

PLAN 4

PLANNING APPLICATION PLN-21-0137

3 BANKSIA GROVE, PERTH

ATTACHMENTS

- A Application & plans, correspondence with applicant
- B Responses from referral agencies
- C Representations & applicant's response

1-477
PLANNING APPLICATION
Proposal

ATTACHMENT A

Description of proposal: 2 x New Residential Dwellings

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 3 BANKSIA GROVE, PERTH

.....

CT no: 33084/4

Estimated cost of project \$ 350,000 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No
If yes – main building is used as

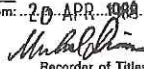
If variation to Planning Scheme provisions requested, justification to be provided:

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

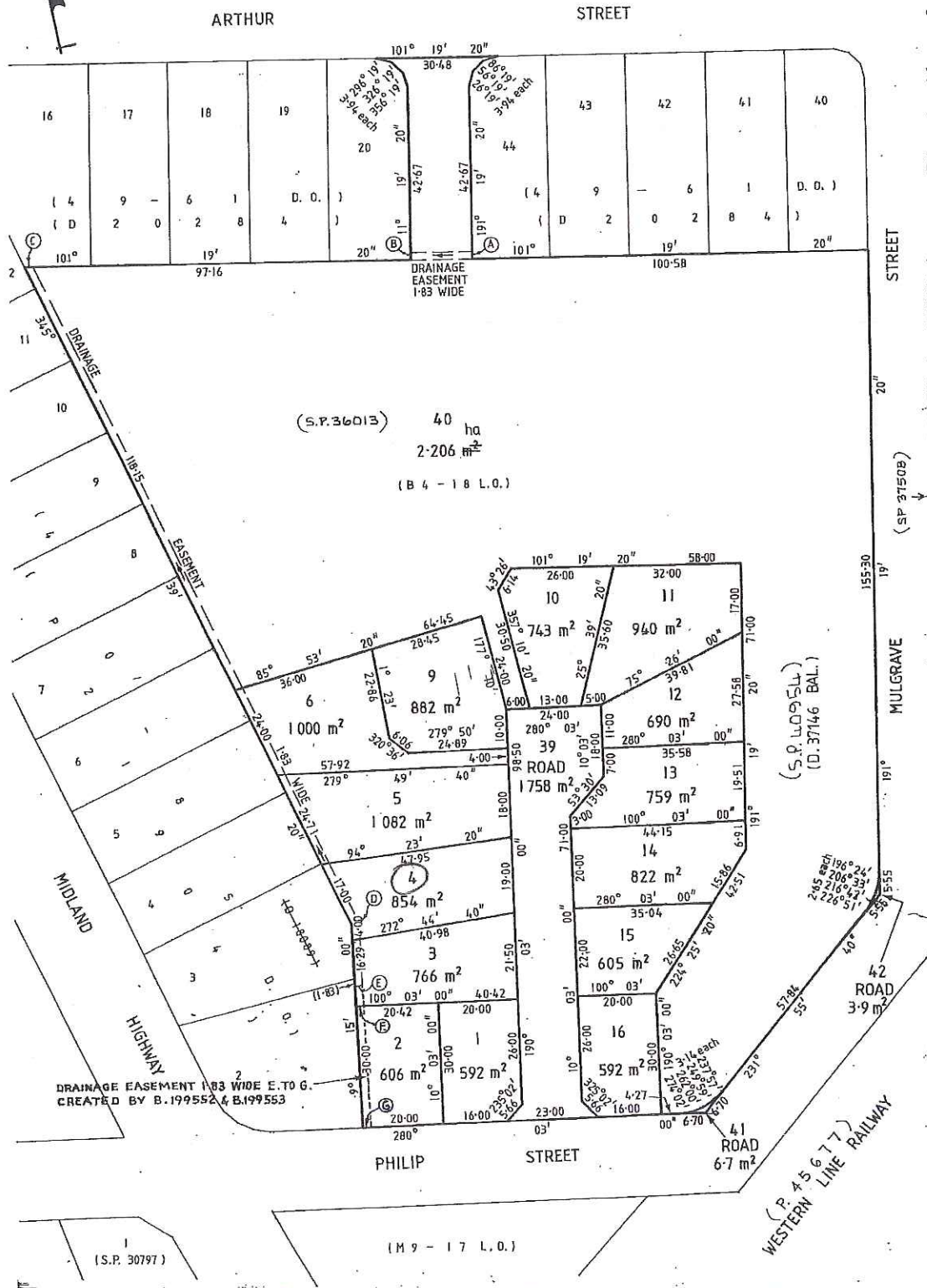
Is any signage required? No (if yes, provide details)

131-51

Owner: Tas. Projects Pty. Ltd. Title Reference: Conv. No. 63-4451. 4394/38 Grantee: Part of 15a. Or. 1 p. granted to Isaac Lansdale	PLAN OF SURVEY by Surveyor <u>R.V. Tatt</u> of land situated in the TOWN OF PERTH SECTION P SCALE 1: 800 MEASUREMENTS IN METRES	Registered Number: <h1 style="font-size: 2em;">S. P33084</h1> Approved Effective from: <u>20 APR 1988</u>  Recorder of Titles
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1/2 SWS 5/10/87 MEMO 26-10-87

SEE INSIDE FIELD
NOTES FOR REPEG.
LOT 13



Department of Communities Tasmania

HOUSING TASMANIA

GPO Box 65, HOBART TAS 7001 Australia

Ph: 1300 135 513

Web: www.communities.tas.gov.au



Contact: Annie Abbott
Phone: (03) 6166 0954
Email: annie.abbott@communities.tas.gov.au

General Manager
Northern Midlands Council
13 Smith Street,
Longford TAS 7301

Subject: Consent to the making of a Planning Permit Application pursuant to Section 52(1) of the Land Use Planning and Approvals Act 1993

Pursuant to Section 52(1) of the *Land Use Planning and Approvals Act 1993* I, Richard Gilmour, on behalf of the Director of Housing, hereby give permission to the making of the following involving land in the ownership of the Director of Housing:

- development application;
- building surveyor application; and
- building and plumbing application.

Applicant: Wilson Multi on behalf and for Centacare Evolve Housing

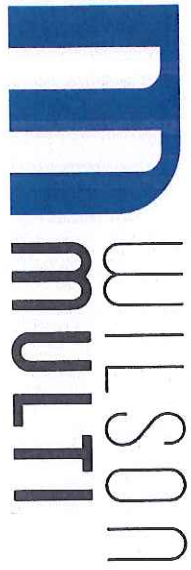
Proposed Use: Residential Development

Address: 3 Banksia Grove, Perth PID 7469274 CT 33084/4

Yours sincerely

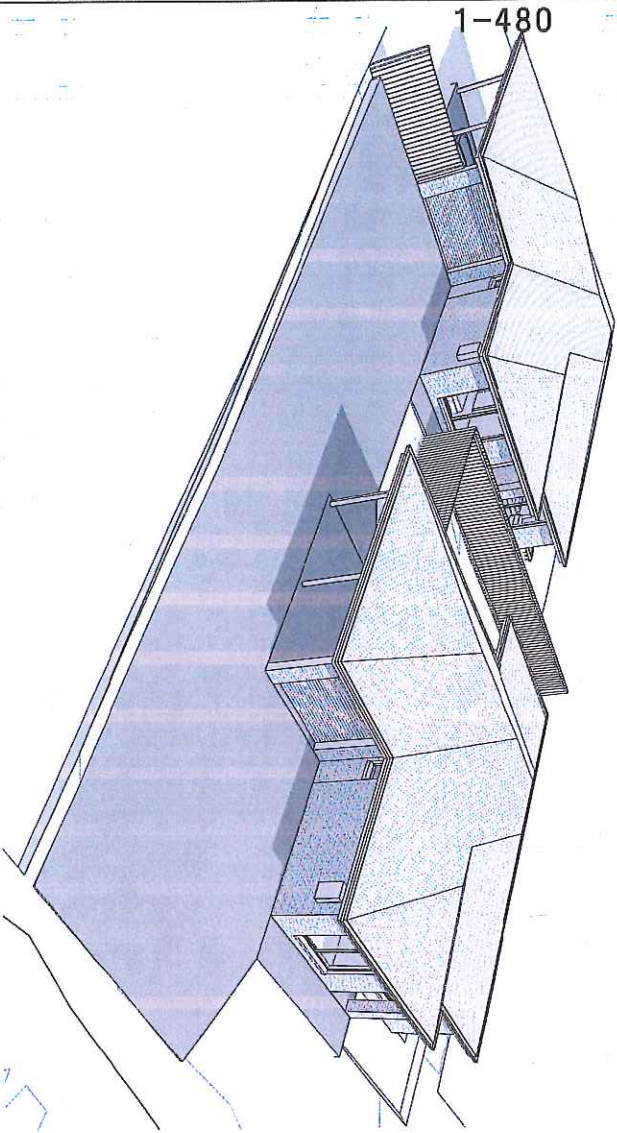
A handwritten signature in blue ink, appearing to read "R. Gilmour".

