIENT:
ABODE DH
 DRAWING NAME:
SITE PLAN

PROJECT:
**PROPOSED RESIDENCE FOR
 M & J KEMPINICH AT
 50A MAIN ROAD
 PERTH**

PLAN NUMBER:
 2829-20
 DATE:
 23/10/20
 SCALE @ A3
 1:200

REV.	REVISION DESCRIPTION	APPROV.	DATE
A	PRELIMINARY ISSUE		23/10/20

© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & RULER AS A GUIDE ONLY

FLOOR AREAS

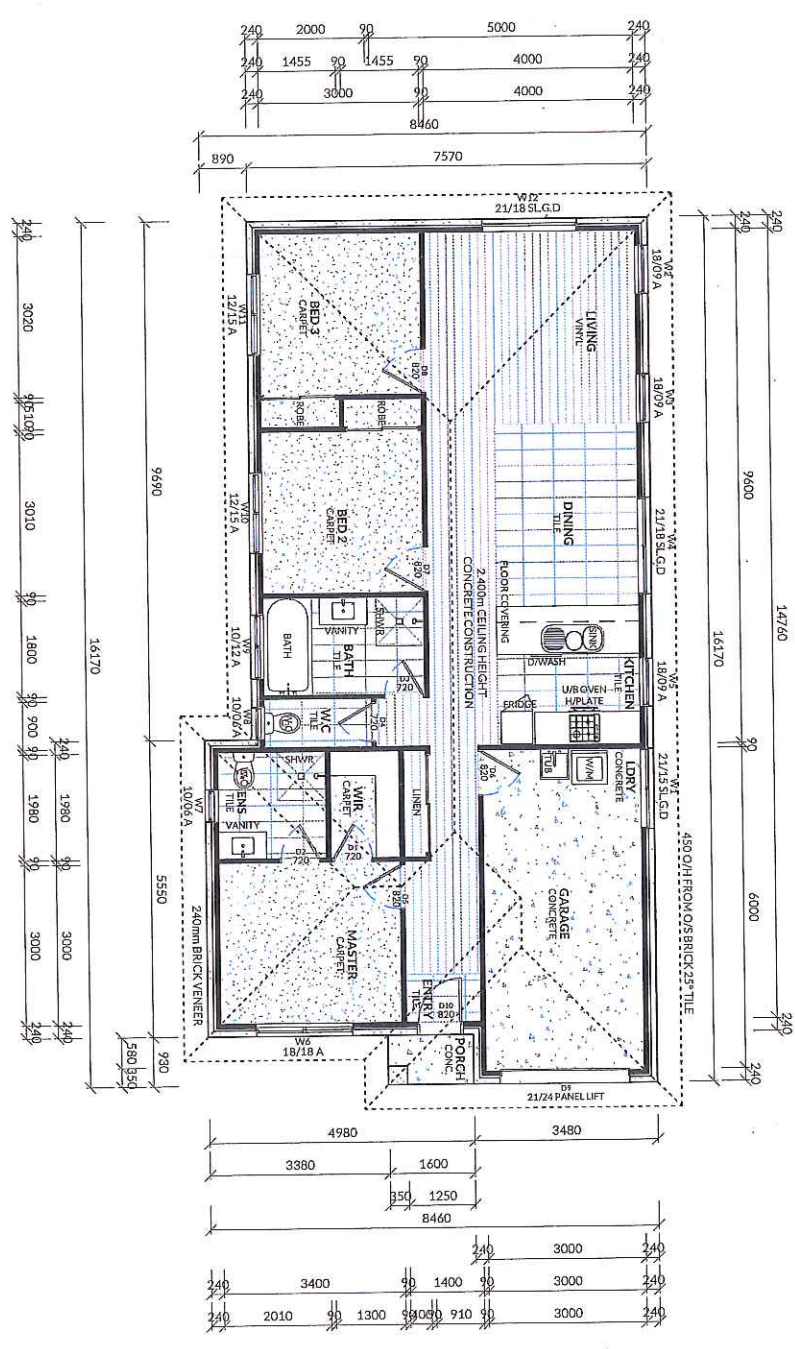
GARAGE	20.4 m ²
LIVING	103.1 m ²
PATIO	0.0 m ²
PORCH	1.5 m ²
TOTAL	125.0 m ²

WINDOW SCHEDULE

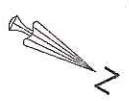
MARK	SIZE	DESCRIPTION
W1	2100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W2	1800 x 900	ALUM. FRAMED AWNING
W3	1800 x 900	ALUM. FRAMED AWNING
W4	2100 x 1800	ALUM. FRAMED SLIDING GLASS DOOR
W5	1800 x 900	ALUM. FRAMED AWNING
W6	1800 x 1800	ALUM. FRAMED AWNING
W7	1000 x 600	ALUM. FRAMED AWNING
W8	1000 x 600	ALUM. FRAMED AWNING
W9	1000 x 1200	ALUM. FRAMED AWNING
W10	1200 x 1500	ALUM. FRAMED AWNING
W11	1200 x 1500	ALUM. FRAMED AWNING
W12	2100 x 1800	ALUM. FRAMED SLIDING GLASS DOOR

DOOR SCHEDULE

MARK	SIZE	DOOR TYPE
D1	2040 x 720	HOLLOW CORE SWING
D2	2040 x 720	HOLLOW CORE SWING
D3	2040 x 720	HOLLOW CORE SWING
D4	2040 x 720	HOLLOW CORE SWING
D5	2040 x 820	HOLLOW CORE SWING
D6	2040 x 820	HOLLOW CORE SWING
D7	2040 x 820	HOLLOW CORE SWING
D8	2040 x 820	HOLLOW CORE SWING
D9	2100 x 2400	PANEL LIFT DOOR
D10	2040 x 820	SOLID ENTRY DOOR



Superseded



M:0419 786 578
 M:0403 508 705
 E: plans@areidesigns.com.au
 W: www.areidesigns.com.au
 ABN: 31414195518
 QBCC LIC: 1504097

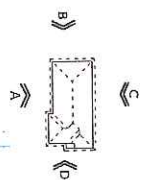
CLIENT: **ABODE DH**
 DRAWING NAME: **FLOOR PLAN**
 SERIES: AREI

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPENICH AT 50A MAIN ROAD PERTH**

PLAN NUMBER: **03 OF 05**
 DATE: **23/10/20**
 SCALE: **@ A3 1:100**

REV.	REVISION/DESCRIPTION	APPROV./DATE
A	PRELIMINARY ISSUE	23/10/20

© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & RULES AS A GUIDE ONLY





M: 0419 786 578
M: 0403 508 705
E: plans@areidesigns.com.au
W: areidesigns.com.au
ABN: 31614195818
QBCC Lic: 15040397

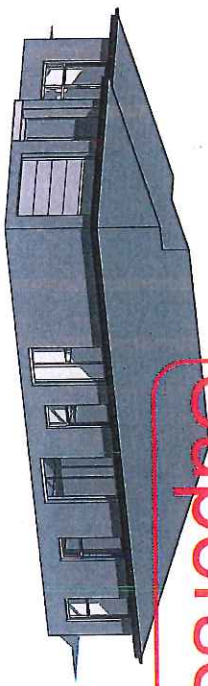
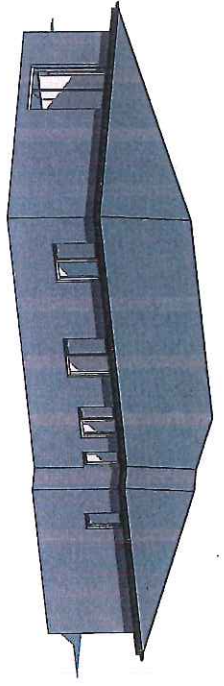
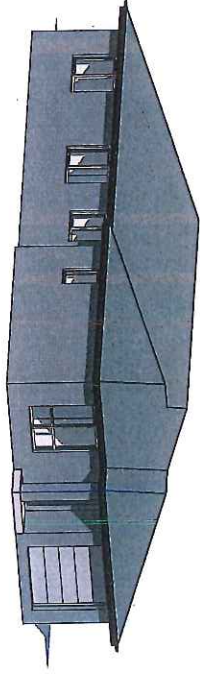
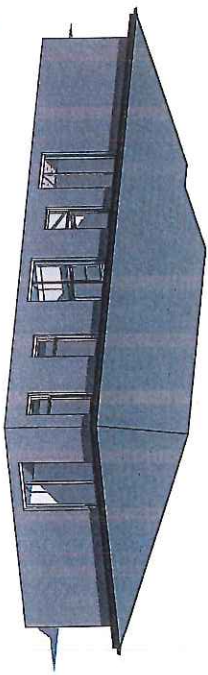
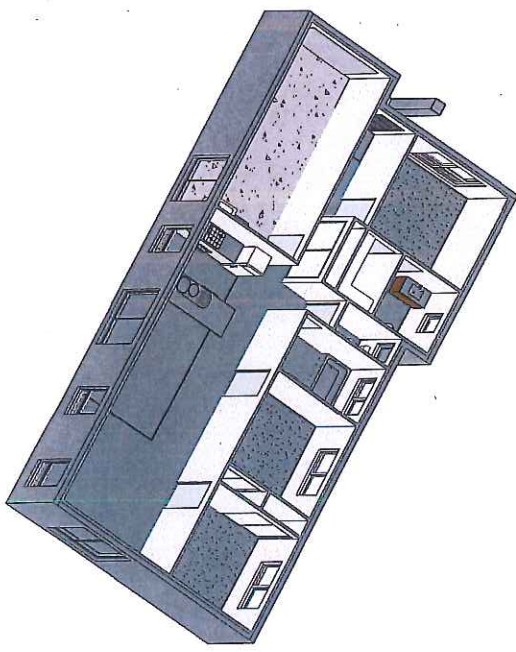
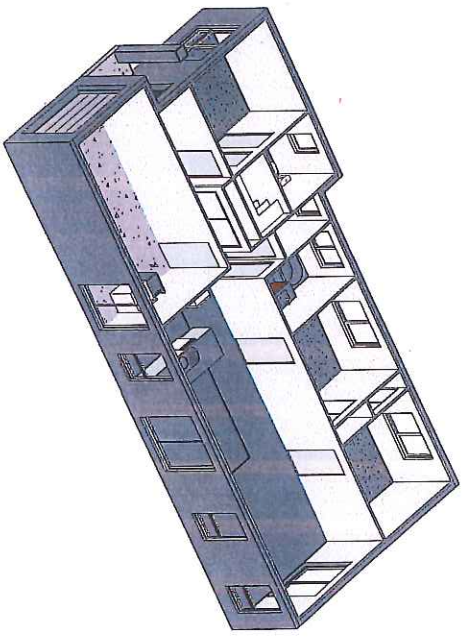
CLIENT: ABODE DH
DRAWING NAME: 3D VIEWS
AREI PLAN CODE: SERIES AREI

PROJECT: PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50a MAIN ROAD PERTH

