

PLAN 4

PLANNING APPLICATION PLN-20-0296

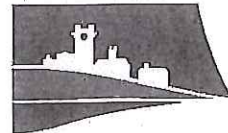
MULTIPLE DWELLING

50 MAIN ROAD, PERTH

ATTACHMENTS

- Application & plans, correspondence with applicant
- Responses from referral agencies
- Representation

# Planning Application Proposal



NORTHERN  
MIDLANDS  
COUNCIL

<i>Description of proposal:</i>	Multiple Dwellings (1 new, 1 original) vary setback to secondary frontage, heritage listed property)
<i>Site address:</i>	50 MAIN ROAD, PERTH
<i>CT:</i>	123673/1
<i>Estimated cost of project (include cost of landscaping, car parks etc for commercial / industrial uses)</i>	\$250,000.00
<i>Are there any existing buildings on this property?</i>	Yes
<i>If yes – use of main building:</i>	Dwelling
<i>If variation to Planning Scheme provisions requested, justification to be provided:</i>	vary setback to secondary frontage
<i>Is any signage required? (if yes, provide details)</i>	No

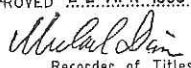
## PRIVACY STATEMENT

The Northern Midlands Council abides by the *Personal Information Protection Act 2004* and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

**Collection of Personal Information:** The personal information being collected from you for the purposes of the *Personal Information Protection Act, 2004* and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

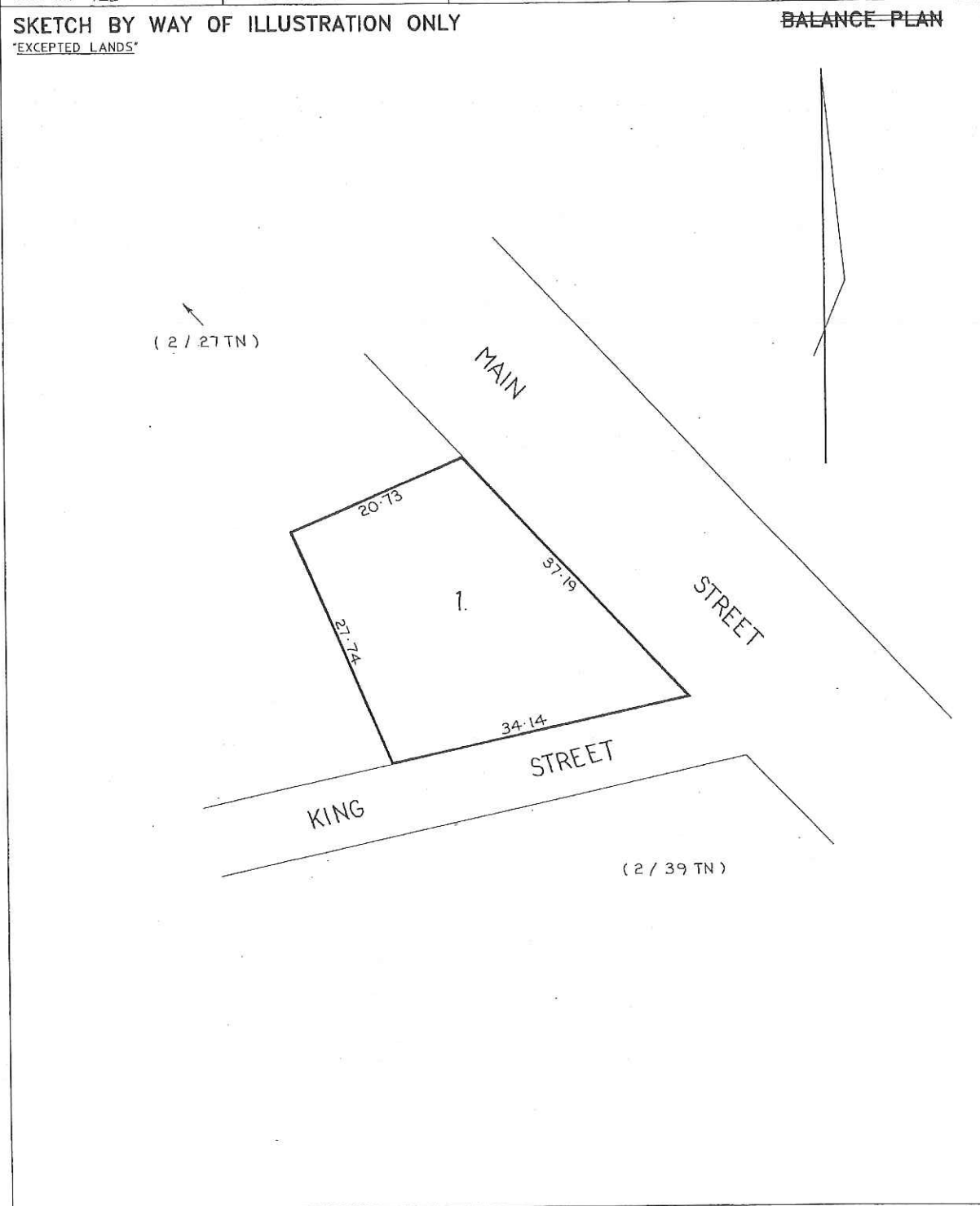
**Disclosure of Personal Information:** Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the *Building Act 2016*. This information will not be disclosed to any other external agencies unless required or authorised by law.

**Correction of Personal Information:** If you wish to alter any personal information you have supplied to Council please telephone the Northern Midlands Council on (03) 6397 7303. Please contact the Council's Privacy Officer on (03) 6397 7303 if you have any other enquires concerning Council's privacy procedures.