Richard Gilmour
Director, Portfolio and Supply
19 May 2021



WH712980 - PROPOSED UNIT DEVELOPMENT
(CENTACARE EVOLVE HOUSING)
3 Banksia Grove
PERTH

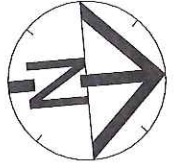
SHEET	DRAWING TITLE
01	A SITE PLAN
01a	A DRAINAGE PLAN
01b	A LANDSCAPING PLAN
01c	A SOIL & WATER MANAGEMENT PLAN
01d	PERSPECTIVE VIEWS
02	UNIT 1 FLOOR PLAN
03	UNIT 1 ELEVATIONS
04	UNIT 2 FLOOR PLAN
05	UNIT 2 ELEVATIONS



1-480

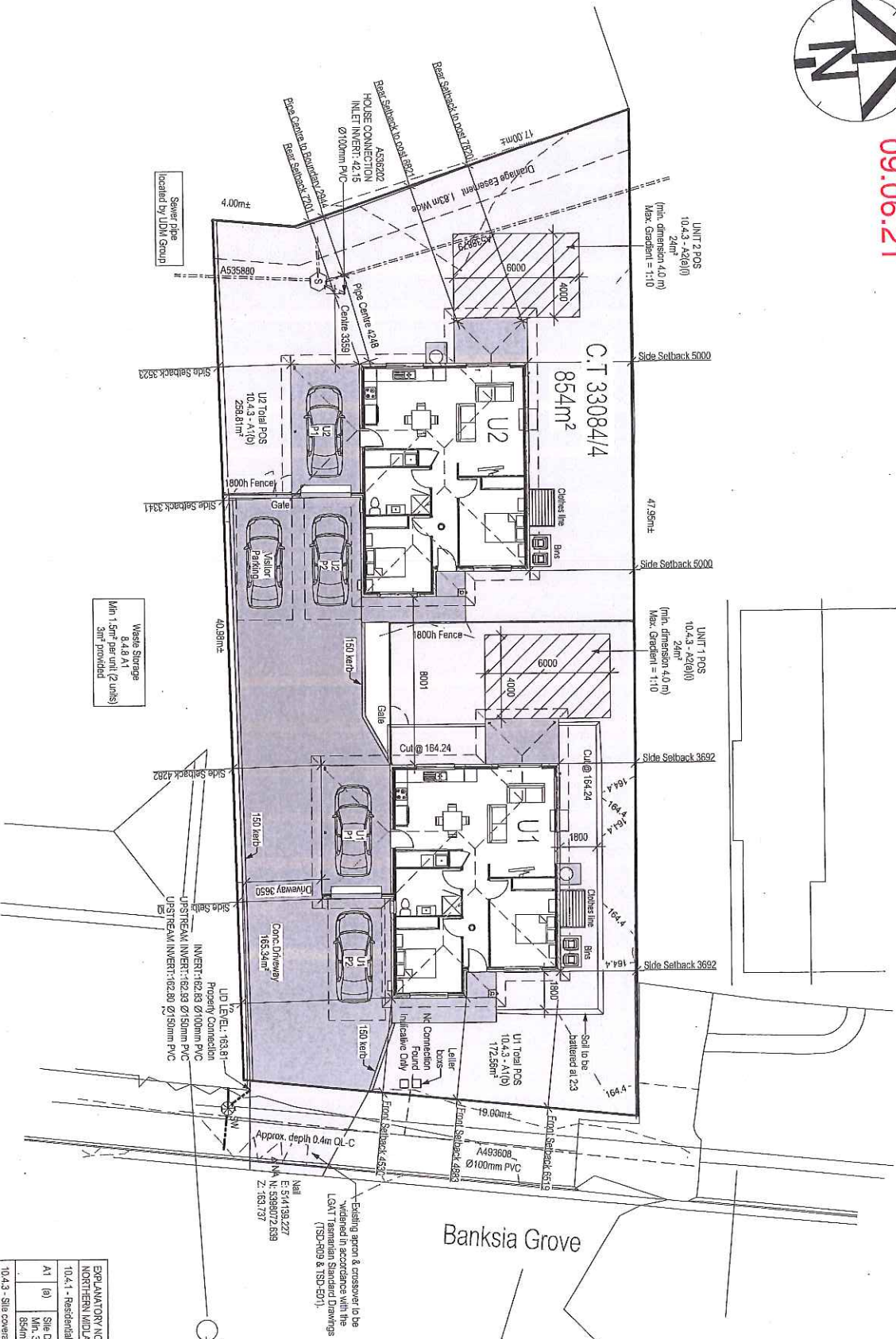
Notes		Designer:		Client / Project info		Soil Classification:		H-1		
<ul style="list-style-type: none"> Builder to verify all dimensions and levels on site prior to commencement of work All work to be carried out in accordance with the current National Construction Code. All materials to be installed according to manufacturers specifications. Do not scale from these drawings. No changes permitted without consultation with designer. 		ANOTHER PERSPECTIVE PTY LTD PO BOX 471 LIC NO CC2204 (A. Singapore) Ph: (03) 8231 4188 Email: info@anotherperspective.com.au		PROPOSED UNIT DEVELOPMENT (CENTACARE EVOLVE HOUSING) 3 Banksia Grove PERTH		Title Reference: Floor Area: Perch / Deck Area: Wind Speed: Other Zone: Corrosion Environment: Certified B.M.: Designer B.M.:		C7330B/A Refer Floor Plans Refer Floor Plans N/A Severe No bushfire prone No bushfire prone		COVER SHEET WH712980 Sheet
A Survey/Plan Updated with services		09 June 2021	KV	RL	01-01c	SHEETS		00/05		
DA Plan Set		11 May 2021	KV	RJ	04-05	DATE		11 May 2021		
No. Amendment		Date	Drawn	Checked	Sheet	SCALE		Scale		

SITE IS NOT BUSHFIRE PRONE AREA AS PER NORTHERN MIDLANDS INTERIM PLANNING SCHEME OVERLAY 2016.
No additional restrictions for construction methods / materials apply.



Amended
09.06.21

1-481



EXPLANATORY NOTES:

10.4.1 - Residential density for multiple dwellings	A1 (a)	Site Density: Min. 329m ² per unit 85m ² /7 (units) = 427m ² provided
10.4.3 - Site coverage and private open space for all dwellings	A1 (a)	Site Coverage: Max. 50% of site = 427m ² Proposed site coverage (excl. eaves up to 0.6m): 281.52m ² (29.45%)

Designer:
ANCHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
N.S.W.
Ph: (02) 6231 4122
Fax: (02) 6231 4165
Email: info@ancherperspective.com.au

Client/Project title:
PROPOSED UNIT DEVELOPMENT
(CENTRALE BOWLE HOUSING)
3 Bowle Grove
FEH/1



SITE PLAN
Drawn: kv
Date: 10 May 2021
Scale: 1:200

No.	A
Date	08 June 2021
Int.	KV

Amendment changes as per cover sheet

- Notes**
- Builder to verify all dimensions and levels on site prior to commencement of work
 - All work to be carried out in accordance with the current National Construction Code
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GENERAL COMMENTS AND DISCLAIMER:
This survey has been completed using a combination of conventional and UG Service Detection survey techniques.
The survey from which this model was created was carried out to comply with the requirements of the client as set out in the scope of works contained in the survey instructions for this project. Anybody who uses this survey for any purpose other than that for which it was carried out does so at their own risk.

Any public utilities and services shown in this model have been located by using visible surface and ground service detection techniques.
Please note that not all buried pipes, cables and ducts can be detected and mapped in consideration of their depth, location, material type, geology and proximity to other utilities. Even an appropriate and professionally executed survey may not be able to achieve a 100% detection rate.
Property boundary overlays, where supplied vary in accuracy but are generally to 0.5m. Therefore a Land Survey, as defined under the Survey Act 2012, cannot be relied upon to establish boundaries near the boundaries depicted by this model.

Survey control information is regarded as suitable for the survey and certified at the time of survey, but should be verified before being used for any purpose.
WARNINGS:
1. UG Services depths to be confirmed with probing.
2. No design should be undertaken outside of survey extents. If design exceeds survey extents, additional survey data should be acquired.

Existing spurs & crossovers to be widened in accordance with the L&M Transman Standard Drawings (TSD-P09 & TSD-E01).