PLAN NUMBER: 2829-20
DATE: 23/10/20
SCALE @ A3: 1:150
PAGE NO: 04 OF 05
DRAWN: KF
CHECKED: BEN DYE

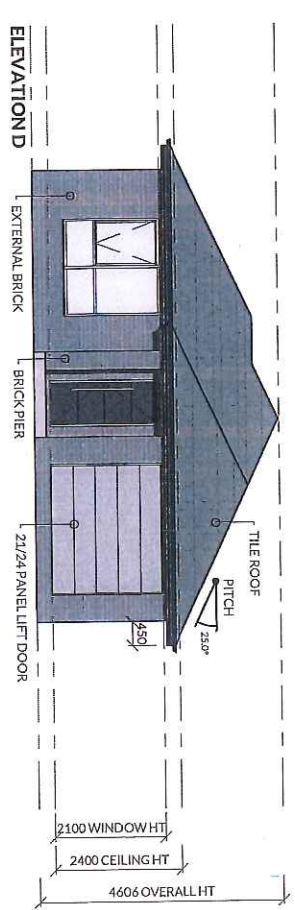
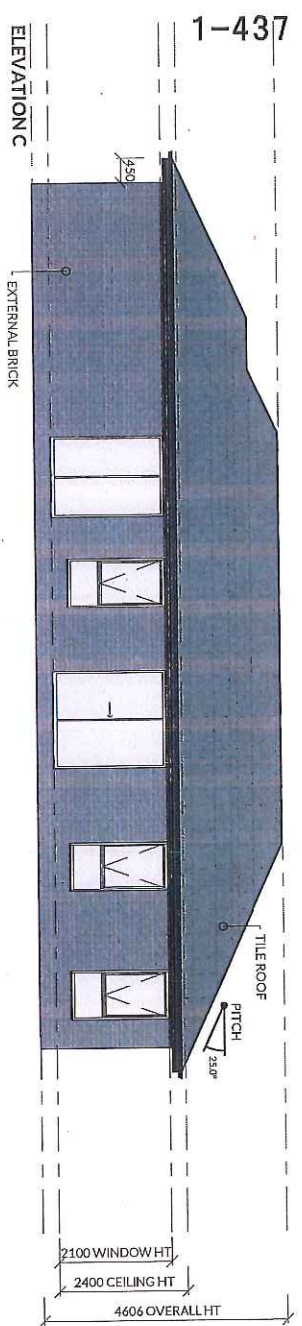
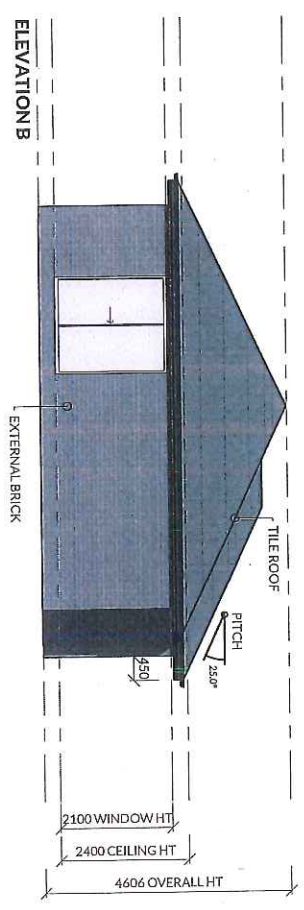
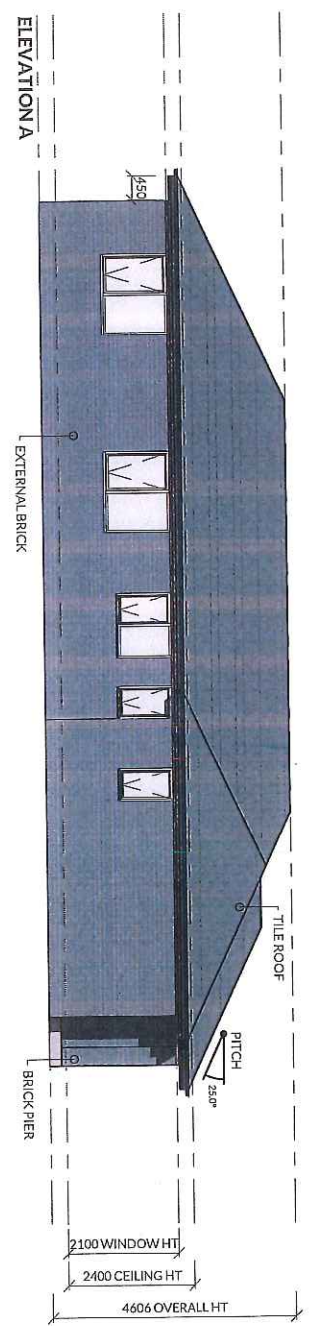
REV.	REVISION DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	23/10/20

© COPYRIGHT AREI DESIGNS
ALL RIGHTS RESERVED
USE SCALE & RULER AS A GUIDE ONLY

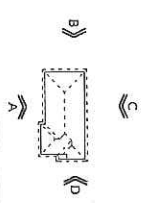


Superseded

Superseded



1-437



M: 0419 786 578
 M: 0403 505 705
 E: plans@areidesigns.com.au
 W: areidesigns.com.au
 ABN: 31414195818
 QBCC LIC: 15040397

AREI PLAN CODE:
 SERIES AREI

CLIENT:
 ABODE DH
 DRAWING NAME:
 ELEVATIONS

PROJECT:
 PROPOSED RESIDENCE FOR
 M & J KEMP NICH AT
 50A MAIN ROAD
 PERTH

PLAN NUMBER:
 2829-20
 DATE:
 23/10/20
 SCALE @ A3:
 1:100

PAGE NO:
 05 OF 05
 DRAWN:
 KF
 CHECKED:
 BENDYE

REV.	REVISION/DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	12/10/20

© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & BULDER AS A GUIDE ONLY



**NORTHERN
MIDLANDS
COUNCIL**

Our ref: PLN-20-0296

5th January 2021

Abode Designer Homes
67 Margaret St
LAUNCESTON 7250

By email: info@abodedesignerhomes.com.au

**Additional Information Required for Planning Application PLN-20-0296
Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property) at 50
Main Road, Perth**

I refer to the abovementioned application, which has been reviewed by Council's Planners. The following information is required to allow consideration of your application under the *Northern Midlands Interim Planning Scheme 2013*:

- Floor plan of the existing dwelling.
- Elevations of the proposed dwelling labelled north, south, east, west.
- Plan showing distance of existing dwelling from proposed southern boundary.
- Plan showing private open space for both dwellings
- Plan showing the location of car parking for the existing dwelling.

If you intend to start building after the new title is issued, another planning application, for a single dwelling, will be required.

The reduced setback from the King Street frontage must be compatible with the existing dwellings in the street (clause 10.4.2 P1 (a) of the *Northern Midlands Interim Planning Scheme 2013*).


My initial assessment is that the 1.062m setback from the King Street frontage is not compatible with the existing dwellings in King Street.

The application will therefore be taken to a Council meeting for a decision, with a likely recommendation of refusal.

I invite you to meet with Council's heritage architect and myself to discuss a setback that would be compatible with the existing dwellings in King Street.

In accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been satisfactorily supplied. Please include the reference PLN-20-0296 on all correspondence and send any emailed correspondence to planning@nmc.tas.gov.au. If you have any queries, please contact Council's Planning Section on 6397 7301, or at the above email address.

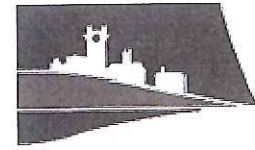
Yours sincerely

A handwritten signature in cursive script that reads "Paul Godier".

Paul Godier
Senior Planner

Copy: Matthew & Jessica Kempnich, by email: jess_bryant_1993@hotmail.com

Our ref: 108900.83;PLN-20-0296
Enquiries: Paul Godier



**NORTHERN
MIDLANDS
COUNCIL**

07/01/2021

Ty Turner
67 Margaret St
LAUNCESTON 7250
via email: info@abodedesignerhomes.com.au

Dear Ty Turner

Additional Information Required for Planning Application PLN-20-0296- Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property) at 50 Main Road, Perth

I refer to the abovementioned application that was referred to TasWater (the water and sewer authority). They have requested additional information (see attached RAI). If you have any queries, please contact TasWater's Development Co-ordinator directly:

☎ 13 6992

✉ development@taswater.com.au

The information requested must be provided to Council for forwarding to TasWater (preferably by email to Planning@nmc.tas.gov.au).

Therefore, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been supplied to the satisfaction of the Planning Authority. It is a requirement of the Planning Authority that all correspondence, if emailed, is sent to Planning@nmc.tas.gov.au and referenced with the planning application number **PLN-20-0296**. If you have any queries, please contact Council's Planning Section on 6397 7301, or e-mail planning@nmc.tas.gov.au

Yours sincerely



Karen Jenkins
Administration Officer

Copy: Matthew James Kempnich 24 Bulwer St Tas 7301
via email: jess_bryant_1993@hotmail.com

Note: Due to privacy laws, Council officers only hold discussions with applicants (e.g. when an applicant is acting as the owner's agent, all enquiries must be directed through the applicant).

Enc: TasWater RAI

Request for Additional Information

For Planning Authority Notice

Council Planning Permit No.	PLN-20-0296	Application date	05/01/2021
TasWater details			
TasWater Reference No.	TWDA 2021/00021-NMC	Date of response	06/01/2021
TasWater Contact	Jake Walley	Phone No.	0467 625 805
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	50 MAIN ROAD , PERTH	Property ID (PID)	6745230
Description of development	Multiple Dwellings x2	Stage No.	
Additional information required			
<ol style="list-style-type: none"> 1. The existing house can continue to use the existing sewer connection. There is no need to install a new sewer connection in this instance. 2. The proposed Lot with the proposed dwelling can connect to a new sewer main that comes across the street, given you produce a long section that shows it crossing other below ground infrastructure. This needs to be done by a suitably qualified person. 3. The amended plan is to show the location of the new water connection in relation to a known boundary. It must also notate that all work is to be done by taswater at the developers cost. The size of connection and meter is to be included on the plan also. 			
Advice			
Service Locations			
<p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <ul style="list-style-type: none"> • A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater • TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies • TasWater will locate residential water stop taps free of charge • Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council. <p>To view our assets, all you need to do is follow these steps:</p> <ol style="list-style-type: none"> 1) Open up webpage - http://maps.thelist.tas.gov.au/listmap/app/list/map 2) Click 'Layers' 3) Click 'Add Layer' 4) Scroll down to 'Infrastructure and Utilities' in the Manage Layers window, then add the appropriate layers. 5) Search for property 6) Click on the asset to reveal its properties 			



Authorised by

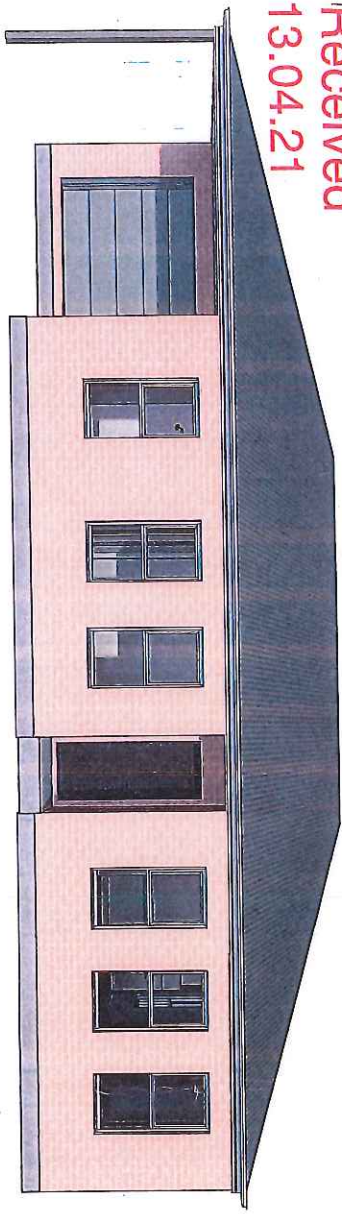
A handwritten signature in black ink, appearing to read "J. Taylor".

Jason Taylor

Development Assessment Manager

TASWATER CONTACT DETAILS

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		



PRELIMINARY DRAWINGS

PROPOSED RESIDENCE FOR
MATHEW & JESSICA KEMPINICH
ADDRESS
**50a MAIN ROAD
PERTH, TAS 7300**

PAGE LIST

PAGE NO	PAGE TITLE
01	COVER
02	SITE PLAN
03	FLOOR PLAN
04	3D VIEWS
05	ELEVATIONS

ABODE DESIGNER HOMES (OR OTHER TAS 1099) REPEAT TERMITE NOTE WITH THE FOLLOWING:

- OVERLAYS: ???
 LAND TITLE REFERENCE: ???
 SUBURB: PERTH
 LOCAL AUTHORITY: SOUTHERN MIDLANDS
 LOCAL AUTHORITY: SOUTHERN MIDLANDS COUNCIL
 ZONING: GENERAL RESIDENTIAL
 LAND SIZE: 453m²
 DWELLING FLOOR AREA: 124.5m²
 SITE COVER: 2.48%
 PORCH/PATIO AREA: 0.7m²

ROOF DRAINAGE NOTES:

- ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 5590.3 AND CURRENT NCC VOLUME 2 PART 3.5.2.
- DOWNPIPES (DP) TO BE 100MM Ø UPVC.
- TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION ON DRAINING ROOF/WATER ONTO GROUND, 2M MIN AWAY FROM BUILDING.
- ALL STORMWATER DOWNPIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION/LOCAL PLANNING SCHEME.