OWNER L.T. ACT 1980		<b>PLAN OF TITLE</b>		REGISTERED NUMBER	
FOLIO REFERENCE W. 4130				P123673	
GRANTEE		LOCATION			
PART OF LOC. TO JAMES FENNER		TOWN OF PERTH (SECTION T)		 Recorder of Titles	
		CONVERTED BY PLAN No CONV. 30/3558			
		COMPILED BY L.T.O.			
		NOT TO SCALE		LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No. 123	LAST UPI No 5601265	LAST PLAN No	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

SKETCH BY WAY OF ILLUSTRATION ONLY  
"EXCEPTED LANDS"

~~BALANCE PLAN~~



A-142

# PRELIMINARY DRAWINGS

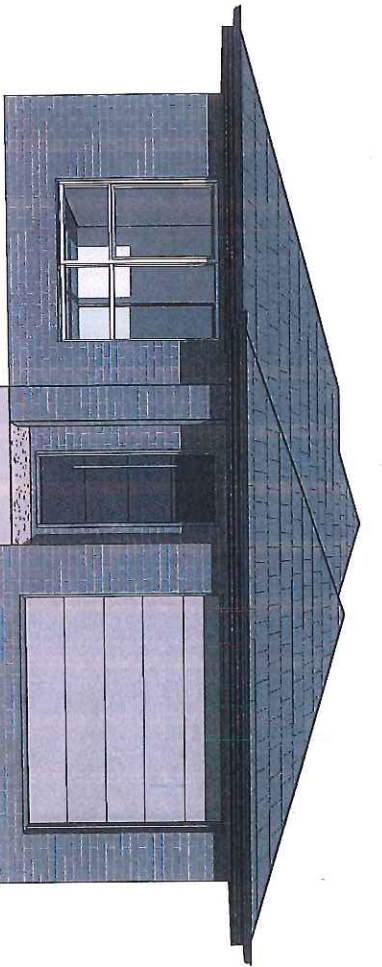
PROPOSED RESIDENCE FOR  
**MATHEW & JESSICA KEMPENICH**

ADDRESS  
**50a MAIN ROAD  
 PERTH, TAS 7300**

## PAGELIST

PAGE NO	PAGE TITLE
01	COVER
02	SITE PLAN
03	FLOOR PLAN
04	3D VIEWS
05	ELEVATIONS

**Superseded**



### GENERAL NOTES:

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
  - THE CURRENT NATIONAL CONSTRUCTION CODES (NCC)
  - THE STATE DEVELOPMENT CODE
  - BUILDING REGULATIONS
  - CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS
2. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBILITIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
3. ON STATUTION OF ANY STRUCTURAL MEMBERS & CONNECTIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING. ARE INTENDED TO BE VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
4. ALL DIMENSIONS IN MILLIMETERS.
5. DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK. EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
6. ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFIRMED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
7. MANUFACTURERS SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE TO THESE DRAWINGS. ARE AVAILABLE DIGITALLY, IF REQUIRED.
8. APPROVED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THIS DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHERS SUPPLIED DATA.
9. OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING STRUCTURAL ELEMENTS IN PARTICULAR TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.
10. ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.

### SITE WORKS NOTES:

1. POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
2. ALL STORMWATER, DOWNPIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
3. BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MAINHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. BUILDER TO OBTAIN THE THIRD PARTY LETTER TO PLANNING FROM THE LOCAL COUNCIL PRIOR TO COMMENCEMENT OF ANY FINISHED FLOOR LEVELS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITY. RELEVANT REGULATIONS & TO COMPLY WITH NCC VOL. 2.3.1.2.
5. ALL LAND UNKNOWN AND IS TO BE OBTAINED FROM SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EASTING MARKS INCLUDING CUT FILL, BATTERS AND SETTING MUST COMPLY WITH THE CURRENT NCC VOL. 2.3.1.1, AS 3798 & AS 4200.
6. THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1:120 MINIMUM.
7. STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE.
  - STORMWATER KERB ADAPTERS TO STREET (2 RAYS)
  - RAIN WATER TO STORMWATER PIPE
  - RUBBERSEAL TO COUNCIL SPECIFICATION.
  - RAINWATER TANK OVERFLOW MUST CONNECT TO STORMWATER SYSTEM.
  - SURFACE FINISHES TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT UNSAFETY TO ADJOINING PROPERTIES.
  - ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.
8. THE HEIGHT OF FINISHES, INCLUDING THE HEIGHT ABOVE FINISHED FLOOR LEVEL, MUST NOT EXCEED 2.0m INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.
9. WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILLS IS ACHIEVED TO SUPPORT CONCRETE.

### PATHWAYS NOTES:

1. DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTION. ANY DRIVEWAYS PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND DRIVEWAY TO BE MINIMUM OF 200mm THICK OVER THE SLAB. COMPACTED AND LEVELLED.
3. SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

### SECTION NOTES:

1. TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURERS SPECIFICATIONS.
2. ALL PINE TO BE 104mm.
3. GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
4. FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
5. SECTIONS ARE INTENDED TO BE VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