Nail
E: 514 193 227
ANN N: 5398072 639
Z: 163.737

LID LEVEL: 163.81
Property Connection
INVERT: 162.83 Ø100mm PVC
UPSTREAM INVERT: 162.89 Ø150mm PVC
DOWNSTREAM INVERT: 162.80 Ø150mm PVC

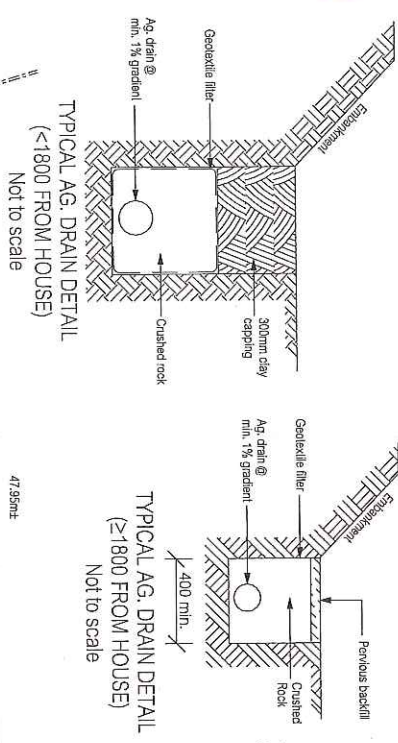
Waste Storage
8.43 A1
Min 1.5m² per unit (2 units)
SIT provided

0 2 4 6 8m
1:200



Amended
09.06.21

- When a gq drain is < 1.5m from building, the following engineering principles are required:
1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
 2. Ag drain to have a minimum 1% fall to a g rated pit which drains to the stormwater system.
 3. Install a geotextile filter sock to the silted drain, and enclose the whole drain in geotextile (to the underside of day capping).
 4. Provide additional g rated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



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Any public utilities and services shown in this model have been located by using visible surface features and underground service detection techniques.
Please note that not all buried pipes, cables and ducts can be detected and mapped in consideration of their depth, location, material type, gauging and generally to other uses. Even an experienced professional operator will not be able to achieve a 100% detection rate.
Property boundary overlays, where supplied, vary in accuracy but are generally to 0.5m. Therefore a Land Survey, as defined under the Surveying Act 2002, is carried out on or near the land boundaries depicted by this model.
Survey control information is regarded as suitable for the survey and correct at the time of survey, but should be verified before being used for any purposes.

WARNINGS:

1. US Service depths to be confirmed with probing.
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A	No.	Date	By	Rev	Amendment changes as per cover sheet
		08 June 2021			

Soil classification: H-1
Refer to Soil Report for nominated founding depth and description of founding material.
All Materials and construction to comply with AS/NZS3500 Part 2 & Part 3:2003

Notes:
• Well areas to comply with NCC 3.8.1.2 and AS3740

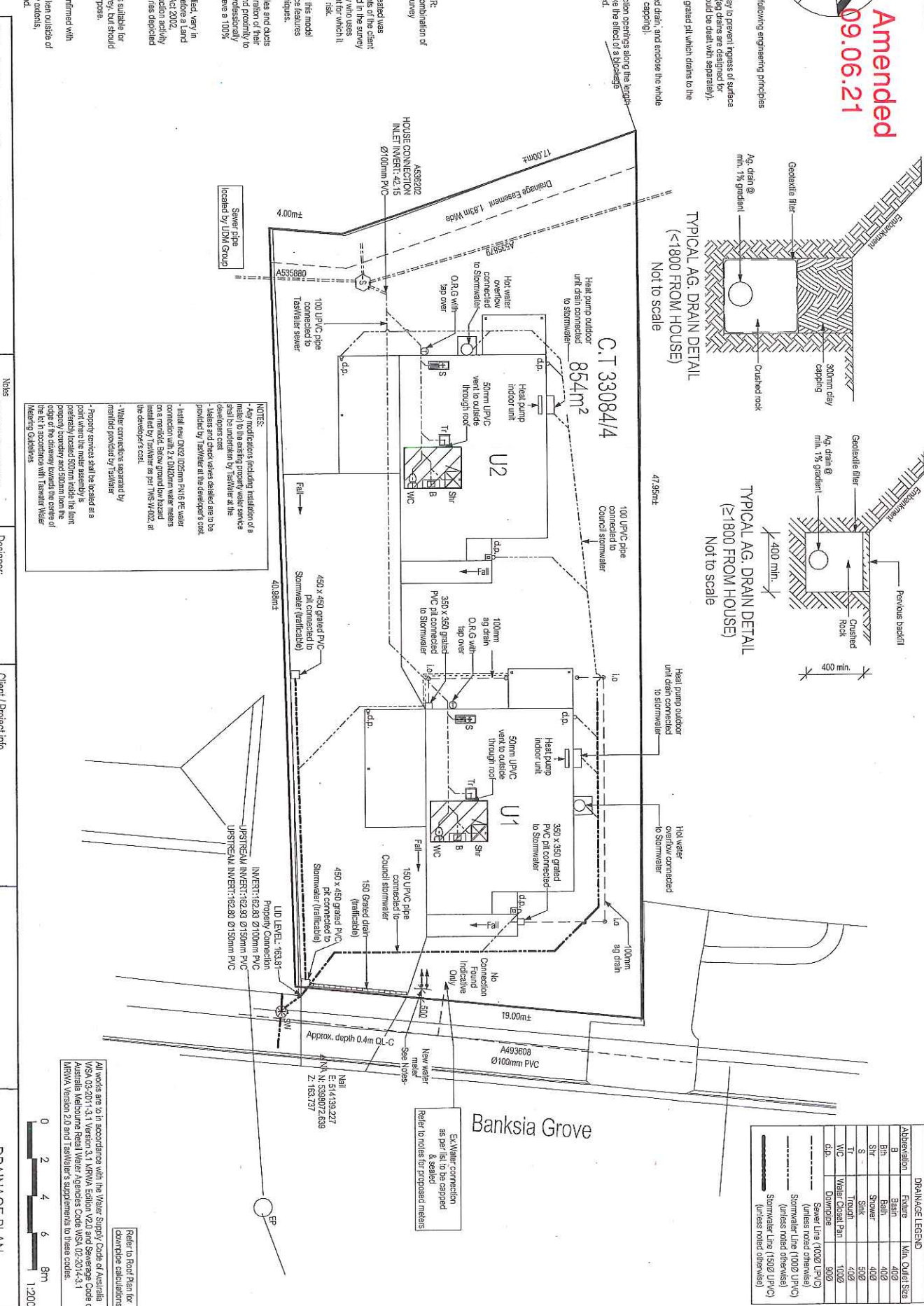
- Builder to verify all dimensions and levels on site prior to commencement of work
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- Do not scale from these drawings.
- No changes permitted without consultation with designer.

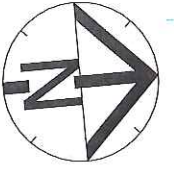
Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
VIC 3078
Tel: (03) 8231 4166
Email: info@anotherperspective.com.au

Client / Project info
PROPOSED UNIT DEVELOPMENT (35M/KAHE ESTATE HOUSING)
3 Banksia Grove
PBRH