FLOOR PLAN NOTES:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
- ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS.
- INSTALL LOCATIONS:
 - 1. ON EACH LEVEL OF LIVING SPACE
 - 2. IN EVERY BEDROOM
- WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PREScriptive.
- ALL GLAZING TO BE IN ACCORDANCE WITH AS1288. WINDOW SIZES MAY VARY DUE TO MANUFACTURER'S SPECIFICATIONS.
- CONSTRUCTION DIMENSIONS PRIOR TO FRAME ONLY AND DO NOT INCLUDE CLADDING/GAINS (UNO).
- 5.5. BALLSTRADING TO COMPLY WITH CURRENT NCC VOLUME 2 SECTION 9.2.3 WIRE BALUSTRADING CONSTRUCTION.
- DOORS TO W.C.'S TO HAVE LIFT OFF HINGES ONLY IF THE DOORS SWING IN TOWARDS THE W.C).
- REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, THE DOWN AND SLAB/FOOTING DETAILS.
- SEAL WET AREAS IN ACCORDANCE WITH AS5740 & NCC REQUIREMENTS.
- DOWNPIPES (DP) TO BE MAX. 12M LINEAL APART. DP Ø 7500mm² MIN. CROSS SECT. AREA 90mm²

PATH/DRAINAGE NOTES:

- DRIVEWAY/SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSINGS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB.
- PROVIDE A LAYER OF SAND A MINIMUM OF 200mm THICK UNDER THE SLAB COMPACTED AND LEVELED.
- SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

3D VIEW NOTES:

- GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PREScriptive.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PREScriptive BUT INDICATIVE ONLY, ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

ELECTRICAL NOTES:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
- ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS.
- ALL SMOKE ALARMS TO BE INTERCONNECTED.
- INSTALL LOCATIONS:
 - 1. ON EACH LEVEL OF LIVING SPACE
 - 2. IN EVERY BEDROOM
 - 3. IN EVERY BEDROOM
- REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
- ACCORDING TO MANUP. SPEC. OR BUILDERS DIRECTIONS.
- MINIMUM COVER TO GROUND - 50mm.
- TOP COVER TO SLAB REINFORCEMENT - 30mm.
- GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
- POLYETHYLENE JOINTS ARE TO BE LAPPED 300mm AND TAPPED.
- REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm CRS.
- ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
- FILL WATER AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. ORY DENSITY.
- INDICATIVE ONLY, THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

SITE WORKS NOTES:

- POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
- ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION/LOCAL PLANNING SCHEME HOUSE CODE AND AS 9590 ALL PARTS.
- BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MANHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BUILDER TO DETERMINE APPROPRIATE PLATTFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVELS IS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITIES REQUIREMENTS & TO COMPLY WITH NCC VOL. 2.3.1.2.
- FALL OF LAND UNKNOWN AND IS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT-FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT NCC VOLUME 2.3.1.1, AS 3798 & AS 4200.
- THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1:120 MINIMUM.
- STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE:
 - 1. STORMWATER KERB ADAPTERS TO STREET (2 MAX).
 - 2. ROOFPATER/STORMWATER PIPE
 - 3. BURIED TO COUNCIL SPECIFICATION.
 - 4. RAINWATER TANK, OVERFLOW MUST CONNECT TO STORMWATER SYSTEM.
 - 5. SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
 - 6. ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.
 - 7. THE HEIGHT OF FENCES, INCLUDING THE HEIGHT ABOVE FINISHED GROUND AND LEVEL ON IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.
 - 8. WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

SECTION NOTES:

- TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PREScriptive. FINAL DESIGN TO TRUSS MANUFACTURER'S SPECIFICATIONS.
- ALL PINE TO BE 104MM.
- GROUND LINE SHOWN DOES NOT RELATE TO BOUNDARY AND ROAD KERB.
- GROUND LINE SHOWN DOES NOT RELATE TO BOUNDARY AND ROAD KERB.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PREScriptive.
- SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PREScriptive BUT INDICATIVE ONLY, THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

FOUNDATION NOTES:

- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY INSPECTION OF FOOTING EXCAVATIONS.
- PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION. ACURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FUTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
- WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE.
- REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
- ACCORDING TO MANUP. SPEC. OR BUILDERS DIRECTIONS.
- MINIMUM COVER TO GROUND - 50mm.
- TOP COVER TO SLAB REINFORCEMENT - 30mm.
- GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
- POLYETHYLENE JOINTS ARE TO BE LAPPED 300mm AND TAPPED.
- REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm CRS.
- ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
- FILL WATER AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. ORY DENSITY.
- INDICATIVE ONLY, THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

GENERAL NOTES:

- ALL DESIGN CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODES (NCC).
- THE STATE DEVELOPMENT CODE
- BUILDING REGULATIONS
- CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS
- FOR MATERIALS USED
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
- SUPPLY OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING. 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PREScriptive BUT INDICATIVE ONLY, THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
- ALL DIMENSIONS IN MILLIMETERS
- DIMENSIONS TAKE REFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH UNLESS EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
- ALL DIMENSIONS, DETAILS, SET LEVELS AND FINISHED FLOOR LEVELS TO BE PROVIDED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
- MANUFACTURER'S SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE TO THESE DRAWINGS AND AVAILABLE DIGITALLY, IF REQUIRED.
- DATA SUPPLIED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THE DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA.
- OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.
- ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.



M: 0419 786 578
 E: arei@areidesigns.com.au
 W: areidesigns.com.au
 ABRN: 31614/939818
 QBCC LIC: 15004097

CLIENT: **ABODE DH**
 DRAWING NAME: **COVER**

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50a MAIN ROAD PERTH**

PLAN NUMBER: **2829-20**
 DATE: **13/04/21**
 SCALE: **A3**

PAGE NO: **01 OF 05**
 DRAWN: **KP**
 CHECKED: **BEN DYE**

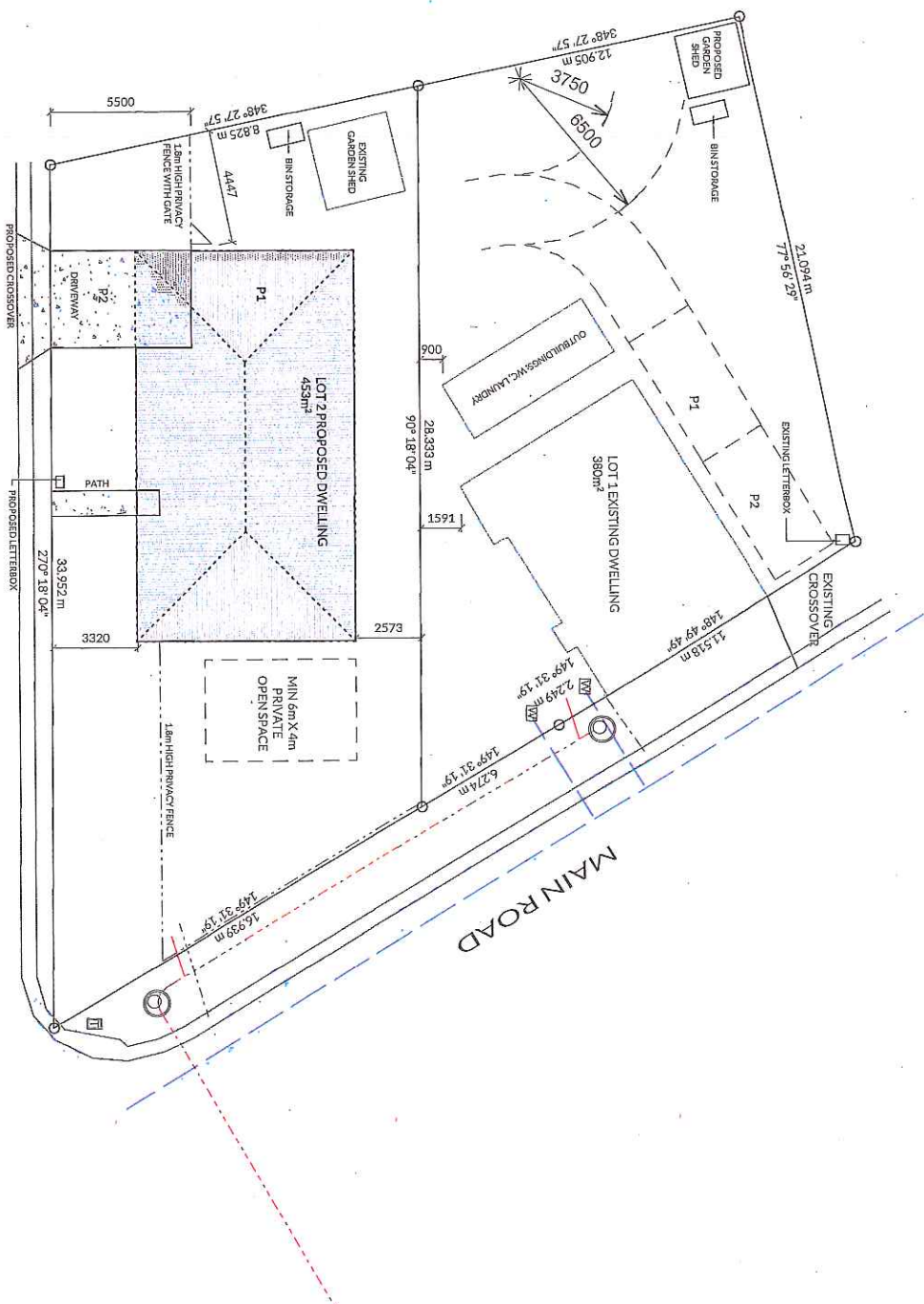
REV.	REVISION DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	23/10/20
B	PRELIMINARY ISSUE	13/04/21

© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & RULER AS A GUIDE ONLY
EXHIBITED

1-444

LEGEND

- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- STORM WATER LINE
- FENCE
- ELECTRICAL
- TELSTRA COMMUNICATIONS
- WATER LINE
- UNDERGROUND GAS MARKER
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT



KING STREET

MAIN ROAD

EXHIBITED



M: 0419 786 578
M: 0403 508 705
E: plans@areideigns.com.au
W: areideigns.com.au
ABN: 34614195838
QBCC Lic: 15040397

AREI PLAN CODE:
SERIES AREI

CLIENT:
ABODE DH
DRAWING NAME:
SITE PLAN

PROJECT:
PROPOSED RESIDENCE FOR
M & J KEMPENICH AT
50a MAIN ROAD
PERTH

PLAN NUMBER: 2829-20
DATE: 13/04/21
SCALE @ A3: 1:200

REV.	REVISION DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	23/10/20
B	PRELIMINARY ISSUE	13/04/21