### TERMINATE RISK NOTES:

1. TERMINATE CONTROL BARBIERS TO BE IN ACCORDANCE WITH AS 3660.1 AND NCC CLAUSE 3.1.3.
2. ANY UNTREATED TIMBER POSTS, STAIRS AND THE LIKE SHALL BE SET 75mm MINIMUM CLEAR OF GROUND FOR VISUAL TERMINATE CONTROL.
3. TWO APPROVED NOTICES SHALL BE AFFIXED TO THE DWELLING AS REQUIRED ADVISING OWNERS OF THE METHOD OF TERMINATE RISK MANAGEMENT USED, AND THEIR ONGOING RESPONSIBILITY FOR THE MAINTENANCE OF THE SYSTEMS.
4. BUILDER TO CONFIRM WITH OWNER THE CHOSEN METHOD OF TERMINATE RISK PROTECTION.
5. OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL ELEMENTS, AND THAT BARRIERS ARE NOT COMPROMISED.
6. "MONOLITHIC" TERMINATE COLLAR FLANGE TO BE CLAMPED TO PIPES AND SET IN SLAB, 75mm MIN OF EXPOSED SLAB EDGE TO REMAIN ABOVE FINISHED PERIMETER LEVEL. EXPOSED EDGE NOT TO BE COVERED BY SOIL, RENDERED OR TILED, BUT MAY BE PAINTED. WHERE BRICKWORK CONCEALS EDGE OF SLAB IN ADDITION TO ABOVE, PROVIDE TERMINATE COLLAR BARRIER BLOW D.C. FIXED TO SLAB EDGE.
7. INSTALLED ANCHORS TO ALL BRICK PERS, TIMBER OR CONCRETE STUMPS; KEEP NO PROTECTION OF GROUND WHEN ON STEEL ANCHORS. NON-TIMBER ELEMENTS (EG STEEL POSTS) NEED NO PROTECTION FROM TERMINATES.

### FLOOR PLANS NOTES:

1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
- ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
- ALL SMOKE ALARMS TO BE INTERCONNECTED
1. ON EACH LEVEL OF LIVING SPACE
3. IN EVERY BEDROOM
4. ALL STORMWATER, DOWNPIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
7. THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING.
8. THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM NCC TABLE 4.5.2.1 OR FROM AS 2500.
9. LEAVES GUTTERS MUST BE INSTALLED AT A FALL, NOT LESS THAN 1:125 IN 500 WITH SUPPORT BACKERS AT 12m MAXIMUM GENTS.
10. BOX GUTTERS MUST BE INSTALLED AT A FALL, NOT LESS THAN 1:100 IN ACCORDANCE WITH AS 2500.3.
11. DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. LEAVE GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 12 METERS FROM A VALLEY GUTTER.
12. DOWNPIPES (DP) TO BE MAX. 12m LINEAL APART. DP Ø 75mm MIN. MAX ROOF AREA 90m<sup>2</sup> MIN. CROSS SECT AREA 35m<sup>2</sup>



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 GBC: LIC. 1504097

AREI PLAN CODE: **AREI**  
 CLIENT: **ABODE DH**  
 DRAWING NAME: **COVER**

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPENICH AT 50a MAIN ROAD PERTH**

PLAN NUMBER: **2829-20**  
 DATE: **23/10/20**  
 SCALE: **@A3**

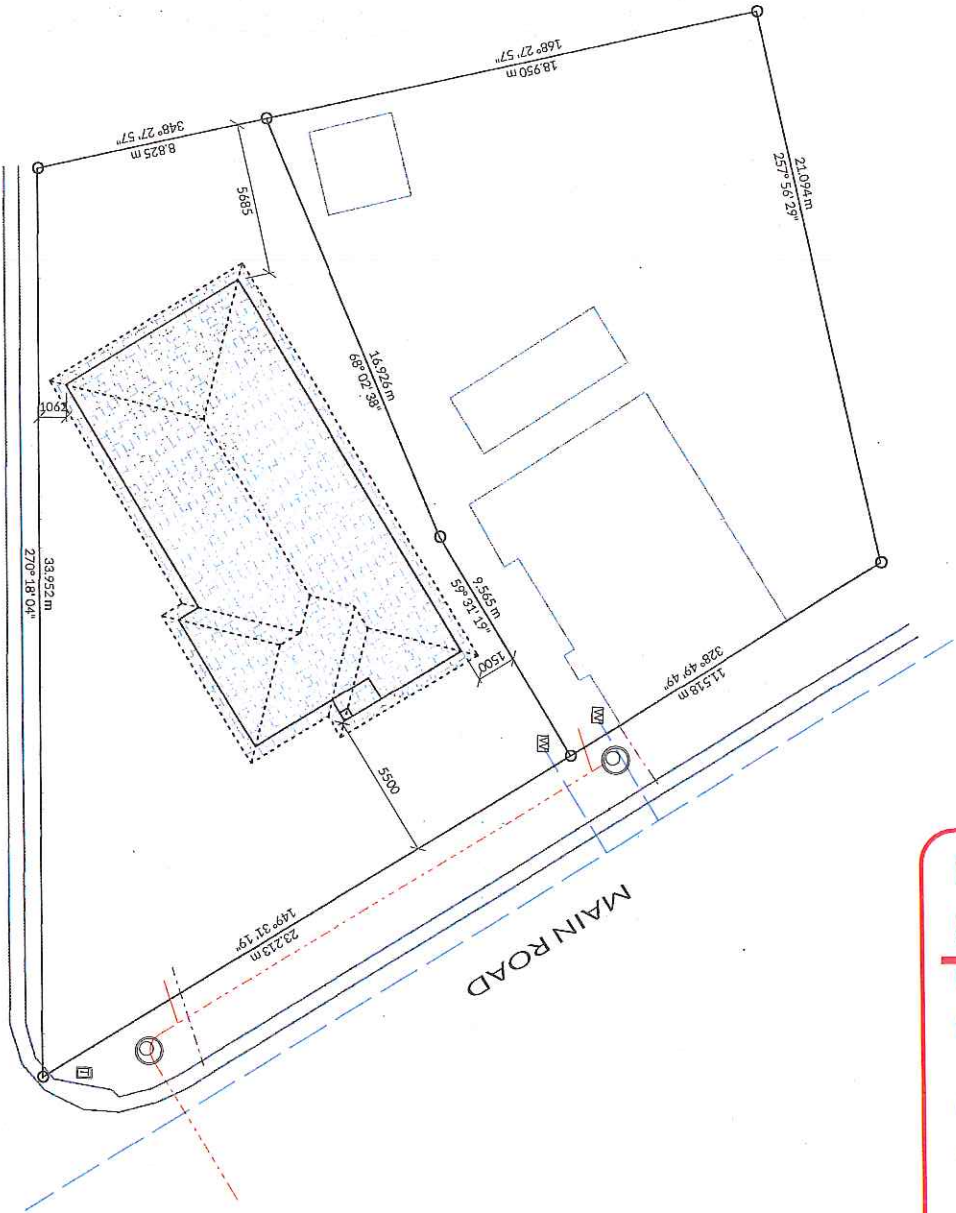
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LEGEND