DRAINAGE PLAN
Drawn by: WHF/23980
Date: 10 May 2021
Scale: 1:200
01a/05

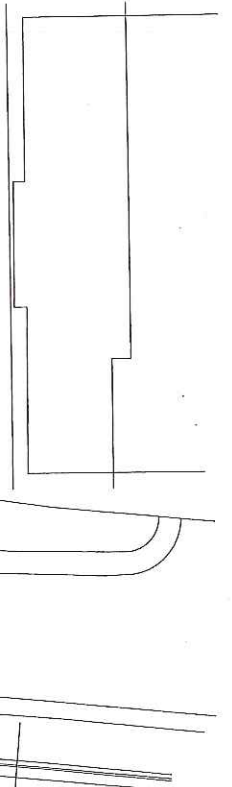
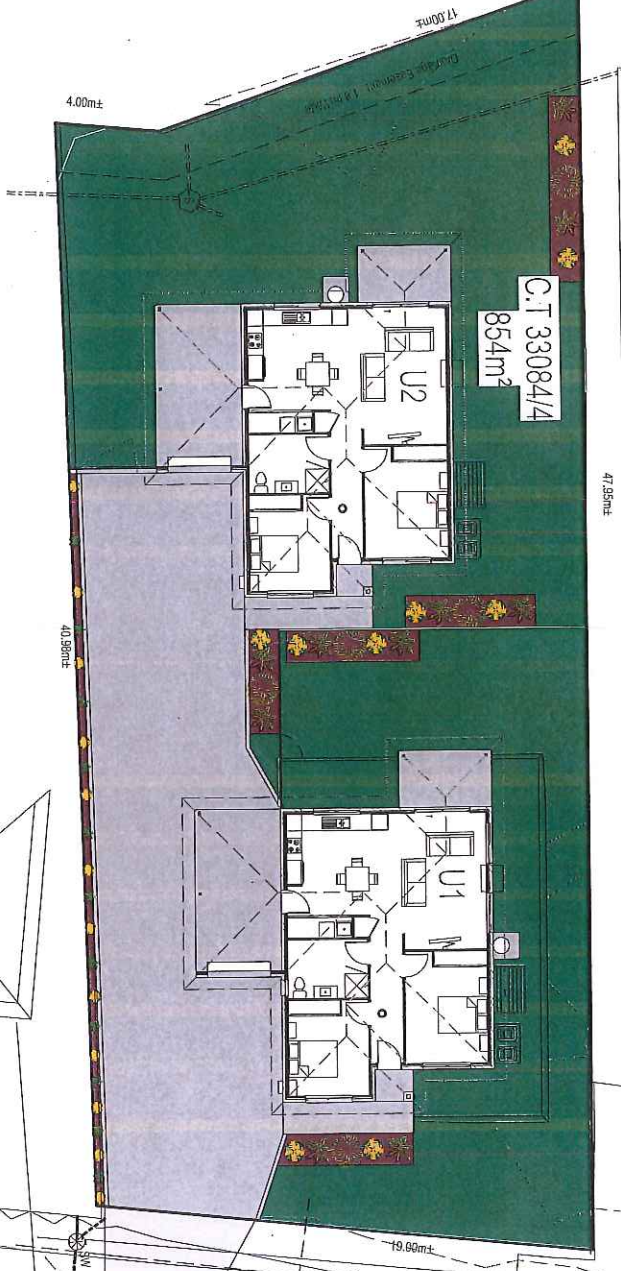




Amended
09.06.21

1-483

SPECIES	No.
Golf Ball Pittosporum	21
Lomandra Tanka Donella	21
Acacia Cognata	5
Selected lawn	
Pine bark	
Concrete	



Banksia Grove

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Survey control information is regarded as suitable for the survey and correct at the time of survey, but should be verified before being used for any purpose.

- WARNINGS:**
- US services depths to be confirmed with probing.
 - Underlain outside of survey extents. If design exceeds survey extents, additional survey data should be acquired.

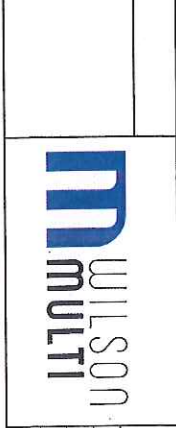
No.	Date	Rev
A	08 June 2021	KV

Amendment Changes as per cover sheet

- Notes**
- Builder to verify all dimensions and levels on site prior to commencement of work
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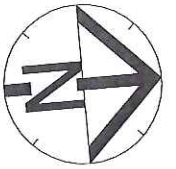
Designer:
ANCHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
VIC 3022 (A. Stuygalj)
Ph: (03) 8517 4142
Fax: (03) 8231 4189
Info@ancherperspective.com.au

Client / Project info
PROPOSED UNIT DEVELOPMENT
(RESIDENTIAL HOUSING)
3 Banksia Grove
PERTH

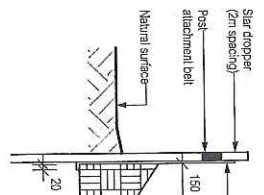


LANDSCAPING PLAN

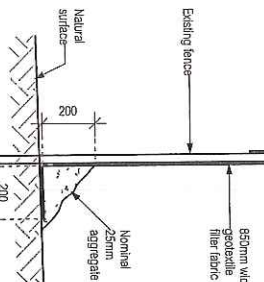
Drawn	NI	Sheet
Date	10 May 2021	01b/05
Scale	1:200	



Amended
09.06.21



SILT STOP TYPE 1
TEMPORARY FENCE 1:20



SILT STOP TYPE 2
EXISTING FENCE 1:20

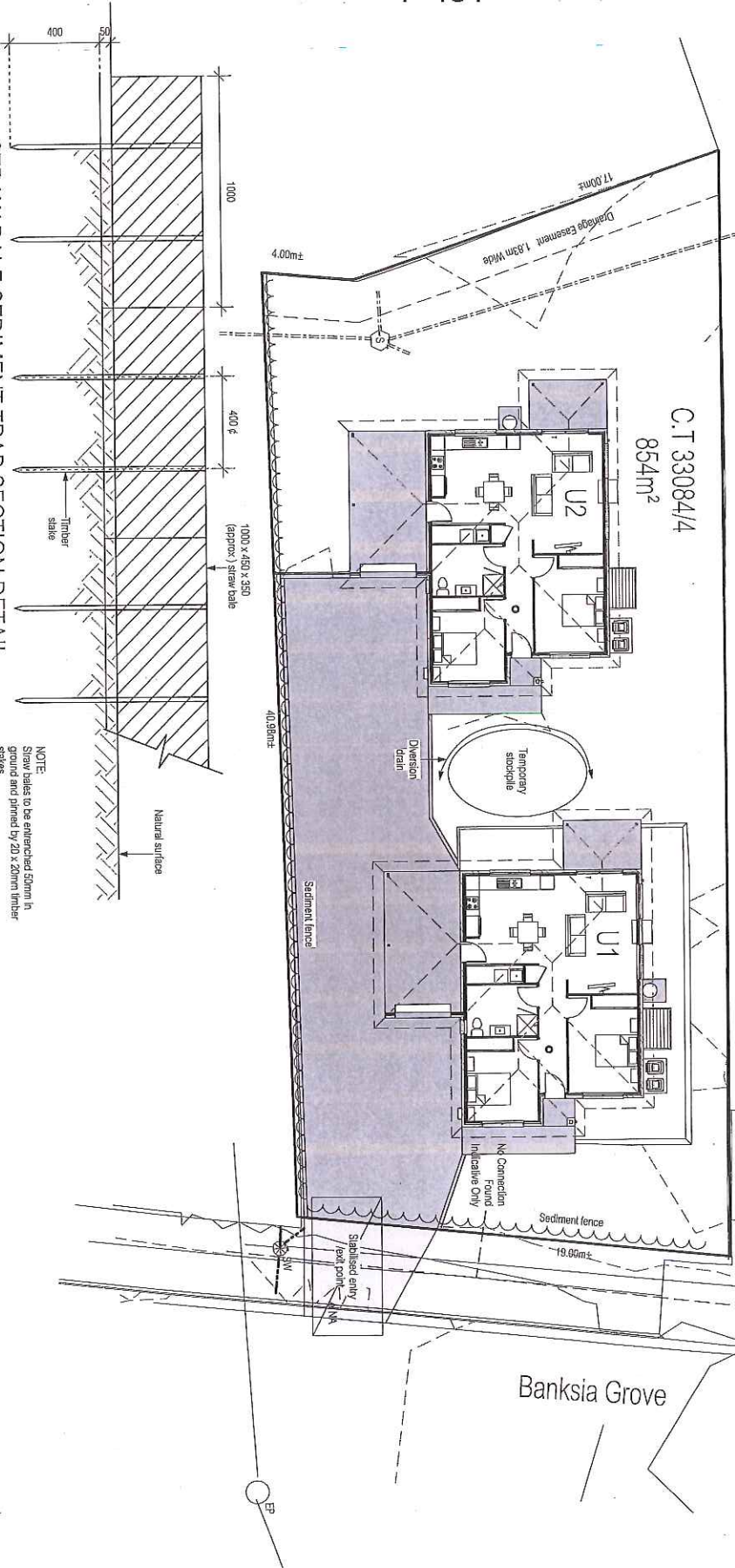
NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site.

NOTES:
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
2. All ground cover vegetation outside the immediate building area to be preserved.
3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
4. Stockpiles of clayey material to be covered with an impervious sheet.
5. Roof water downpipes to be connected to the permanent underground stormwater drainage system as soon as practical after the roof is laid.

NOTES:
1. Diversion drains are to be connected to a legal discharge point, (Council Stormwater system, watercourse or road drain).
2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.