© COPYRIGHT AREI DESIGNS
ALL RIGHTS RESERVED
USE SCALE & RULER AS A GUIDE ONLY



Received
13.04.21

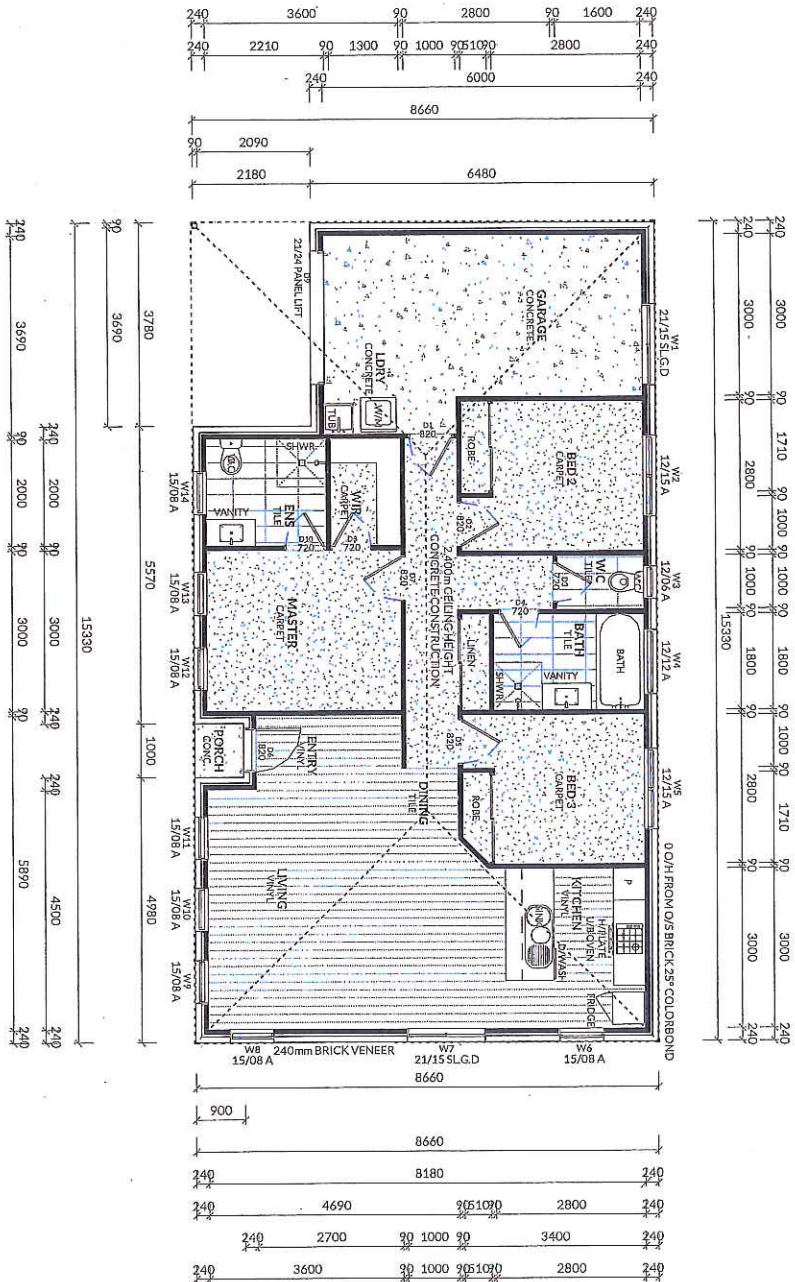
FLOORAREAS
 GARAGE 22.9 m²
 LIVING 100.7 m²
 PATIO 0.0 m²
 PORCH 0.9 m²
 TOTAL 124.5 m²

MARK	SIZE	DESCRIPTION
------	------	-------------

W1	2100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W2	1200 x 1500	ALUM. FRAMED AWNING
W3	1200 x 600	ALUM. FRAMED AWNING
W4	1200 x 1200	ALUM. FRAMED AWNING
W5	1200 x 1500	ALUM. FRAMED AWNING
W6	1500 x 800	ALUM. FRAMED AWNING
W7	2100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W8	1500 x 800	ALUM. FRAMED AWNING
W9	1500 x 800	ALUM. FRAMED AWNING
W10	1500 x 800	ALUM. FRAMED AWNING
W11	1500 x 800	ALUM. FRAMED AWNING
W12	1500 x 800	ALUM. FRAMED AWNING
W13	1500 x 800	ALUM. FRAMED AWNING
W14	1500 x 800	ALUM. FRAMED AWNING

MARK	SIZE	DOOR TYPE
------	------	-----------

D1	2040 x 820	HOLLOW CORE SWING
D2	2040 x 820	HOLLOW CORE SWING
D3	2040 x 720	HOLLOW CORE SWING
D4	2040 x 720	HOLLOW CORE SWING
D5	2040 x 820	HOLLOW CORE SWING
D6	2040 x 820	SOLID CORE SWING
D7	2040 x 820	HOLLOW CORE SWING
D8	2040 x 720	HOLLOW CORE SWING
D9	2100 x 2400	PANEL LIFT DOOR
D10	2040 x 720	HOLLOW CORE SWING



AREI
 M: 0819 786 578
 M: 0803 508 705
 E: info@areidesigns.com.au
 W: areidesigns.com.au
 ABN: 5163 4195 918
 QBCC LIC: 15060397

CLIENT: ABODE DH
 DRAWING NAME: FLOOR PLAN
 SERIES AREI

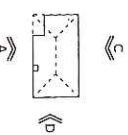
PROJECT: PROPOSED RESIDENCE FOR M & J KEMPENICH AT 50a MAIN ROAD PERTH

PLAN NUMBER: 2829-20
 DATE: 13/04/21
 SCALE @ A3: 1:100

REV.	REVISION DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	23/10/20
B	PRELIMINARY ISSUE	13/04/21

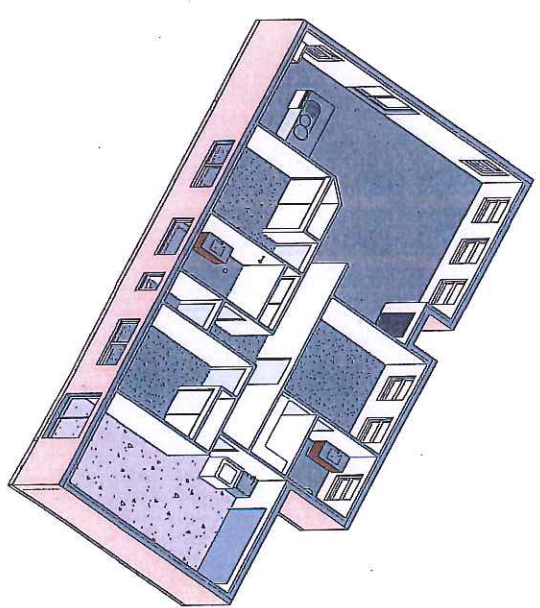
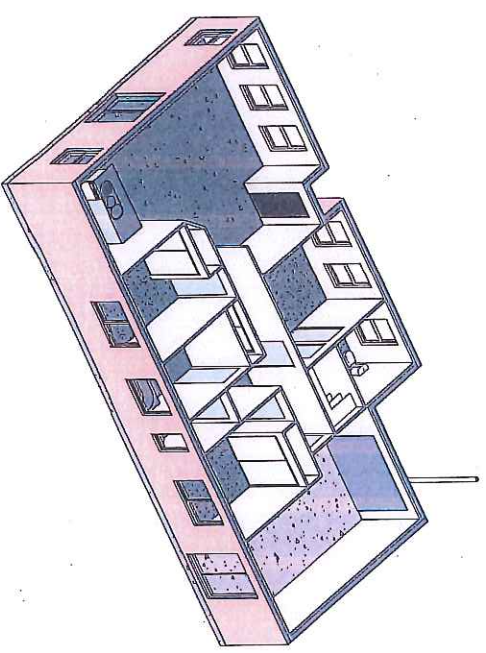
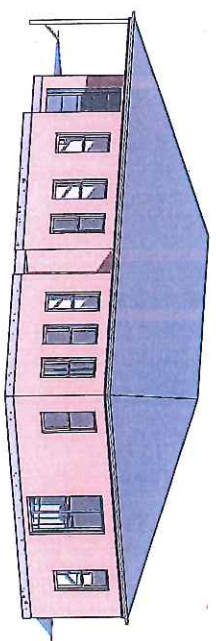
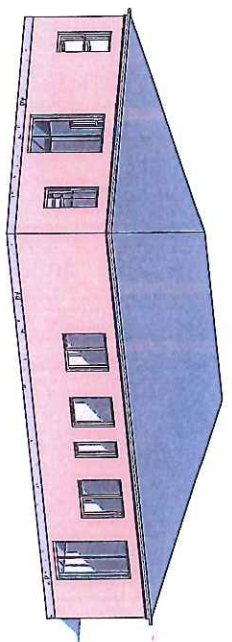
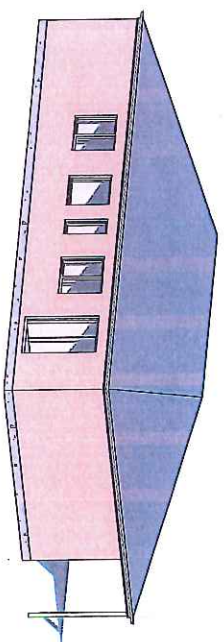
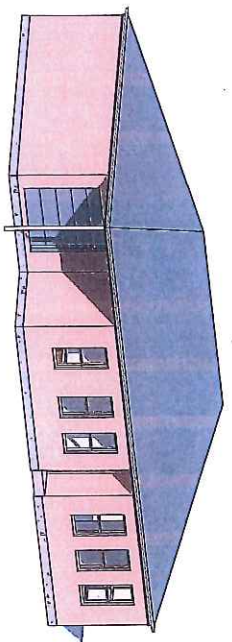
© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & RULER AS A GUIDE ONLY

EXHIBITED



Received
13.04.21

1-446



EXHIBITED



M: 0419 786 578
M: 0403 508 705
E: plans@areidesigns.com.au
W: areidesigns.com.au
ABN: 31 614195818
QBCC LIC: 1500397