- UNDERGROUND GAS MARKER
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT
- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- STORM WATER LINE
- FENCE
- ELECTRICAL
- TELSTRA COMMUNICATIONS
- WATER LINE



KING STREET

MAIN ROAD

Superseded



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 M:0403 508 703  
 E:pland@areidesigns.com.au  
 W:areidesigns.com.au  
 ABN: 31614195818  
 QBCC LIC: 15040397

CLIENT: **ABODE DH**  
 DRAWING NAME: **SITE PLAN**

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50A MAIN ROAD PERTH**

PLAN NUMBER: 2829-20  
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 SCALE: @ A3 1:200

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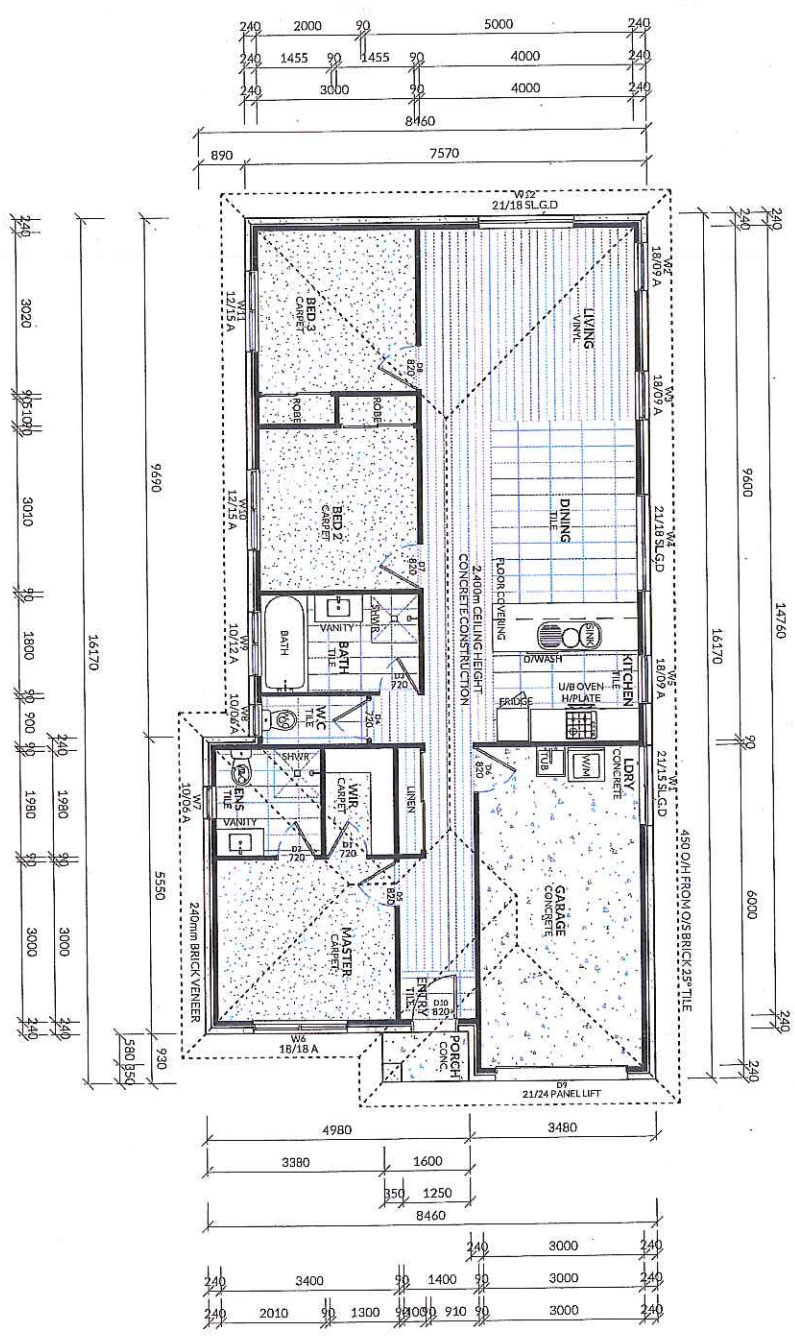
**FLOOR AREAS**  
 GARAGE 20.4 m<sup>2</sup>  
 LIVING 103.1 m<sup>2</sup>  
 PATIO 0.0 m<sup>2</sup>  
 PORCH 1.5 m<sup>2</sup>  
 TOTAL 125.0 m<sup>2</sup>