1-484

STRAW BALE SEDIMENT TRAP SECTION DETAIL
SCALE 1:20



NOTE:
Straw bales to be entrenched 50mm in ground and pinned by 20 x 40mm timber stakes

No	Date	By	Rev
A	08 June 2021		KV
1/0			

Amendment changes as per cover sheet

Notes

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- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD
PO BOX 10
VIC 3078
LIC: NO. C22344 (A. Singhal)
Ph: (03) 8231 1122
F: (03) 8231 1166
Email: info@anotherperspective.com.au

Client/Project Info
PROPOSED UNIT DEVELOPMENT
(38/100/200/200/200)
3 Banksia Grove
FERM



SOIL & WATER MANAGEMENT PLAN

Drawn	RV	WHT/2980
Date		10 May 2021
Scale		As indicated
		Sheet
		01C/05

GENERAL COMMENTS AND DISCLAIMERS:
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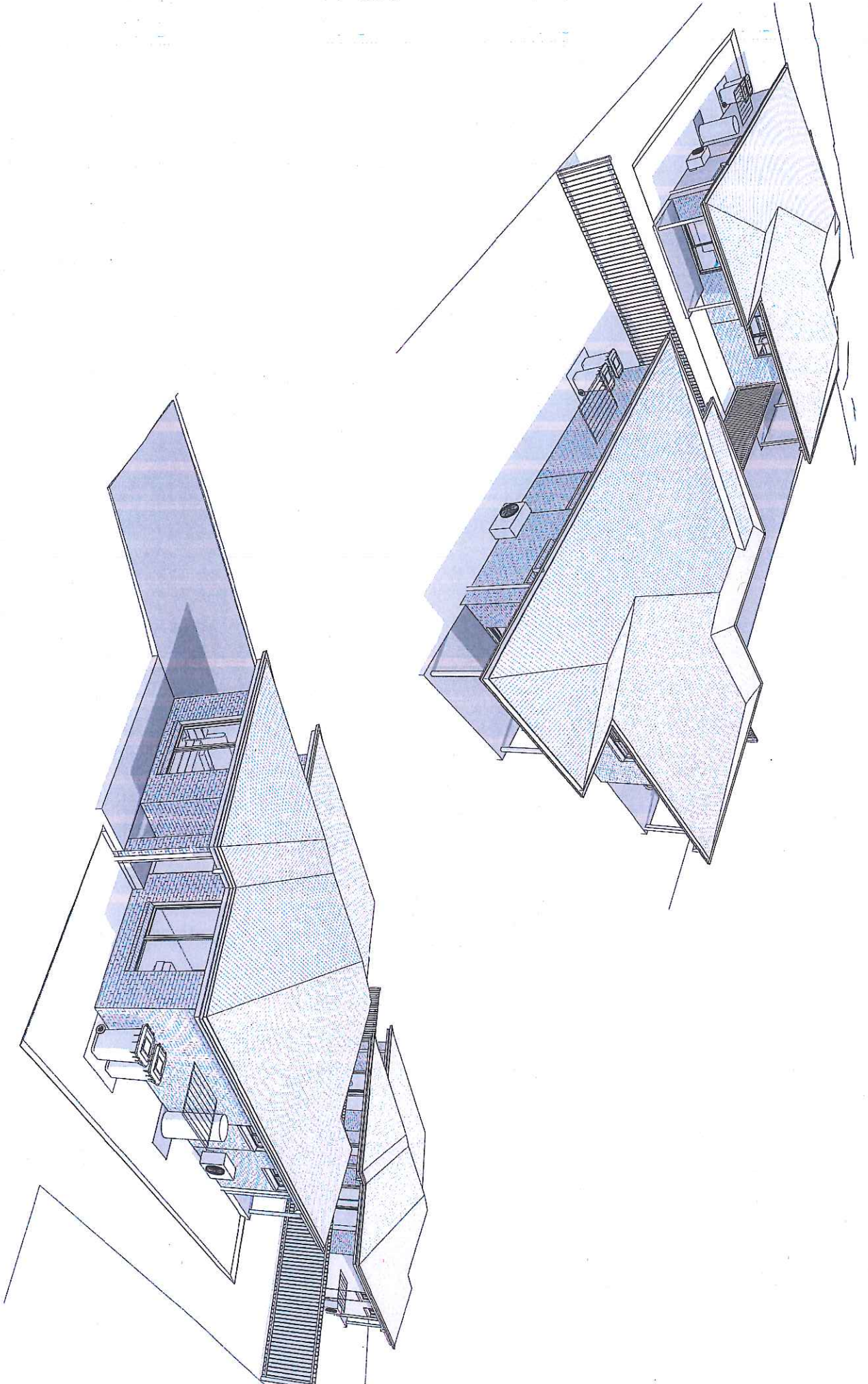
Please note that not all buried pipes, cables and ducts can be detected and mapped in consideration of their depth, location, material type, geology and proximity to other utilities. Even an appropriate and professionally executed survey may not be able to achieve a 100% detection rate.

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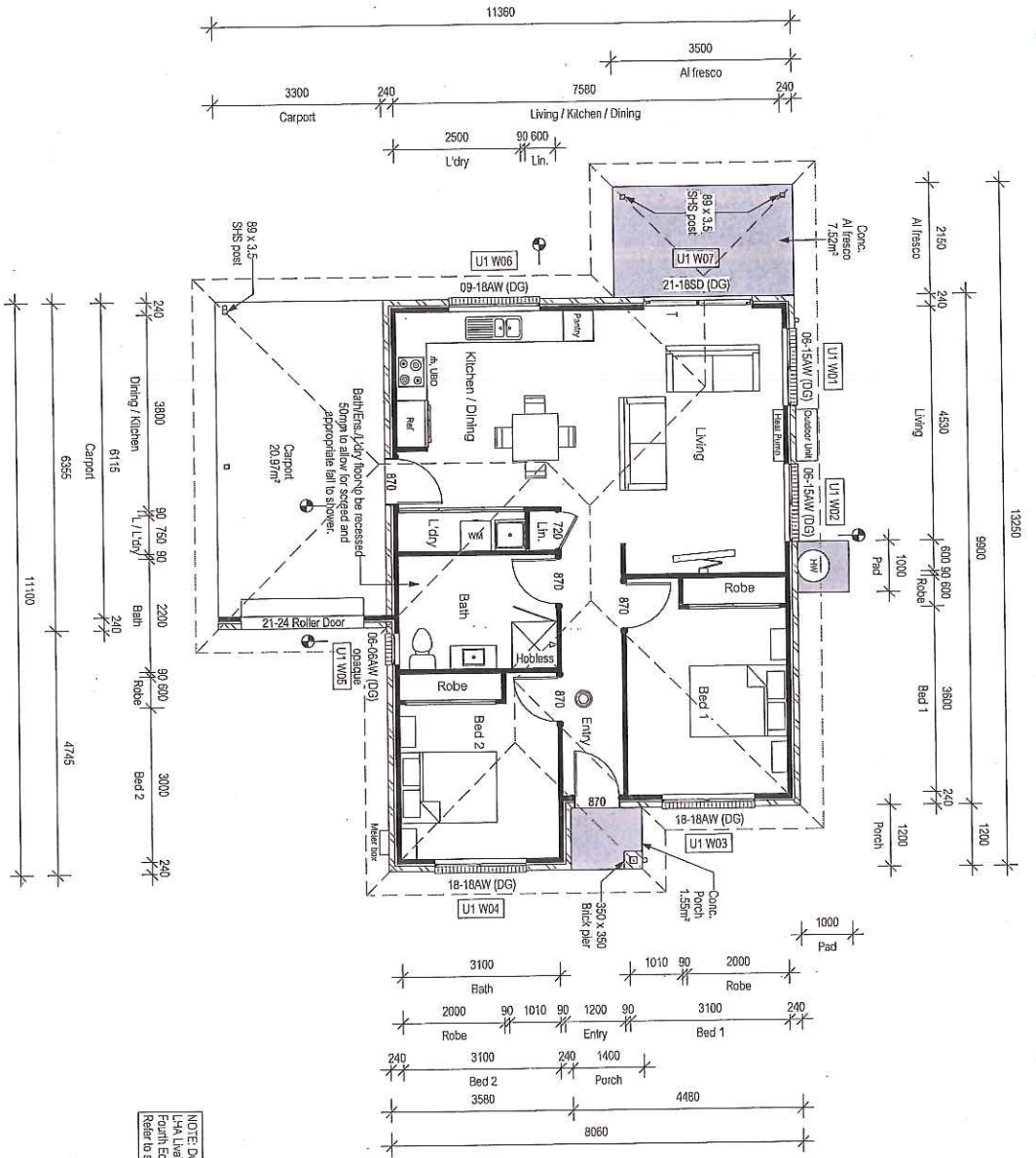
WARNINGS:

1. UG Services depths to be confirmed by other means.
2. No design should be undertaken outside of survey extents. If design exceeds survey extents, additional survey data should be acquired.