AREI PLAN CODE:
SERIES AREI

CLIENT:
ABODE DH
DRAWING NAME:
3D VIEWS

PROJECT:
PROPOSED RESIDENCE FOR
M & J KEMPINICH AT
502 MAIN ROAD
PERTH

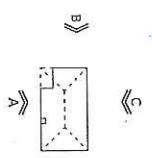
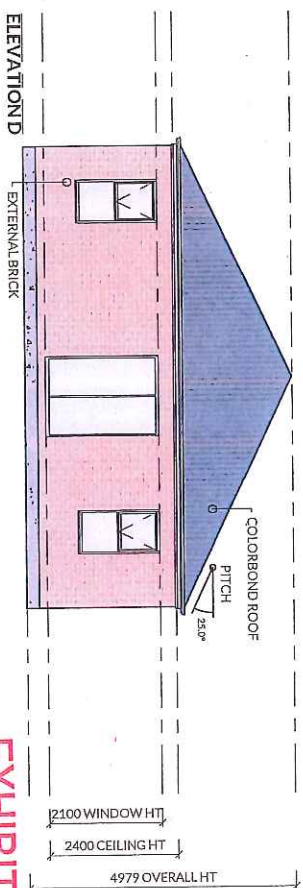
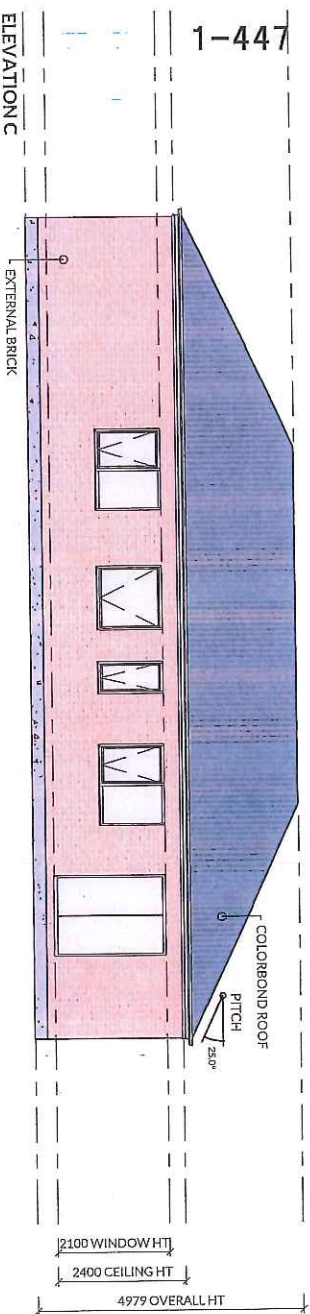
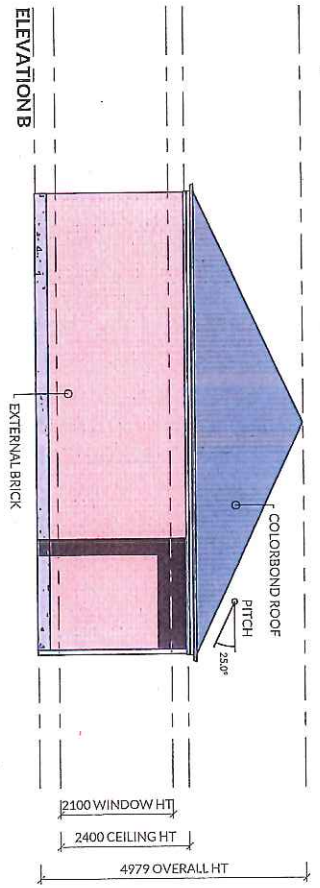
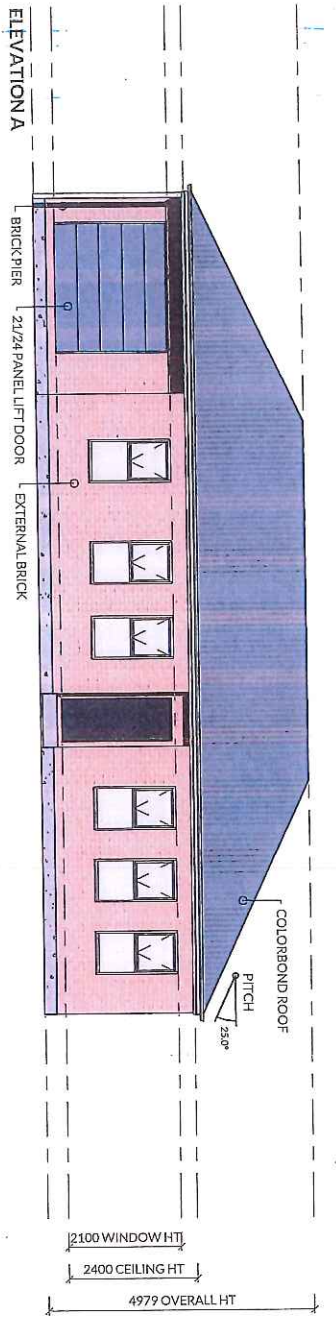
PLAN NUMBER: 2829-20
DATE: 13/04/21
SCALE @ A3: 1:150
PAGE NO: 04 OF 05
DRAWN: KF
CHECKED: BEN DYE

REV.	REVISION DESCRIPTION	APPROV.	DATE
A	PRELIMINARY ISSUE		23/10/20
B	PRELIMINARY ISSUE		13/04/21

0m 1.5m 3m 4.5m 6m 7.5m
© COPYRIGHT AREI DESIGNS
ALL RIGHTS RESERVED
USE SCALE & RULER AS A GUIDE ONLY

Received
13.04.21

NOTE-COLOURS:
 • COLORBOND ROOF - WINDSPRAY
 • FASCIA & GUTTERS - SURMIST
 • PANEL LIFT DOOR - WINDSPRAY
 • WINDOWS - RED
 • BRICKS - RED



M:0419 786 578
 M:0403 508 705
 E:pharis@reidesigns.com.au
 W:reidesigns.com.au
 ABN: 31614195818
 QBCC LIC: 15060397

CLIENT: ABODE DH
 DRAWING NAME: ELEVATIONS

PROJECT: PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50A MAIN ROAD PERTH

PLAN NUMBER: 2829-20
 DATE: 13/04/21
 SCALE @ A3: 1:100

PAGE NO: 05 OF 05
 DRAWN: KF
 CHECKED: BEN DYE

REV	REVISION DESCRIPTION	APPROV	DATE
A	PRELIMINARY ISSUE		23/10/20
B	PRELIMINARY ISSUE		13/04/21

© COPYRIGHT ANEI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALE & RULER AS A GUIDE ONLY

0m 5 1m 5 2m 5 3m 5 4m 5 5m

EXHIBITED



Tasmanian Heritage Council
 GPO Box 618 Hobart Tasmania 7000
 Tel: 1300 850 332
 enquiries@heritage.tas.gov.au
 www.heritage.tas.gov.au

PLANNING REF: PLN-20-0296
 THC WORKS REF: 6455
 REGISTERED PLACE NO: 5221
 FILE NO: 10-48-06THC
 APPLICANT: Adobe Designer Homes
 DATE: 30 June 2021

NOTICE OF HERITAGE DECISION

(Historic Cultural Heritage Act 1995)

The Place: 50 Main Road, Perth.
 Proposed Works: New dwelling.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-20-0296, advertised on 12/06/2021, subject to the following conditions:

1. **The design of the house is to be refined to more positively respond to the heritage building, specifically:**
 - (i) **The roof over the garage / laundry area must be a skillion; or a secondary hip confined to the depth of the new garage, with skillion over the garage entry; and,**
 - (ii) **The window openings in the south and east elevations must have expressed lintels and sills, and the door openings including porch recess are to have expressed lintels; and**
 - (iii) **The windows and doorway in the east elevation must be evenly spaced and arranged symmetrically; and,**
 - (iv) **The main roof must have eaves of the same overhang as those of the main roof of the heritage building.**
2. **Revised drawings showing how the requirements of condition 1 are to be achieved must be provided to Heritage Tasmania and be to the Works Manager's satisfaction prior to the commencement of works.**

Reason

To ensure that the new building is of a massing, form, character, and detail design that is sympathetic to the heritage building, consistent with the 'appropriate outcomes' described in section 8.1 of the *Works Guidelines*. In particular, to reduce the overall bulk of the roof; to provide a visual differentiation of the main and ancillary parts of the dwelling, similar to the roof forms of the heritage building; to ensure that the principal

elevations have a symmetrical composition in keeping with the principal elevation of the heritage building; and, to provide form and detail that relates positively to the heritage building.

Advice

It is recommended that (a) the skillion roof of the garage be set back a distance of approx. 500mm from the front of the house, to increase the visual separation of the two roofs.

Should you require clarification of any matters contained in this notice, please contact Heritage Tasmania's Works Manager, Ian Boersma, on 0429 979 586 or 1300 850 332.

A handwritten signature in blue ink, appearing to read 'A Roberts', with a long horizontal flourish extending to the right.

Andrew Roberts

Acting Director – Heritage Tasmania

Under delegation of the Tasmanian Heritage Council

The Heritage Council consent decision for Development Application PLN-20-0296, issued 30/06/2021, requires that any approval granted in respect to this application be subject to the following conditions:

- 1. The design of the house is to be refined to more positively respond to the heritage building, specifically:**
 - (i) The roof over the garage / laundry area must be a skillion; or a secondary hip confined to the depth of the new garage, with skillion over the garage entry; and,**
 - (ii) The window openings in the south and east elevations must have expressed lintels and sills, and the door openings including porch recess are to have expressed lintels; and**
 - (iii) The windows and doorway in the east elevation must be evenly spaced and arranged symmetrically; and,**
 - (iv) The main roof must have eaves of the same overhang as those of the main roof of the heritage building.**

- 2. Revised drawings showing how the requirements of condition 1 are to be achieved must be provided to Heritage Tasmania and be to the Works Manager's satisfaction prior to the commencement of works.**

Reason

To ensure that the new building is of a massing, form, character, and detail design that is sympathetic to the heritage building, consistent with the 'appropriate outcomes' described in section 8.1 of the *Works Guidelines*. In particular, to reduce the overall bulk of the roof; to provide a visual differentiation of the main and ancillary parts of the dwelling, similar to the roof forms of the heritage building; to ensure that the principal elevations have a symmetrical composition in keeping with the principal elevation of the heritage building; and, to provide form and detail that relates positively to the heritage building.

Advice

It is recommended that (a) the skillion roof of the garage be set back a distance of approx. 500mm from the front of the house, to increase the visual separation of the two roofs.

Figures 2 to 5 on the following page demonstrate how these conditions may be performed.



Figure 1(a). Comparable infill example, Bridge St., Richmond.

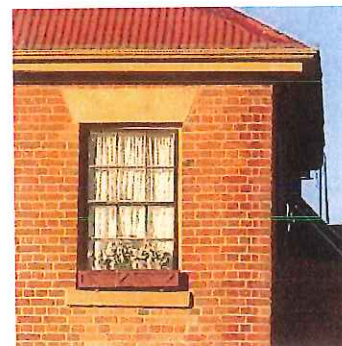


Figure 1(b). Local example of eaves, lintels, and sills.

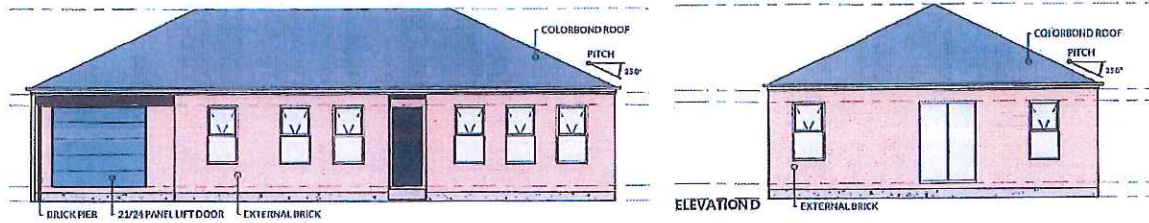


Figure 2. Proposed elevations facing King Street (LHS) and Main Road (RHS), as per application.

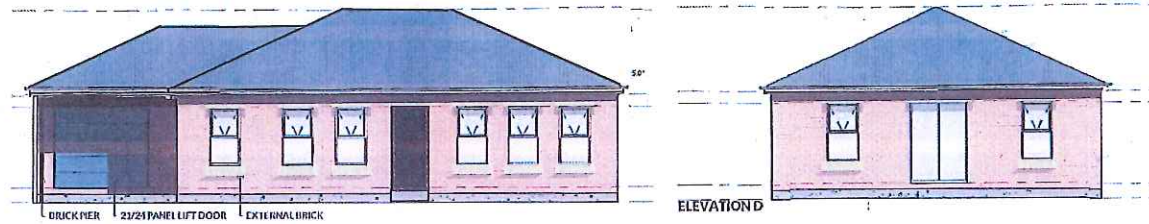


Figure 3. Elevations facing King Street (LHS) and Main Road (RHS) adjusted to reflect conditions.

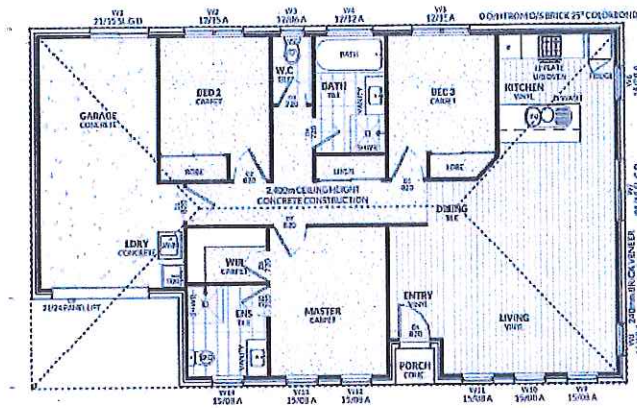


Figure 4. Proposed floor plan with roof shown dotted, as per application.