**WINDOW SCHEDULE**

MARK	SIZE	DESCRIPTION
W1	2100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W2	1800 x 900	ALUM. FRAMED AWNING
W3	1800 x 900	ALUM. FRAMED AWNING
W4	2100 x 1800	ALUM. FRAMED SLIDING GLASS DOOR
W5	1800 x 900	ALUM. FRAMED AWNING
W6	1800 x 1800	ALUM. FRAMED AWNING
W7	1000 x 600	ALUM. FRAMED AWNING
W8	1000 x 600	ALUM. FRAMED AWNING
W9	1000 x 1200	ALUM. FRAMED AWNING
W10	1200 x 1500	ALUM. FRAMED AWNING
W11	1200 x 1500	ALUM. FRAMED AWNING
W12	2100 x 1800	ALUM. FRAMED SLIDING GLASS DOOR

**DOOR SCHEDULE**

MARK	SIZE	DOOR TYPE
D1	2040 x 720	HOLLOW CORE SWING
D2	2040 x 720	HOLLOW CORE SWING
D3	2040 x 720	HOLLOW CORE SWING
D4	2040 x 720	HOLLOW CORE SWING
D5	2040 x 820	HOLLOW CORE SWING
D6	2040 x 820	HOLLOW CORE SWING
D7	2040 x 820	HOLLOW CORE SWING
D8	2040 x 820	HOLLOW CORE SWING
D9	2100 x 2400	PANEL LIFT DOOR
D10	2040 x 820	SOLID ENTRY DOOR



**Superseded**



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 QBCC LIC: 1504097

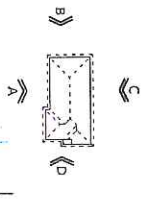
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PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50A MAIN ROAD PERTH**

PLAN NUMBER: 2839-20  
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 Q/BCC LIC: 13040397