No.	Date	Int.	Amendment changes as per cover sheet									
<p>Amended 09.06.21</p> <p>Shadows shown for stylisations purpose only.</p>												
<p>Notes</p> <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. 		<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC22041 (A. Singhal) Ph: (08) 9251 4122 Fz: (08) 9251 4165 Email: info@anotherperspective.com.au</p>										
<p>Client / Project info</p> <p>PROPOSED UNIT DEVELOPMENT (SUNSHINE ESTATE HOUSING) 3 Binalda Grove PERTH</p>		<p>PERPECTIVE VIEWS</p> <table border="1"> <tr> <td>Drawn</td> <td>NW</td> <td>1/14/17/2980</td> </tr> <tr> <td>Date</td> <td></td> <td>10 May 2021</td> </tr> <tr> <td>Scale</td> <td></td> <td>Sheet</td> </tr> </table> <p>Copyright © 01d/105</p>		Drawn	NW	1/14/17/2980	Date		10 May 2021	Scale		Sheet
Drawn	NW	1/14/17/2980										
Date		10 May 2021										
Scale		Sheet										



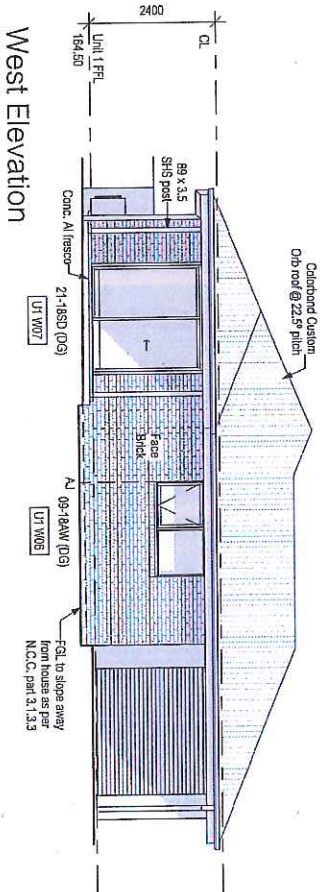
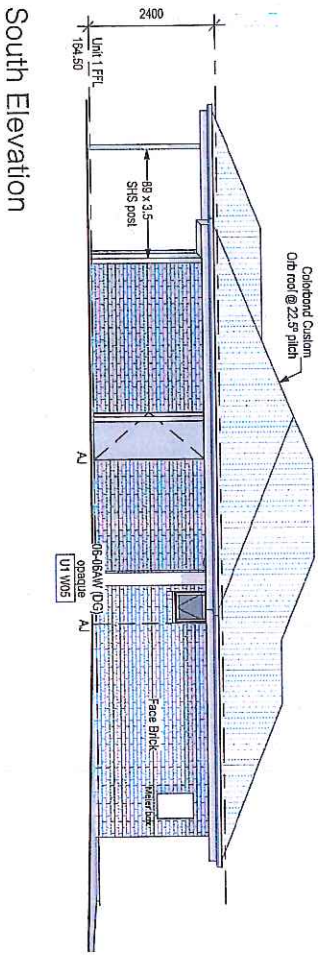
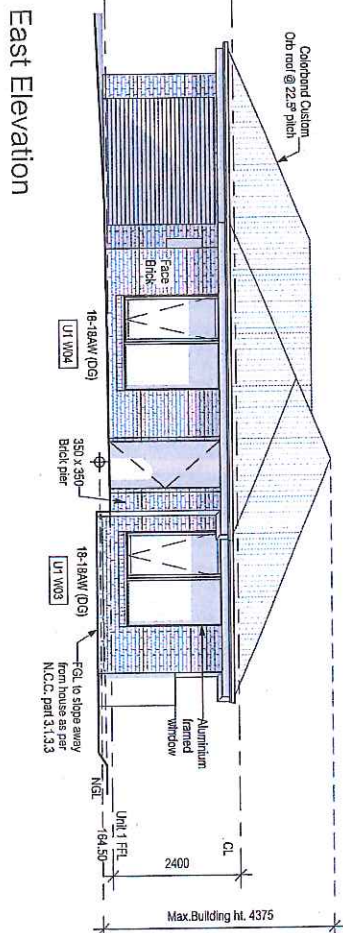
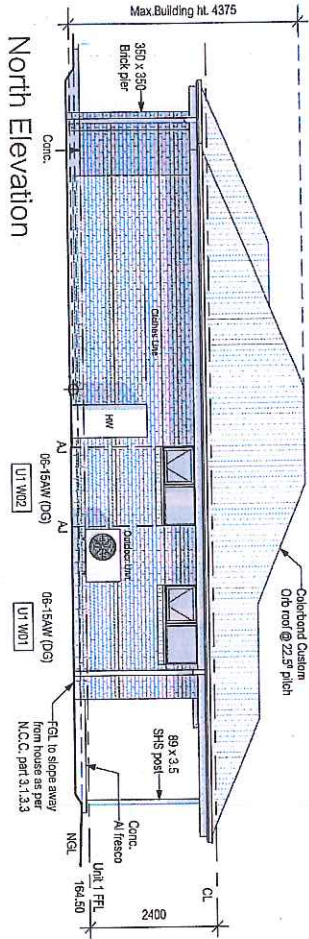


NOTE: Detailing to comply with
LGA (under the provisions of the
Building Act 2003) 'SILVER LEAF'
Refer to sheets TBC



No.	Date	Int.	Amendment changes as per cover sheet
<p>Floor Area = 84,03m²</p> <ul style="list-style-type: none"> ☛ Articulation joints ☉ Smoke Alarm (interconnected where more than 1) 			
<p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units</p>			
<p>Notes</p> <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. 			
<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN VIC 3026 (A. Svingen) Ph: (03) 8231 4155 Fax: (03) 8231 4155 Email: info@anotherperspective.com.au</p>		<p>Client/Project info</p> <p>PROPOSED UNIT DEVELOPMENT (ORANGE/EVOLVE HOUSES) 3 Barkers Grove FERNH</p>	
<p>UNIT 1 FLOOR PLAN</p>			
Drawn	RV	Sheet	WH7/2990
Date	10 May 2021	Scale	1:100
<p>Copyright © 02/05</p>			

Material	Colour
Cobblestone Cladding	hc
Face Brick	hc
FC Sheet	hc



1-487

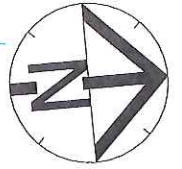
South Elevation

North Elevation

East Elevation

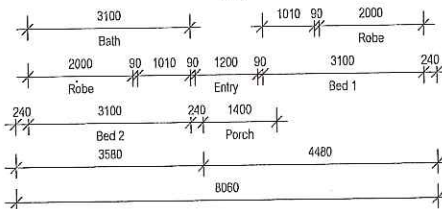
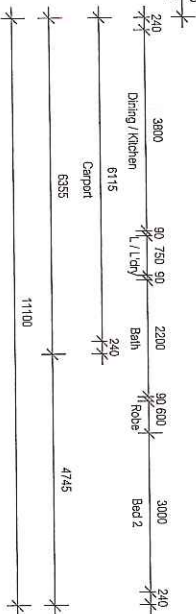
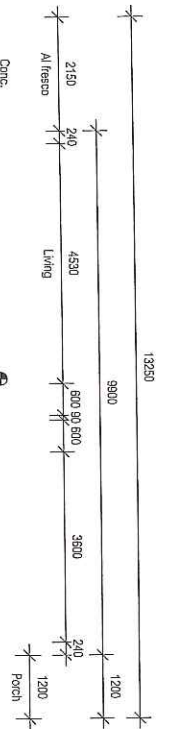
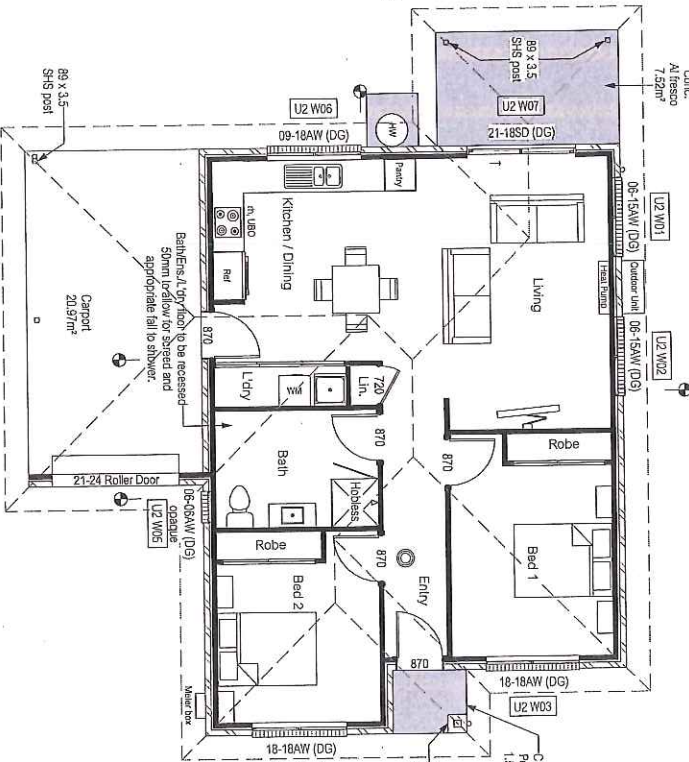
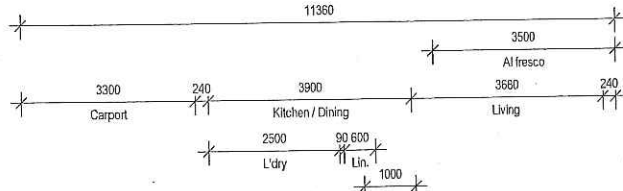
West Elevation