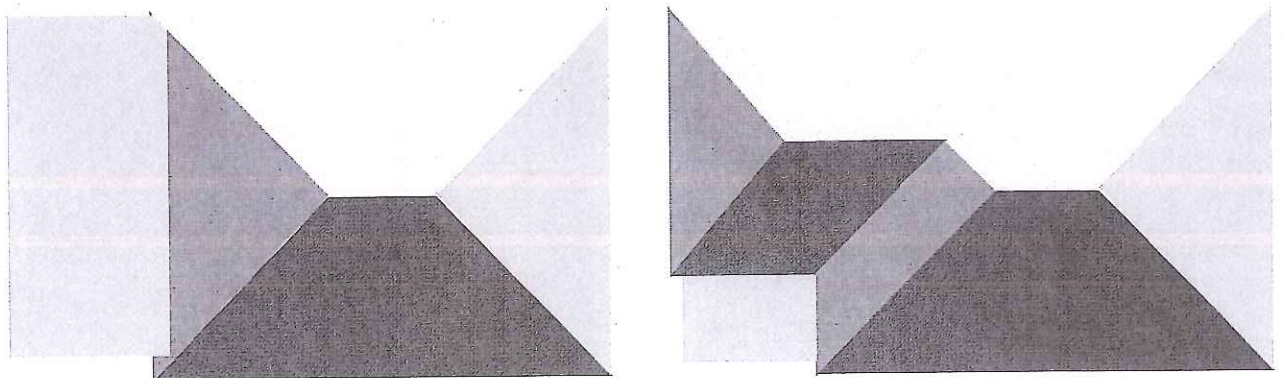


Figure 5. Roof plans amended to reflect Condition 1(i), either as a skillion over the garage/laundry, or a secondary hip.

NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN
DATE: 10 June 2021
REF NO: PLN-20-0296; 108900.83
SITE: 50 Main Road, Perth
PROPOSAL: Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property)
APPLICANT: Abode Designer Homes
REASON FOR REFERRAL: HERITAGE PRECINCT
HERITAGE-LISTED PLACE
Local Historic Heritage Code
Heritage Precincts Specific Area Plan

Do you have any objections to the proposal: No

The proposed dwelling is in accordance with the Heritage Standards for Development.

Email referral as word document to David Denman – david@denman.studio


Attach public exhibition documents

Subject line: Heritage referral PLN-20-0296 - 50 Main Road, Perth



David Denman (Heritage Adviser)

Date: 10/06/2021



Assessment against E13.0 (Local Historic Heritage Code)
--

E13.1 Purpose

E13.1.1 *The purpose of this provision is to:*

- a) *protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and*
- b) *encourage and facilitate the continued use of these items for beneficial purposes; and*
- c) *discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and*
- d) *ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and*
- e) *conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place*

E13.2 Application of the Code

E13.2.1 *This code applies to use or development of land that is:*

- a) *within a Heritage Precinct;*
- b) *a local heritage place;*
- c) *a place of identified archaeological significance.*

E13.3 Use or Development Exempt from this Code

E13.3.1 *The following use or development is exempt from this code:*

- a) *works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;*
- b) *electricity, optic fibre and telecommunication cables and gas lines to individual buildings;*
- c) *internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;*
- d) *maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;*
- e) *repainting of an exterior surface that has been previously painted, in a colour similar to that existing;*
- f) *the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and*
- g) *the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.*

Comment:

The subject site is within a Heritage Precinct.

The subject place is heritage listed.

E13.5 USE STANDARDS**E13.5.1 Alternative Use of heritage buildings**

<i>Objective: To ensure that the use of heritage buildings provides for their conservation.</i>	
Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	<p>P1 Notwithstanding Clause 8.9, a permit may be granted for any use of a locally listed heritage place where:</p> <p>a) it can be demonstrated that the proposed use will not adversely impact on the significance of a heritage place; and</p> <p>b) the amenity impacts of both the proposed use on the surrounding areas and from the surrounding area on the proposed use are considered acceptable; and</p> <p>c) a report by heritage professional states that it is necessary for conservation purposes or the continued maintenance of the building or where there is an overriding public benefit.</p>

Comment: N/a

E13.6 DEVELOPMENT STANDARDS

E13.6.1 Demolition

<i>Objective: To ensure that the demolition or removal of buildings and structures does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 Removal of non-original cladding to expose original cladding.	<p>P1.1 Existing buildings, parts of buildings and structures must be retained except:</p> <p>a) where the physical condition of place makes restoration inconsistent with maintaining the cultural significance of a place in the long term; or</p> <p>b) the demolition is necessary to secure the long-term future of a building or structure through renovation, reconstruction or rebuilding; or</p> <p>c) there are overriding environmental, economic considerations in terms of the building or practical considerations for its removal, either wholly or in part; or</p> <p>d) the building is identified as non-contributory within a precinct identified in Table E13.1: Heritage Precincts, if any; and</p> <p>P1.2 Demolition must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: N/a

E13.6.2 Subdivision and development density

<i>Objective: To ensure that subdivision and development density does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.</i>	
Acceptable Solutions	Performance Criteria
A1 No acceptable	P1 Subdivision must:

solution.	<ul style="list-style-type: none"> a) be consistent with and reflect the historic development pattern of the precinct or area; and b) not facilitate buildings or a building pattern unsympathetic to the character or layout of buildings and lots in the area; and c) not result in the separation of building or structures from their original context where this leads to a loss of historic heritage significance; and d) not require the removal of vegetation, significant trees or garden settings where this is assessed as detrimental to conserving the historic heritage significance of a place or heritage precinct; and e) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
-----------	---

Comment: N/a

E13.6.3 Site Cover

Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.

Acceptable Solutions	Performance Criteria
A1 Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The site coverage must: <ul style="list-style-type: none"> a) be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.4 Height and Bulk of Buildings

Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.5 Fences

Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New fences must: <ul style="list-style-type: none"> a) be designed to be complementary to the architectural style of the dominant buildings on the site or b) be consistent with the dominant fencing style in the heritage precinct; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

E13.6.6 Roof Form and Materials

Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Roof form and materials for new buildings and structures must: <ul style="list-style-type: none"> a) be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.7 Wall materials

Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Wall material for new buildings and structures must: <ul style="list-style-type: none"> a) be complementary to wall materials of the dominant buildings on the site or in the precinct; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.8 Siting of Buildings and Structures

Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The front setback for new buildings or structure must: a) be consistent with the setback of surrounding buildings; and b) be set at a distance that does not detract from the historic heritage significance of the place; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.9 Outbuildings and Structures

Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Outbuildings and structures must be: a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New outbuildings and structures must be designed and located; a) to be subservient to the primary buildings on the site; and b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.10 Access Strips and Parking

Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Car parking areas for non-residential purposes must be: a) located behind the primary buildings on the site; or b) in accordance with the acceptable	P1 Car parking areas for non-residential purposes must not: a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the

<i>development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.</i>	setting of a building or its historic heritage significance; and b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
--	--

Comment: N/a

E13.6.11 Places of Archaeological Significance

Objective: To ensure that places identified in Table E13.3 as having archaeological significance are appropriately managed.

Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	P1 For works impacting on places listed in Table E13.3: a) it must be demonstrated that all identified archaeological remains will be identified, recorded and conserved; and b) details of survey, sampling and recording techniques technique be provided; and c) that places of identified historic heritage significance will not be destroyed unless there is no prudent and feasible alternative.

Comment: N/a

E13.6.12 Tree and Vegetation Removal

Objective: To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	P1 The removal of vegetation must not: a) unreasonably impact on the historic cultural significance of the place; and b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

E13.6.13 Signage

Objective: To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.

Acceptable Solutions	Performance Criteria
A1 Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the	P1 New signs must be of a size and location to ensure that: a) period details, windows, doors and other architectural details are not covered or removed; and b) heritage fabric is not removed or destroyed through attaching signage; and c) the signage does not detract from the setting of a heritage place or does not unreasonably impact on the view of the place

<p>property not greater than 0.2m².</p>	<p>from public viewpoints; and d) signage does not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>
--	--

Comment: N/a

E13.6.14 Maintenance and Repair

<p>Objective To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the <u>historic cultural heritage significance</u> of local heritage places and precincts.</p>
<p>Acceptable Solution New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.</p>

Comment: N/a

Table E13.1: Local Heritage Precincts

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

<p>Existing Character Statement - Description and Significance</p>
<p>EVANDALE HERITAGE PRECINCT CHARACTER STATEMENT The Evandale Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, with its rich and significant built fabric and village atmosphere. Its historic charm, tree lined streets and quiet rural setting all contribute to its unique character. Its traditional buildings are an impressive mix of nineteenth and early twentieth century architectural styles while its prominent elements are its significant trees, the Water Tower and the Church spires. The original street pattern is an important setting for the Precinct, with views along traditional streetscapes, creating an historic village atmosphere that is still largely intact. Period residential buildings, significant trees, picket fences, hedgerows and cottage gardens are all complementary, contributing to the ambience of a nineteenth century village. The main roads into and out of Evandale create elevated views to the surrounding countryside which give context to the town and the Precinct, and contribute to its character. The quiet village feel of the town is complemented by a mix of businesses meeting local needs, tourism and historic interpretation. Evandale's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.</p> <p>ROSS HERITAGE PRECINCT CHARACTER STATEMENT The Ross Heritage Precinct is unique because it is the intact core of a nineteenth century townscape, with its rich and significant built fabric and the village atmosphere. Its historic charm, wide tree lined streets and quiet rural environment all contribute to its unique character. Its traditional buildings comprise simple colonial forms that are predominantly one storey, while the prominent elements are its significant trees and Church spires. Most commercial activities are located in Church Street as the main axis of the village, which directs attention to the War Memorial and the Uniting Church on the hill. The existing and original street pattern creates linear views out to the surrounding countryside. The quiet rural feel of the township is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Ross' heritage ambience has been acknowledged, embraced and built on by many of those who</p>

live in or visit the village.

PERTH HERITAGE PRECINCT CHARACTER STATEMENT

The Perth Heritage Precinct is unique because it is still the core of a small nineteenth century riverside town, built around the thoroughfare from the first bridge to cross the South Esk River, and which retains its historic atmosphere. It combines significant colonial buildings, compact early river's edge residential development, and retains the small-scale commercial centre which developed in the nineteenth century at the historic crossroads and river crossing for travel and commerce between Hobart, Launceston and the North West. Perth's unique rural setting is complemented by its mix of businesses still serving local and visitor's needs. Perth's heritage ambience is acknowledged by many of those who live in or visit the town, and will be enhanced by the eventual construction of the Midland Highway bypass.

LONGFORD HERITAGE PRECINCT CHARACTER STATEMENT

The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland, creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.

CAMPBELL TOWN HERITAGE PRECINCT CHARACTER STATEMENT

The Campbell Town Heritage Precinct is unique because it is the core of a substantially intact nineteenth century townscape, with its significant built fabric, and its atmosphere of a traditional resting place on the main road between the north and south. Its wide main street, historic buildings and resting places for travellers all contribute to its unique character. High Street has remained as the main commercial focus for the town, continuing to serve the needs of residents, visitors and the agricultural community. The War Memorial to the north marks the approach to the business area which terminates at the historic bridge over the Elizabeth River; a significant landscape feature. Traditional buildings in the Precinct include impressive examples of colonial architecture. The historic Valentine's Park is the original foreground for 'The Grange' and provides a public outdoor resting place for visitors and locals at the heart of the town. Campbell Town's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.

Management Objectives

To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.

To ensure developments within street reservations in the towns and villages having Heritage

Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.

Comment: The proposal is consistent with the Heritage Precinct Character Statement and satisfies the Management Objectives.

Assessment against F2.0 (Heritage Precincts Specific Area Plan)
--

F2.1 Purpose of Specific Area Plan

F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a **positive contribution to the streetscape** within the Heritage Precincts.

F2.2 Application of Specific Area Plan

F2.2.1 This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.

F2.2.2 The following development is exempt from this Specific Area Plan:

- a) works required to comply with an Emergency Order issued under section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunications cables, and water, sewerage, drainage connections and gas lines to individual buildings;
- c) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- d) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- e) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead wood, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- f) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

F2.3 Definitions**F2.3.1 Streetscape**

For the purpose of this specific area plan **'streetscape'** refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

F2.3.2 Heritage-Listed Building

For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

F2.4 Requirements for Design Statement

F2.4.1 In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.

F2.4.2 The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.

F2.4.3 *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

Comment: Although the subject site is within the Heritage Precincts Specific Area Plan, the proposal will not have an effect on the streetscape.