CLIENT: **ABODE DH**  
 AREI PLAN CODE: **SERIES AREI**  
 DRAWING NAME: **3D VIEWS**

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50A MAIN ROAD PERTH**

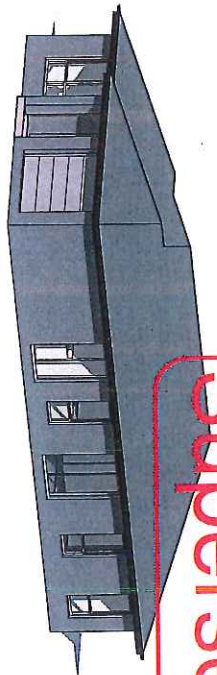
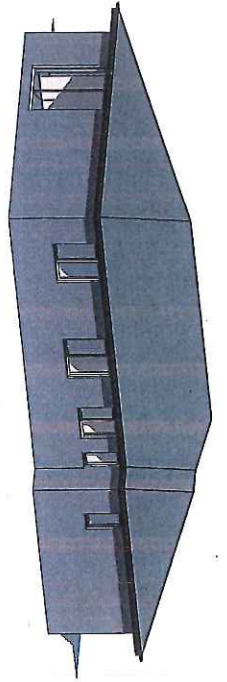
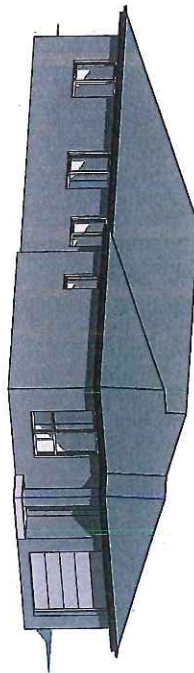
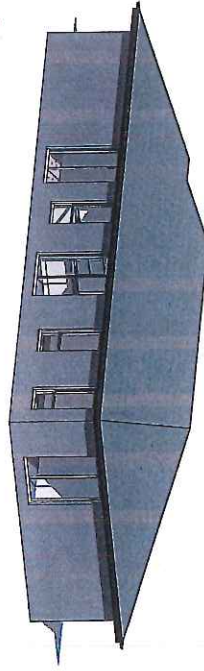
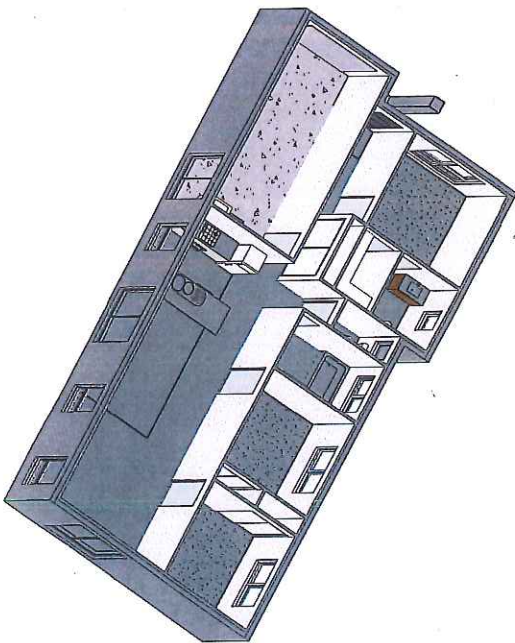
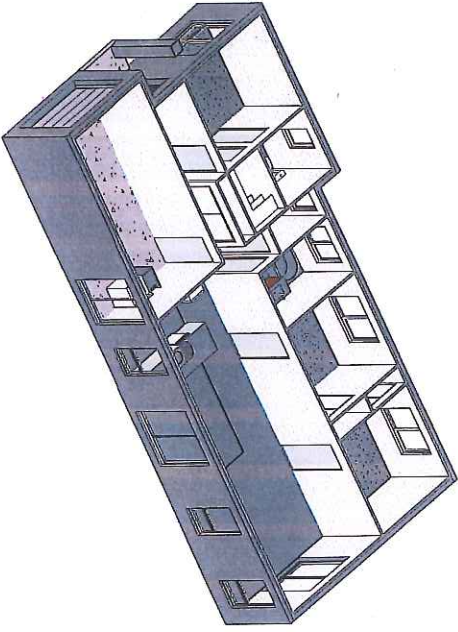
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 DATE: **23/10/20**  
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PAGE NO: **04 OF 05**  
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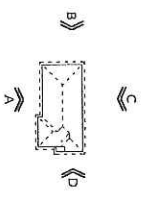
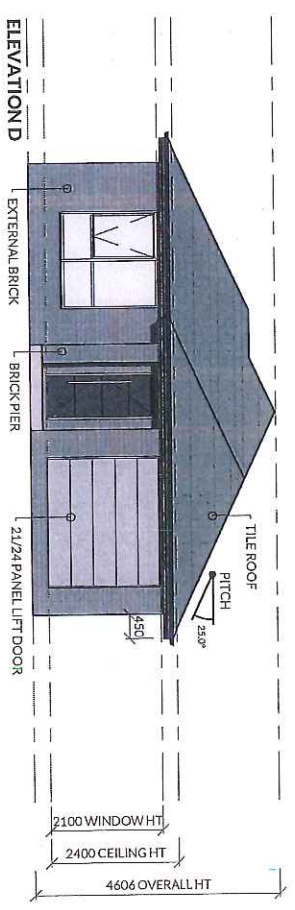
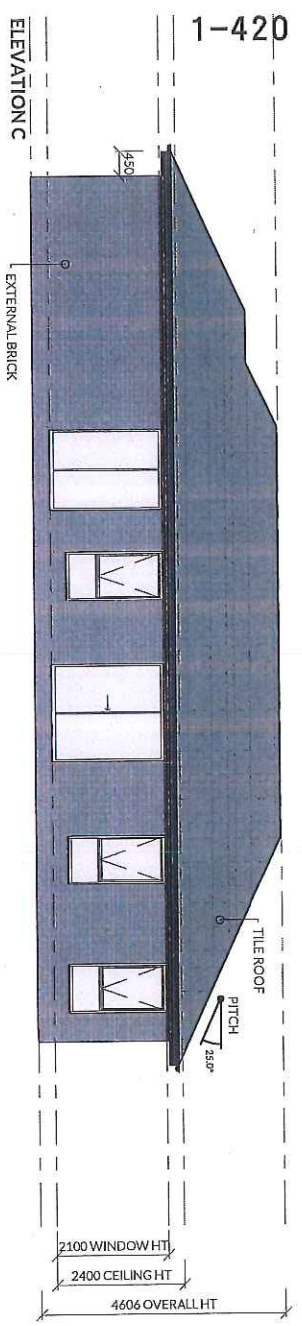
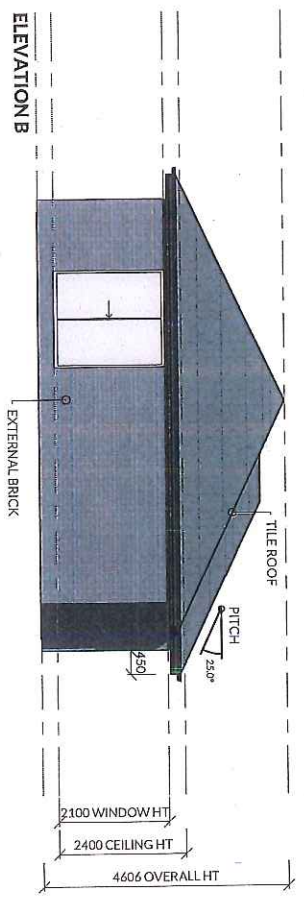
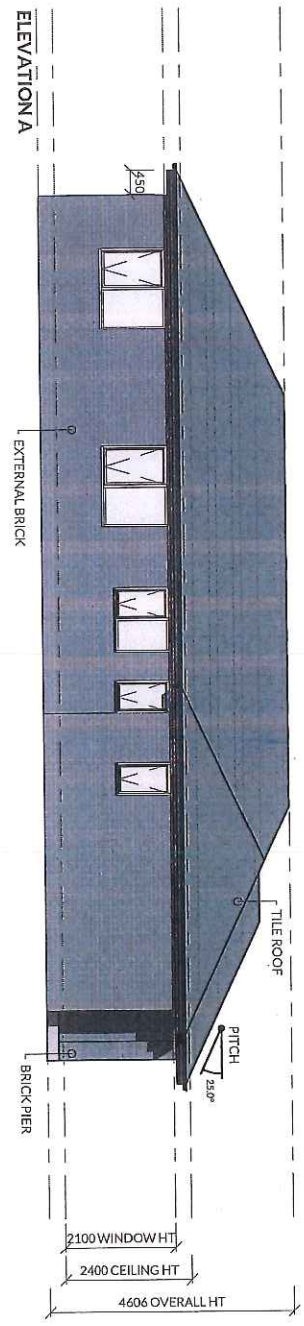


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**Superseded**

**Superseded**



1-420



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 ABN: 3164429818  
 QBCC LIC: 13040997

CLIENT: **ABODE DH**  
 DRAWING NAME: **ELEVATIONS**  
 AREI PLAN CODE: **SERIES AREI**

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMP NICH AT 50a MAIN ROAD PERTH**

PLAN NUMBER: **2829-20**  
 DATE: **22/10/20**  
 SCALE: **1:100**

PAGE NO: **02 OF 05**  
 DRAWN: **KP**  
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**NORTHERN  
MIDLANDS  
COUNCIL**

Our ref: PLN-20-0296

5<sup>th</sup> January 2021

Abode Designer Homes  
67 Margaret St  
LAUNCESTON 7250

By email: [info@abodedesignerhomes.com.au](mailto:info@abodedesignerhomes.com.au)

**Additional Information Required for Planning Application PLN-20-0296  
Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property) at 50  
Main Road, Perth**

I refer to the abovementioned application, which has been reviewed by Council's Planners. The following information is required to allow consideration of your application under the *Northern Midlands Interim Planning Scheme 2013*:

- Floor plan of the existing dwelling.
- Elevations of the proposed dwelling labelled north, south, east, west.
- Plan showing distance of existing dwelling from proposed southern boundary.
- Plan showing private open space for both dwellings
- Plan showing the location of car parking for the existing dwelling.