No.	Date	Inl.	Amendment changes as per cover sheet	Shows shown for stylisation purposes only
<p>All window sizes to be checked and/or confirmed on site prior to ordering glazing units.</p>				
<p>Notes</p> <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. 				
<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN VIC, VIC 3022 (A. Stuprell) P: (03) 9231 4122 F: (03) 9231 4189 info@anotherperspective.com.au</p>		<p>Client/Project info</p> <p>PROPOSED UNIT DEVELOPMENT (251 MADRID EVOLVE HOUSING) 3 Banks Grove FERNS</p>		
<p>UNIT 1 ELEVATIONS</p>				
Drawn	NV	WH7/2980		
Date	10 May 2021	Sheet		
Scale	1:100			
<p>Copyright © 03/05</p>				



Amended
09.06.21

1-488



NOTE: Checked to comply with
LGA's Enable Housing Design Guidelines
Fourth Edition, July 2017 'SILVER level'
Refer to sheets 'BC'



Floor Area = 84.00m²

- Articulation joints
- Smoke Alarm (Interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units.

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work.
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers' specifications.
- Do not scale from these drawings.
- No changes permitted without consultation with designer.

Designer:

ANOTHER PERSPECTIVE PTY LTD
PO BOX 21
NEW TOWN
VIC 3026
P (03) 9231 4122
F (03) 9231 4188
info@anotherperspective.com.au

Client / Project Info

PROPOSED UNIT DEVELOPMENT
(35 HOMES / 20 RESIDENTIAL HOMES)
3 Banks Grove
PERTH

UNIT 2 FLOOR PLAN

Drawn: NI
Date: 10 May 2021
Scale: 1:100

Sheet: WH7/2890

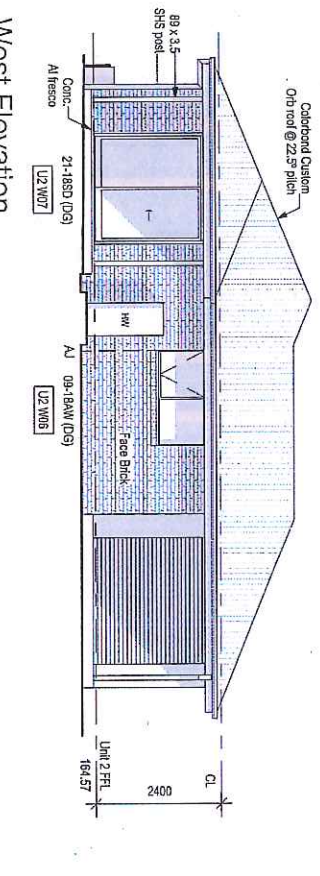
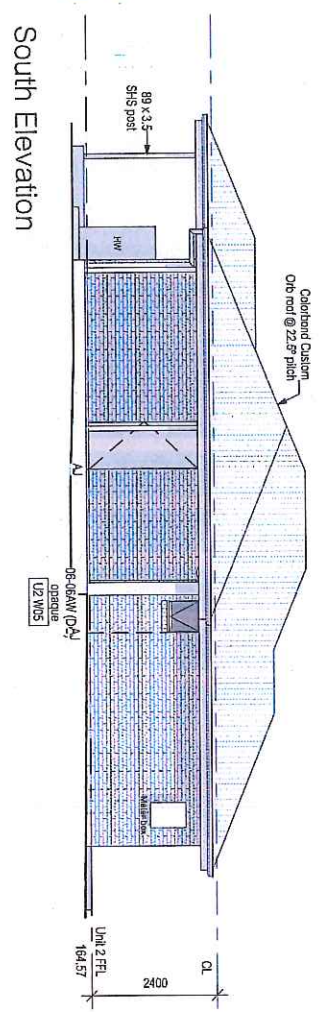
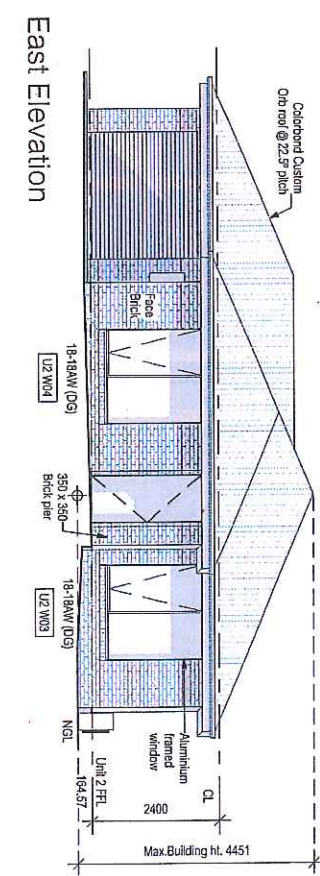
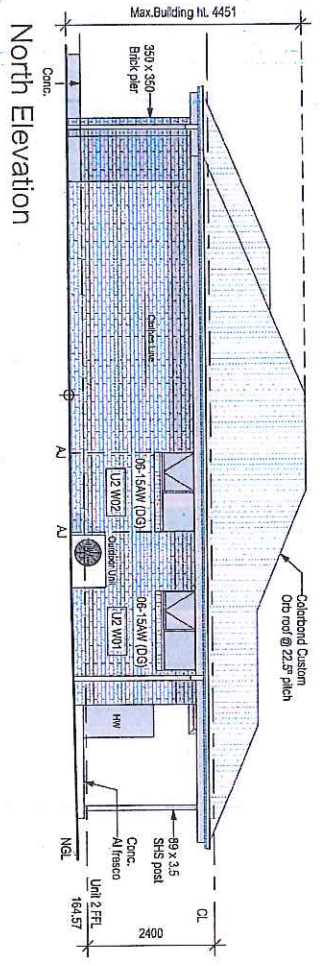
04/05

Nbs	Date	Inl.	Amendment changes as per cover sheet
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Copyright ©

Material	Colour
Colorbond Roof	lbc
Face Brick	lbc
FC Sheet	lbc



1-489

No.	Date	Inl.	Amendment changes as per cover sheet	Shows shown for exhibition purposes only
<p style="text-align: center;">All windows shown to be checked and/or confirmed on site prior to ordering glazing units</p>				
<p>Notes:</p> <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. 				
<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN VIC, VIC 3024 (A. Sturgeon) Ph: (03) 8231 4122 Fax: (03) 8231 4188 info@anotherperspective.com.au</p>		<p>Client/Project info</p> <p>PROPOSED UNIT DEVELOPMENT (GERYCARE EVOLVE HOUSING) 3 Barkish Grove PERTH</p>		
<p>UNIT 2 ELEVATIONS</p>				
Drawn	IV	WHT/2390		
Date	10/09/2021	Sheet		
Scale	1:100	05/05		
Copyright ©				

REFERRAL OF DEVELOPMENT APPLICATION PLN-21-0137 TO WORKS & INFRASTRUCTURE DEPARTMENT

Property/Subdivision No: 100900.02

Date: 1 June 2021

Applicant: Wilson Homes

Proposal: Multiple dwellings (2) (cars reversing from property)

Location: 3 Banksia Grove, Perth

W&I referral PLN-21-0137, 3 Banksia Grove, Perth

Planning admin: W&I fees paid.

Please inspect the property and advise regarding stormwater/drainage, access, traffic, and any other engineering concerns.