REFERRAL OF DEVELOPMENT APPLICATION PLN-20-0296 TO WORKS & INFRASTRUCTURE DEPARTMENT

Property/Subdivision No: 108900.83

Date: 10 June 2021

Applicant: Abode Designer Homes

Proposal: Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property)

Location: 50 Main Road, Perth

W&I referral PLN-20-0296, 50 Main Road, Perth

All other conditions are covered under the subdivision permit.

STANDARD CONDITIONS FOR MULTIPLE DWELLINGS

W.1 Stormwater

- a) Each dwelling must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works & Infrastructure Department.
- b) Concentrated stormwater must not be discharged into neighbouring properties
- c) Landscaping and hardstand areas must not interfere with natural stormwater run-off from neighbouring properties.
- d) All driveways and hardstand areas must be designed to allow stormwater run-off to be adequately drained to the Council stormwater system.
- e) Prior to the issue of a building permit, or the commencement of development authorised by this permit, the applicant must design and provide plans for underground stormwater drainage to collect stormwater from the driveways and roofed area of buildings. The system must connect through properly-jointed pipes to the stormwater main, inter-allotment drainage or other lawful point of discharge to the satisfaction of the Plumbing Inspector.
- f) A plumbing permit is required prior to commencing any plumbing or civil works within the property.

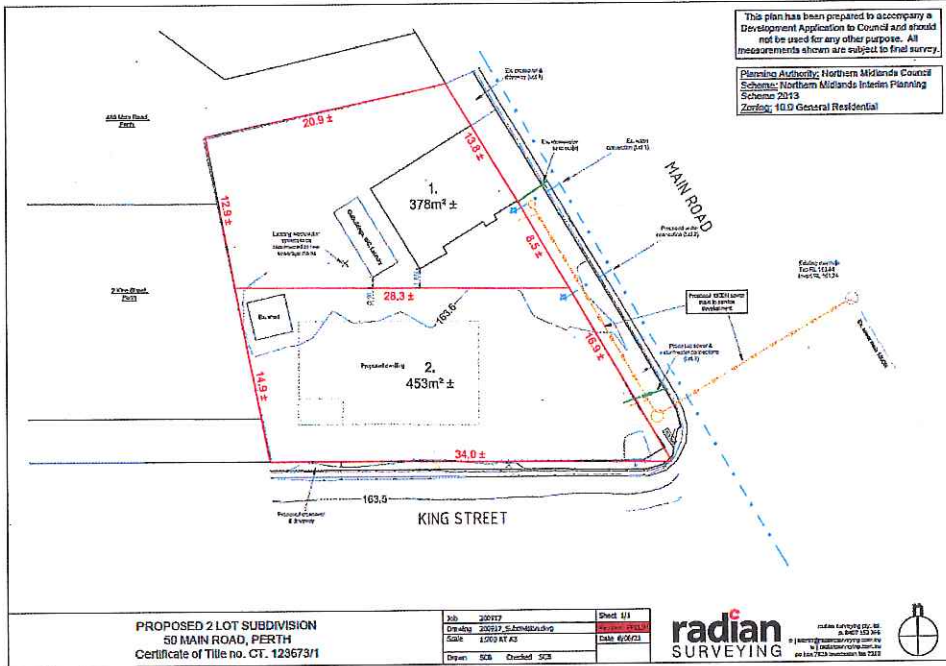
Jonathan Galbraith (Engineering Officer)

Date: 21/6/21

Traffic Impact Assessment

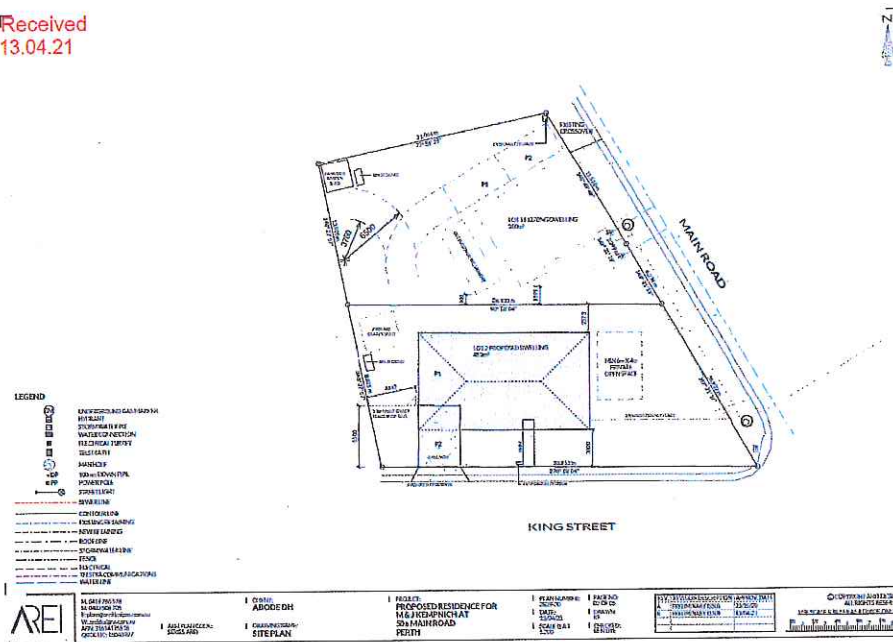
Site Address: 50 Main Road, Perth

Proposal: Two lot subdivision and second dwelling



^ Proposal plan – subdivision

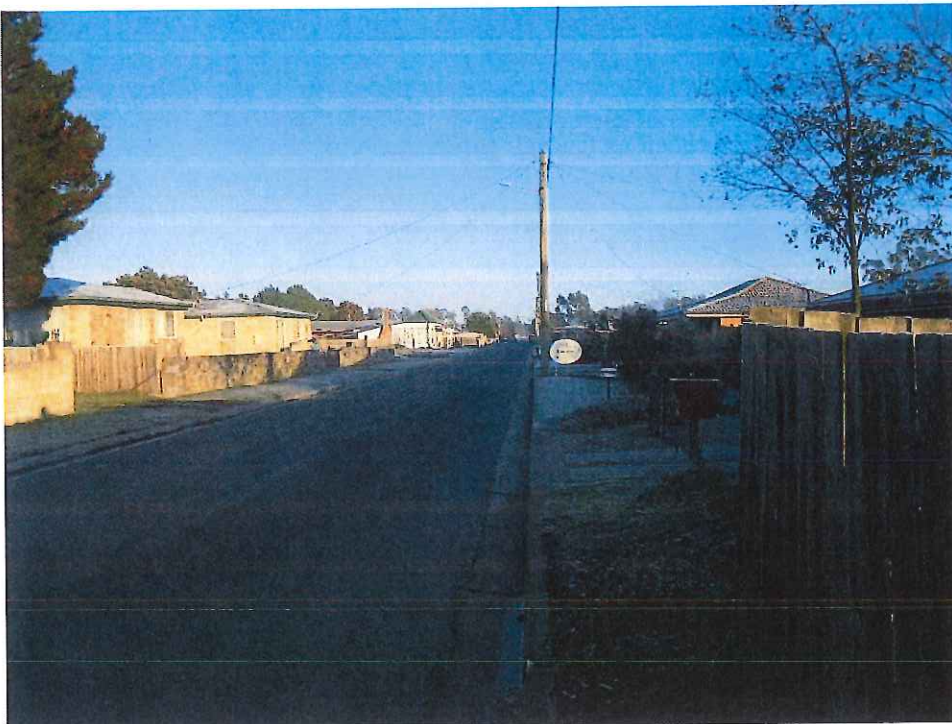
Received
13.04.21



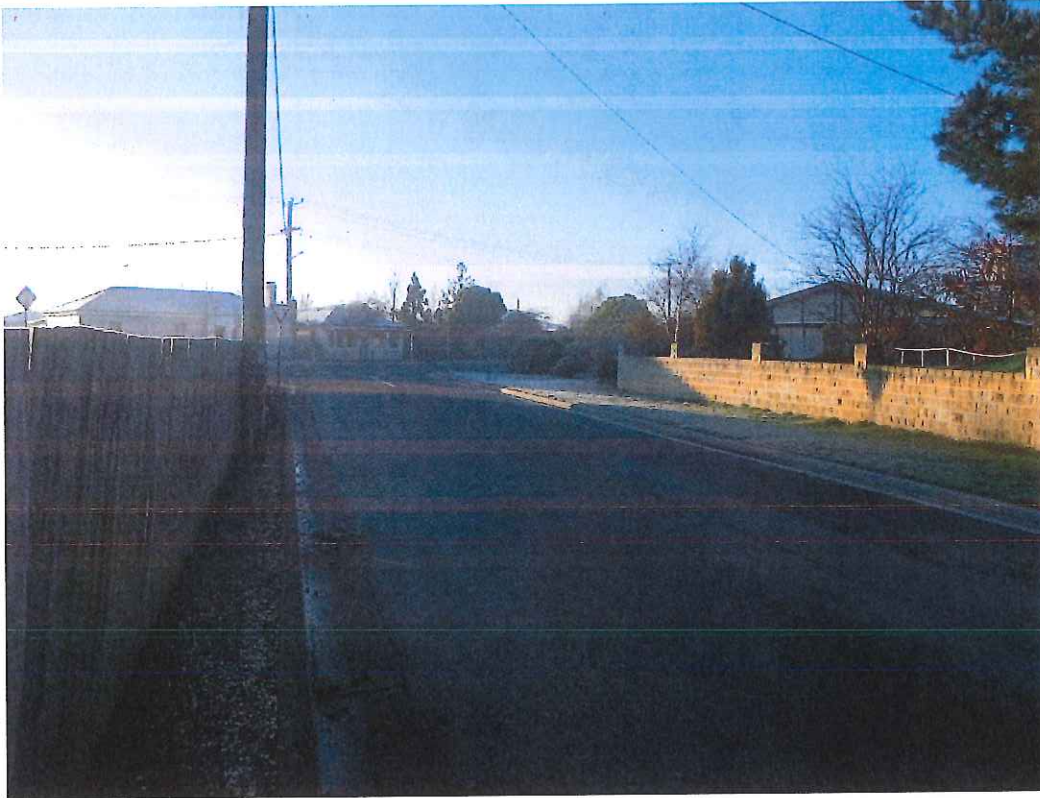
^ Proposal plan - dwelling



^ Front of subject site – crossover to be at left end of paling fence



^ Site distance available looking westward



^ Site distance available looking eastward

Planning Scheme Consideration:

The relevant clauses are as follows:

E4.7.2 Management of Road Accesses and Junctions

<p>Objective</p> <p>To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 For roads with a speed limit of 60km/h or less the development must include only one access providing both entry and exit, or two accesses providing separate entry and exit.</p>	<p>P1 For roads with a speed limit of 60km/h or less, the number, location, layout and design of accesses and junctions must maintain an acceptable level of safety for all road users, including pedestrians and cyclists.</p>
<p>Comment: Complies.</p>	<p>Comment: N/a</p>

E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings

<p>Objective</p> <p>To ensure that use and development involving or adjacent to accesses, junctions and level crossings allows sufficient sight distance between vehicles and between vehicles and trains to enable safe movement of traffic.</p>	
Acceptable Solutions	Performance Criteria

<p>A1 Sight distances at</p> <p>a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E4.7.4; and</p> <p>b) rail level crossings must comply with <i>AS1742.7 Manual of uniform traffic control devices - Railway crossings</i>, Standards Association of Australia; or</p> <p>c) If the access is a temporary access, the written consent of the relevant authority has been obtained.</p>	<p>P1 The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles.</p>
<p>Comment: The site distance of 80m is achieved westwards. Around 30m is achieved eastwards.</p>	<p>Comment: The design, layout and location of the access provides adequate sight distances to ensure the safe movement of vehicles.</p>

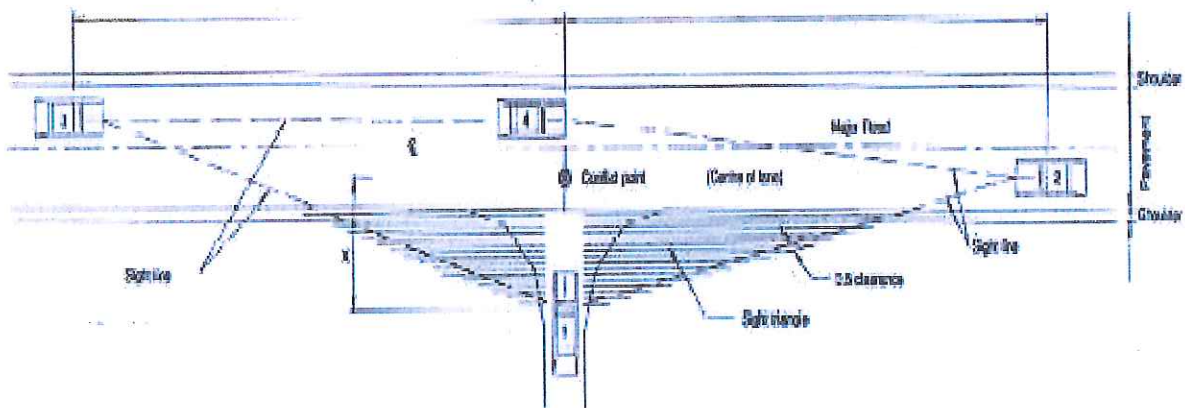


Figure E4.7.4 Sight Lines for Accesses and Junctions

X is the distance of the driver from the conflict point.
 For category 1, 2 and 3 roads X = 7m minimum and for other roads X = 5m minimum.