If you intend to start building after the new title is issued, another planning application, for a single dwelling, will be required.

The reduced setback from the King Street frontage must be compatible with the existing dwellings in the street (clause 10.4.2 P1 (a) of the *Northern Midlands Interim Planning Scheme 2013*).

My initial assessment is that the 1.062m setback from the King Street frontage is not compatible with the existing dwellings in King Street.

The application will therefore be taken to a Council meeting for a decision, with a likely recommendation of refusal.

I invite you to meet with Council's heritage architect and myself to discuss a setback that would be compatible with the existing dwellings in King Street.

In accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been satisfactorily supplied. Please include the reference PLN-20-0296 on all correspondence and send any emailed correspondence to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au). If you have any queries, please contact Council's Planning Section on 6397 7301, or at the above email address.

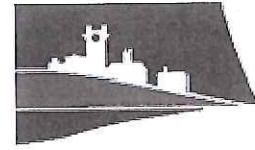
Yours sincerely

A handwritten signature in black ink, appearing to read "P. Godier".

Paul Godier  
**Senior Planner**

Copy: Matthew & Jessica Kempnich, by email: [jess\\_bryant\\_1993@hotmail.com](mailto:jess_bryant_1993@hotmail.com)

Our ref: 108900.83;PLN-20-0296  
Enquiries: Paul Godier



**NORTHERN  
MIDLANDS  
COUNCIL**

07/01/2021

Ty Turner  
67 Margaret St  
LAUNCESTON 7250  
via email: [info@abodedesignerhomes.com.au](mailto:info@abodedesignerhomes.com.au)

Dear Ty Turner

**Additional Information Required for Planning Application PLN-20-0296- Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property) at 50 Main Road, Perth**

I refer to the abovementioned application that was referred to TasWater (the water and sewer authority). They have requested additional information (see attached RAI). If you have any queries, please contact TasWater's Development Co-ordinator directly:

☎ 13 6992

✉ [development@taswater.com.au](mailto:development@taswater.com.au)

The information requested must be provided to Council for forwarding to TasWater (preferably by email to [Planning@nmc.tas.gov.au](mailto:Planning@nmc.tas.gov.au)).

Therefore, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, the statutory period for processing the application will not recommence until the requested information has been supplied to the satisfaction of the Planning Authority. It is a requirement of the Planning Authority that all correspondence, if emailed, is sent to [Planning@nmc.tas.gov.au](mailto:Planning@nmc.tas.gov.au) and referenced with the planning application number **PLN-20-0296**-. If you have any queries, please contact Council's Planning Section on 6397 7301, or e-mail [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Yours sincerely

A handwritten signature in cursive script that reads "K Jenkins".

Karen Jenkins  
**Administration Officer**

Copy: Matthew James Kempnich 24 Bulwer St Tas 7301  
via email: [jess\\_bryant\\_1993@hotmail.com](mailto:jess_bryant_1993@hotmail.com)

Note: Due to privacy laws, Council officers only hold discussions with applicants (e.g. when an applicant is acting as the owner's agent, all enquiries must be directed through the applicant).

Enc: TasWater RAI

## Request for Additional Information

### For Planning Authority Notice

Council Planning Permit No.	PLN-20-0296	Application date	05/01/2021
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2021/00021-NMC	Date of response	06/01/2021
TasWater Contact	Jake Walley	Phone No.	0467 625 805
<b>Response issued to</b>			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
<b>Development details</b>			
Address	50 MAIN ROAD , PERTH	Property ID (PID)	6745230
Description of development	Multiple Dwellings x2	Stage No.	
<b>Additional information required</b>			
<ol style="list-style-type: none"> <li>1. The existing house can continue to use the existing sewer connection. There is no need to install a new sewer connection in this instance.</li> <li>2. The proposed Lot with the proposed dwelling can connect to a new sewer main that comes across the street, given you produce a long section that shows it crossing other below ground infrastructure. This needs to be done by a suitably qualified person.</li> <li>3. The amended plan is to show the location of the new water connection in relation to a <b>known</b> boundary. It must also notate that all work is to be done by taswater at the developers cost. The size of connection and meter is to be included on the plan also.</li> </ol>			
<b>Advice</b>			
<p><b>Service Locations</b></p> <p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <ul style="list-style-type: none"> <li>• A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater</li> <li>• TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <a href="http://www.taswater.com.au/Development/Service-location">www.taswater.com.au/Development/Service-location</a> for a list of companies</li> <li>• TasWater will locate residential water stop taps free of charge</li> <li>• Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.</li> </ul> <p>To view our assets, all you need to do is follow these steps:</p> <ol style="list-style-type: none"> <li>1) Open up webpage - <a href="http://maps.thelist.tas.gov.au/listmap/app/list/map">http://maps.thelist.tas.gov.au/listmap/app/list/map</a></li> <li>2) Click 'Layers'</li> <li>3) Click 'Add Layer'</li> <li>4) Scroll down to 'Infrastructure and Utilities' in the Manage Layers window, then add the appropriate layers.</li> <li>5) Search for property</li> <li>6) Click on the asset to reveal its properties</li> </ol>			