Is there a house on one of the lots?	No
Is it connected to all Council services?	Yes
Are any changes / works required to the house lot?	N/A
Are the discharge points for stormwater, infrastructure that is maintained by Council? (This requires a check to ensure the downstream infrastructure is entirely owned, maintained, operated by Council and have been taken over as Council assets.)	Yes

Stormwater:

Does the physical location of stormwater services match the location shown on the plan? (Requires an on-site inspection)	Yes
Is the property connected to Council's stormwater services?	Yes
If so, where is the current connection/s?	Manhole in south eastern corner (probably doesn't have a connection point)
Can all lots access stormwater services?	Yes
If so, are any works required?	Yes as per approved plan
Is stormwater detention required	No
Has a stormwater detention design been submitted	N/A
If so, is it designed for 20- year ARI with overland flow path to road or any other low risk Council approved place of discharge.	N/A
If no to above, has the design for 100 – year ARI been done.	N/A
If yes to any of the above, does it comply with Councils stormwater policy	N/A
Is the design approved by works & infrastructure	N/A
Please quote drawing numbers and any other relate documentation (email etc.)	#:
Additional Comments/information	No
Stormwater works required:	
Works to be in accordance with Standard Drawing TSD-SW25 – a 100mm stormwater connection and approved design plans.	
Is there kerb and gutter at the front of the property?	Yes
Are any kerb-and-gutter works required?	No

Road Access:

Does the property have access to a made road?	Yes
If so, is the existing access suitable?	No
Does the new lot/s have access to a made road?	N/A
If so, are any works required?	No
Is off-street parking available/provided?	Yes
Road / access works required:	
<i>Works to be in accordance with Standard Drawing TSD R09 - concrete driveway crossover & apron</i>	
Is an application for vehicular crossing form required?	Yes
Is a footpath required?	No
Extra information required regarding driveway approach and departure angles	No
Are any road works required?	No
Are street trees required?	No
Additional Comments:	An Engineer's design is not required.

Engineer's comment:**STANDARD CONDITIONS FOR MULTIPLE DWELLINGS**W.1 Stormwater

- a) Each dwelling must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works & Infrastructure Department.
- b) Concentrated stormwater must not be discharged into neighbouring properties
- c) Landscaping and hardstand areas must not interfere with natural stormwater run-off from neighbouring properties.
- d) All driveways and hardstand areas must be designed to allow stormwater run-off to be adequately drained to the Council stormwater system.
- e) Prior to the issue of a building permit, or the commencement of development authorised by this permit, the applicant must design and provide plans for underground stormwater drainage to collect stormwater from the driveways and roofed area of buildings. The system must connect through properly-jointed pipes to the stormwater main, inter-allotment drainage or other lawful point of discharge to the satisfaction of the Plumbing Inspector.
- f) A plumbing permit is required prior to commencing any plumbing or civil works within the property.

W.2 Access

- a) A concrete driveway crossover and must be constructed for each dwelling from the edge of the road to the property boundary in accordance with Council standards.
- b) Access works must not commence until an application for vehicular crossing has been approved by Council.
- c) All works must be done in accordance with Council Standard Drawing TSD-R09 and to the satisfaction of the Works Manager.
- d) The existing crossover and apron on the northern side of the property must be removed and reinstated.

W.3 Municipal standards & approvals

Unless otherwise specified within a condition, all works must comply with the Municipal Standards including specifications and standard drawings. All works must be constructed to the satisfaction of Council. Where works are required to be designed prior to construction,

such designs and specifications must be approved by Council prior to commencement of any *in situ* works.

W.4 Works in Council road reserve

- a) Works must not be undertaken within the public road reserve, including crossovers, driveways or kerb and guttering, without prior approval for the works by the Works Manager.
- b) Twenty-four (24) hours notice must be given to the Works & Infrastructure Department to inspect works within road reserve, and before placement of concrete or seal. Failure to do so may result in rejection of the vehicular access or other works and its reconstruction.

W.5 Pollutants

- a) The developer/property owner must ensure that pollutants such as mud, silt or chemicals are not released from the site.
- b) Prior to the commencement of development authorised by this permit the developer/property owner must install all necessary silt fences and cut-off drains to prevent soil, gravel and other debris from escaping the site. Material or debris must not be transported onto the road reserve (including the nature strip, footpath and road pavement). Any material that is deposited on the road reserve must be removed by the developer/property owner. Should Council be required to clean or carry out works on any of their infrastructure as a result of pollutants being released from the site the cost of these works may be charged to the developer/property owner.

W.6 Works damage bond

- a) Prior to the issue of a building permit, or the commencement of development authorised by this permit, a \$1000 bond must be provided to Council, which will be refunded if Council's infrastructure is not damaged.
- b) This bond is not taken in place of the Building Department's construction compliance bond.
- c) The nature strip, crossover, apron and kerb and gutter and stormwater infrastructure must be reinstated to Council's standards if damaged.
- d) The bond will be returned after building completion if no damage has been done to Council's infrastructure and all engineering works are done to the satisfaction of the Works & Infrastructure Department.

W.7 Nature strips

Any new nature strips, or areas of nature strip that are disturbed during construction, must be topped with 100mm of good quality topsoil and sown with grass. Grass must be established and free of weeds prior to Council accepting the development.

Jonathan Galbraith (Engineering Officer)

Stormwater requirements discussed with Leigh McCullagh (Works Manager) and Cam Oakley (Consultant) 1/6/21

Date: 2/6/21

Submission to Planning Authority Notice

Council Planning Permit No.	PLN-21-0137	Council notice date	01/06/2021
TasWater details			
TasWater Reference No.	TWDA 2021/00904-NMC	Date of response	10/06/2021
TasWater Contact	Jake Walley	Phone No.	0467 625 805
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	3 BANKSIA GR, PERTH	Property ID (PID)	7469274
Description of development	Multiple Dwellings x 2		
Schedule of drawings/documents			
	Prepared by	Drawing/document No.	Revision No.
	Another Perspective	Site Plan 01/05	A
	Another Perspective	Drainage Plan 01a/05	A
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p>			
CONNECTIONS, METERING & BACKFLOW			
<ol style="list-style-type: none"> 1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. 			
DEVELOPMENT ASSESSMENT FEES			
<ol style="list-style-type: none"> 4. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p>			

Advice

General

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

(a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.

Further information can be obtained from TasWater

(b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies

(c) TasWater will locate residential water stop taps free of charge

(d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Authorised by



Jason Taylor

Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Karen Jenkins

From:
Sent: Wednesday, 16 June 2021 3:42 PM
To: NMC Planning
Subject: Representation to Planning Application #PLN-21-0137 3 Banksia Grove Perth Tasmania

Follow Up Flag: Follow up
Flag Status: Completed

Attention General Manager
PO Box 156
Longford Tas 7301.

We refer to the proposed unit development for Centre Care Evolve Housing for 2 units and reverse parking at 3 Banksia Grove Perth Tasmania.

The application mentions widening the existing crossover / driveway to help vehicles reverse from this property. Their plans show the existing cross over/driveway on the left hand side of the block, when in fact it is on the right hand side of it and is adjoining the crossover to our block, No 4 Banksia Grove Tasmania.

By creating a new crossover/driveway, traffic reversing from No 3 will not have as much road space due to other cars continually parked across the road opposite No 3.

If the units were turned around on the block to use the existing crossover, cars reversing would have far more road space when reversing towards existing driveways of adjacent houses 10 & 11 Banksia Grove double crossover, which will not have other vehicles parked in front of them. Also vehicles exiting No 3 will be reversing closer towards the end of the cul-de-sac where the road is half again wider.

We are also wondering what will happen to our existing joint crossover with No 3 if the units are built to these plans?

If this crossover is removed we will have problems when towing our caravan and turning right into Banksia Grove from our driveway

Hopefully our comments will be taken into consideration.

Your sincerely,
Bob Scholz
Lesley Walker
4 Banksia Grove
Perth Tas. 7300



21 June 2021

Attention: Karen Jenkins
Northern Midlands Council
PO Box 156
Longford Tas 7301

Dear Karen

Ref:7469274; PLN-21-0137; 3 Banksia Grove Perth

Thank you for your letter dated 18th June 2021 regarding the development application that is currently in for 3 Banksia Grove. We have reviewed the representation received and have the following feedback

New Apron/crossover

It does appear we have a drafting error with the note for it to be widened – this looks incorrect and we are in fact proposing a new apron/crossover.

Site Layout

We would happily mirror the site as suggested by the representor to utilise the existing crossover/apron, however it causes many planning problems by doing so including greatly reducing the northerly facing component of yard and sunlight to the dwellings This would then affect the amenities of the new dwellings and provide a less than ideal outcome. We see these items alone enough to outweigh the decision to flip the design

Exiting Site

The issue raised by the representor regarding exiting the site. Upon the review from council to consider this necessary and/or of benefit, we would accept/support a condition on any permit issued to provide a 5.5m wide crossover and apron (current version is angled to a smaller crossover) to assist with vehicles turning onto the street.

Existing Apron

We are unsure of the process or requirements around leaving the existing apron in place, but if it is of benefit to the representor, we have no issue with leaving it in situ. We will require guidance from Council as to the viability of this.

S57A of Luppa

Wilson Homes is happy to participate in mediation directly with the representor or with the council and will be guided by the council as to how this needs to take place.

Kind regards

A handwritten signature in cursive script that reads 'Erin Porter'.

Erin Porter
Project Coordinator

1300 595 050
wilsonhomes.com.au

South 250 Murray Street, Hobart Tasmania
North 117-119 Elizabeth St, Launceston Tasmania
North West 83 Mount Street, Burnie Tasmania