Table E4.7.4 Safe Intersection Sight Distance (SISD)

Vehicle Speed	Safe Intersection Sight Distance (SISD) metres, for speed limit of:	
km/h	60 km/h or less	Greater than 60 km/h
50	80	90
60	105	115
70	130	140

80	165	175
90		210
100		250
110		290

Notes:

- (a) Vehicle speed is the actual or recorded speed of traffic passing along the road and is the speed at or below which 85% of passing vehicles travel.
- (b) For safe intersection sight distance (SISD):
- (i) All sight lines (driver to object vehicle) are to be between points 1.2 metres above the road and access surface at the respective vehicle positions with a clearance to any sight obstruction of 0.5 metres to the side and below, and 2.0 metres above all sight lines;
- (ii) These sight line requirements are to be maintained over the full sight triangle for vehicles at any point between positions 1, 2 and 3 in Figure E4.7.4 and the access junction;
- (iii) A driver at position 1 must have sight lines to see cars at any point between the access and positions 3 and 2 in Figure E4.7.4;
- (iv) A driver at any point between position 3 and the access must have sight lines to see a car at position 4; and
- (v) A driver at position 4 must have sight lines to see a car at any point between position 2 and the access.

Confirmation of Traffic Impact Assessment adequacy from road authority (Northern Midlands Council) in accordance with clause E4.5.3:



.....
Northern Midlands Council Representative



Amended Submission to Planning Authority Notice

Council Planning Permit No.	PLN-20-0296	Council notice date	05/01/2021
TasWater details			
TasWater Reference No.	TWDA 2021/00021-NMC	Date of response	02/06/2021
		Amended date	16/06/2021
TasWater Contact	Jake Walley	Phone No.	0467 625 805
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	50 MAIN ROAD , PERTH	Property ID (PID)	6745230
Description of development	Multiple Dwellings x2		
Schedule of drawings/documents			
	Prepared by	Drawing/document No.	Revision No.
			Date of Issue
	AREI	Site Plan	B
			13/04/2021
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized water supply with metered connection and sewerage system and connection to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
DEVELOPMENT ASSESSMENT FEES			
4. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 and a Consent to Register a Legal Document fee of \$149.20 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.			
The payment is required within 30 days of the issue of an invoice by TasWater.			



Advice

General

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

(a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.

Further information can be obtained from TasWater

(b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies

(c) TasWater will locate residential water stop taps free of charge

(d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by

Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

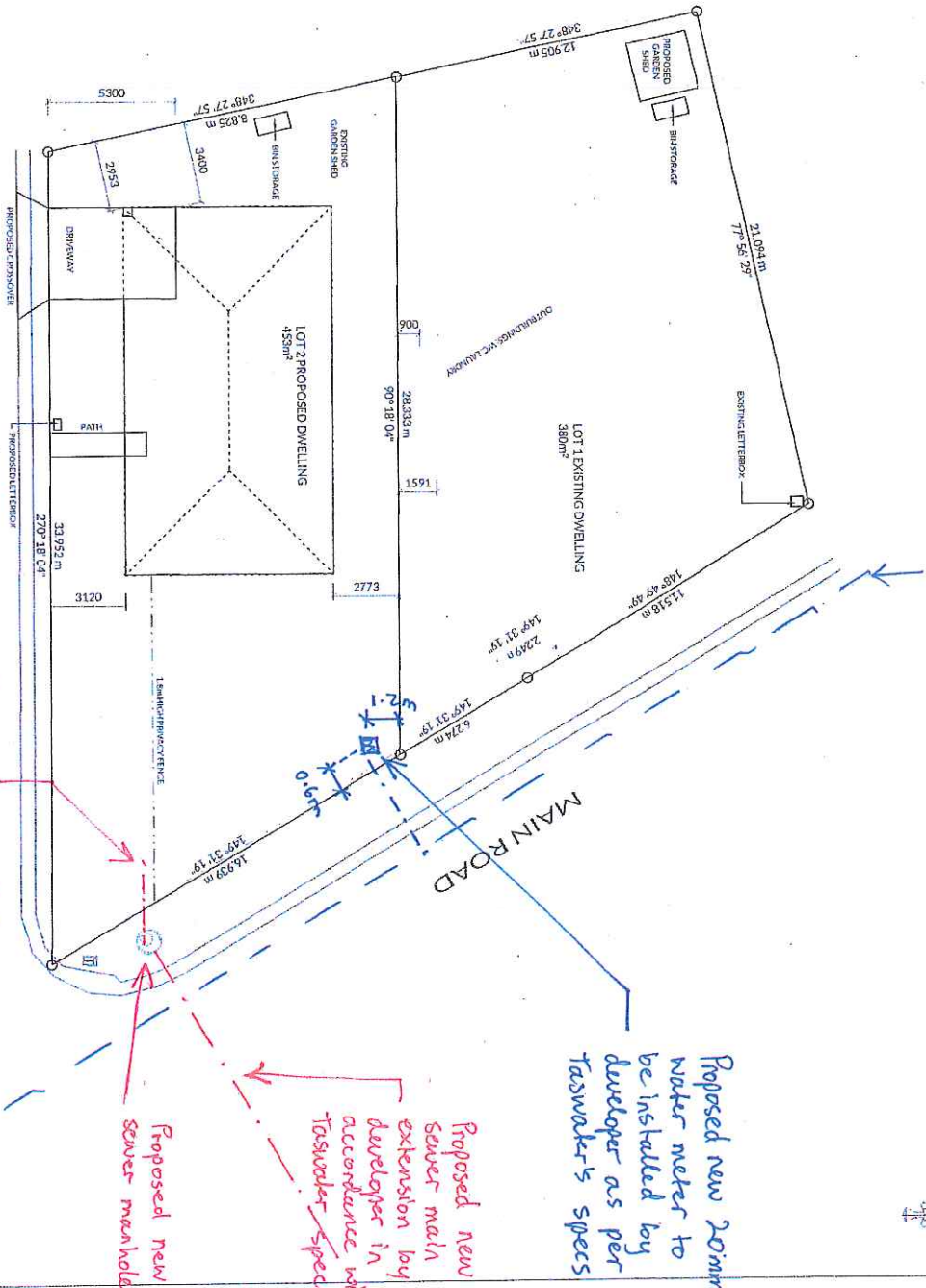
General note
 Lot 1 existing dwelling
 can continue to use the
 existing connection.

Existing water main

Proposed new 200mm
 water meter to
 be installed by
 developer as per
 Taswater's specs

Proposed new
 sewer main
 extension lay
 developer in
 accordance with
 Taswater's specs

New sewer line from
 proposed lot 2 dwelling
 to connect to the
 proposed sewer as per
 Taswater's requirements



LEGEND

- GM UNDERGROUND GAS MARKER
- HM HYDRANT
- SW STORM WATER PIT
- WC WATER CONNECTION
- ET ELECTRICAL TURRET
- TEL TELSTRA PIT
- MH MAN HOLE
- DP 100mm DOWN PIPE
- PP POWER POLE
- SL STREET LIGHT
- SL SEWER LINE
- CL CONTOUR LINE
- ER EXISTING RETAINING
- NR NEW RETAINING
- RL ROOF LINE
- SWL STORM WATER LINE
- FE FENCE
- EL ELECTRICAL
- TC TELSTRA COMMUNICATIONS
- WL WATER LINE



M. 0410 264 478
 M. 0407 588 205
 E. plans@areidesigns.com.au
 W. areidesigns.com.au
 ABN: 31451459318
 QCC LIC: 15040937

CLIENT: ABOODE DH
 DRAWING NAME: SITE PLAN

PROJECT: PROPOSED RESIDENCE FOR
 M & J KEMPINICH AT
 508 MAIN ROAD
 PERTH

PLAN NUMBER: 2829-20
 DATE: 13/04/21
 SCALE: @ A3

REV.	REVISION DESCRIPTION	APPROV. DATE
A	PRELIMINARY ISSUE	23/10/20
B	PRELIMINARY ISSUE	13/04/21

© COPYRIGHT AREI DESIGNS
 ALL RIGHTS RESERVED
 USE SCALES & RULES AS A GUIDE ONLY

2 Talisker St
Perth
Tasmania 7300
Australia



CLELAND MANAGEMENT PTY LTD
ABN 40 857 971 259

Telephone

Email

The General Manager
Northern Midland Council
per email
planning@nmc.tas.gov.au

25th June 2021

Reference PLN -20 -0296
50 Main Rd Perth

Dear Sir,

I have an interest in the conservation of our built history especially the more humble structures.

Perth is fortunate in having a number of structures representing the significance and history of the Village from the 1820's to 1900 of which 50 Main Rd is one.

The construction of the Midlands Highway bypass has changed Perth and it is probably too early for the Perth community to realise that it has the potential to find a new 'character' for the town based on its past that may enhance the commerce as well as adding significantly to its new role as a dormitory to Launceston.

The proposed subdivision of 50 Main Rd as cited in the Planning Application 20 – 0296 will detract from the character of the small Victorian wooden cottage such that its significance in the streetscape may be lost.

The proposed new fence which comes within 1.591 meters of the dwelling and less than a meter from the laundry/WC block will obstruct and spoil the view of the house from the road and footpath whilst the adjoining new home is not designed to complement the existing building but will clash aesthetically with the old.

Further the cottage has been designed, built and modified over time so that the south facing door is the principal entrance and route to the laundry - toilet block to the west of the dwelling. This is one of the key features of No 50 and to leave insufficient room for this function is a serious detraction from the building. Please note that there is no door to the north but a small door in the west wall facing the outhouse.

Should this be so the and the proposed subdivision and new build go ahead council may have failed its obligations under both the Heritage and Planning legislation and regulations.

I am not opposed to the subdivision of 50 Main Rd but rather the manner in which it is to be executed. The proposed subdivision fails to give the cottage sufficient space to the south such that the south facing door and small paned window group will be unable to serve their purpose and current use. The door will serve little purpose and the windows will be deprived of light being shaded by the close fence and new dwelling.

I understand that council has a difficult task in balancing the development of Perth against the conservation of its past especially without a means for compensation for those parties that may lose in Council rulings.

However, should Council have a well developed plan for the conservation of its built history in addition to the Heritage overlays and listings conflicts such as this would be minimised.

In finishing I pose the question 'do you know of another building of similar design and structural soundness as 50 Main Rd Perth and should you know of such a structure, is it as accessible to public view'.

If your answer is no, more care is required to preserve this unique building.

Yours sincerely

Malcolm Cleland