Authorised by

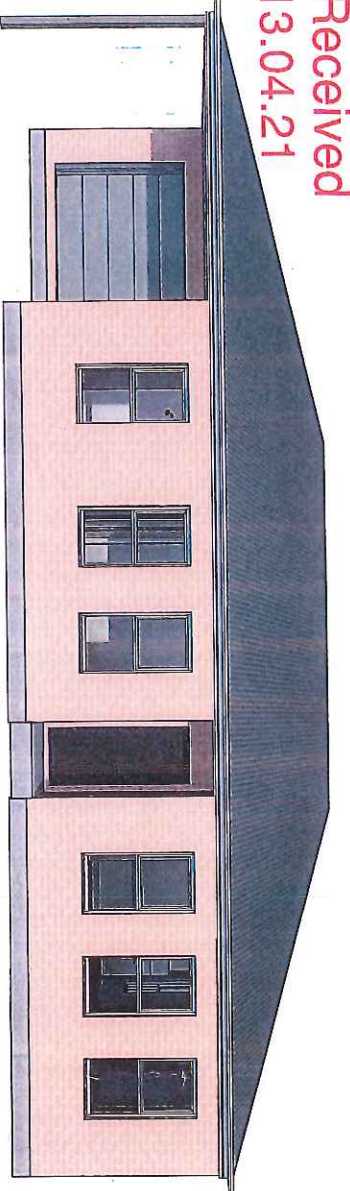
A handwritten signature in black ink, appearing to read "J Taylor".

Jason Taylor

**Development Assessment Manager**

**TASWATER CONTACT DETAILS**

Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		



# PRELIMINARY DRAWINGS

PROPOSED RESIDENCE FOR  
**MATHEW & JESSICA KEMPINICH**  
ADDRESS  
**50a MAIN ROAD  
PERTH, TAS 7300**

## PAGE LIST

PAGE NO	PAGE TITLE
01	COVER
02	SITE PLAN
03	FLOOR PLAN
04	3D VIEWS
05	ELEVATIONS

### GENERAL NOTES:

1. ALL DESIGN CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODES (NCC)
2. THE STATE DEVELOPMENT CODE BUILDING REGULATIONS CURRENT ISSUES OF AUSTRALIAN STANDARDS & INSTALLATION DETAILS FOR MATERIALS USED
3. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
4. SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL BE AN RESPONSIBILITY OF THE BUILDING DESIGNER FOR THESE PLANS. THE BUILDING DESIGNER HAS NOT CONDUCTED VISUAL VERIFICATION OF THE BUILDING DRAWINGS AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
5. ALL DIMENSIONS IN MILLIMETERS
6. DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE FINISH ON NEW WORK EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
7. ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFIRMED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
8. MAINTAINER SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE TO THESE DRAWINGS ARE AVAILABLE DIGITALLY IF REQUIRED.
9. ANY DATA SUPPLIED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE TO BE THE ALL USERS RESPONSIBILITY OF HIS DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA.
10. OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.
11. ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.

### SITEWORKS NOTES:

1. POSITION OF SETTING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
2. ALL STORMWATER, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STRIKE CODE AND AS 3900 ALL PARTS HOUSES TO ENSURE THAT ACTUAL SEWER LINE AND WHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PLUMBING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS FINISHED FLOOR LEVELS TO BE ABOVE THE MINIMUM REQUIREMENTS & TO COMPLY WITH NCC VOL. 2.3.1.2.3.
4. FALL OF LAND UNKNOWN AND IS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT NCC VOLUME 2.3.1.1 AS 3798 & AS 4200.
5. THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM.
6. STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE -
7. STORMWATER KERB ADAPTERS TO STREET (2 MAX)
8. ROOF WATER, STORM WATER PIPE
9. RIBBERETS TO CONJUNCTION SPECIFICATION.
10. RAINWATER TANK OVERFLOW MUST CONNECT TO STORMWATER SYSTEM.
11. SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
12. ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.
13. THE HEIGHT OF FENCES INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL ONLY IF INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.
14. WINDSCREENS, PERIMETER ARE LOCATED UNDER SHEDS AND GLASS CONNECTIONS ARE TO BE SIZED ADEQUATE CONNECTION TO THE LOCAL BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

### PATH/DRIVEWAY NOTES:

1. DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB.
2. PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB COMPACTED AND LEVELED.
3. SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

### SECTION NOTES:

1. TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS.
2. ALL PINE TO BE F4-MIN.
3. GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
4. FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESRIPTIVE.
5. SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

### FOUNDATIONS NOTES:

1. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY INSPECTION OF POINING EXCAVATIONS.
2. PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
3. WHERE SERVICES / PERIMETER ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE CONNECTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE
4. REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
5. ACCORDING TO MANUP SPEC. OR BUILDERS DIRECTIONS.
6. MINIMUM COVER TO GROUND - 50mm.
7. TOP COVER TO SLAB REINFORCEMENT - 30mm.
8. GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
9. POLYETHYLENE MEMBRANE 0.2mm
10. POLYETHYLENE JOINTS ARE TO BE LAPPED 300mm AND TAPED.
11. REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm C/S
12. ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
13. FILL MATERIAL AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. DRY DENSITY.
14. FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.

### FLOOR PLAN NOTES:

1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC PART 3.7.2 - SMOKE ALARMS. SMOKE ALARMS MUST COMPLY WITH AS 3786.
2. ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
3. ALL SMOKE ALARMS TO BE INTERCONNECTED
4. ON EACH LEVEL OF LIVING SPACE INTERCONNECTED
5. IN EVERY BED ROOM
6. OUTSIDE EACH BED ROOM AREA
7. WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PRESRIPTIVE.
8. ALL GLAZING TO BE IN ACCORDANCE WITH AS2828. WINDOWS SPECIFICATIONS VARY DUE TO MANUFACTURERS SPECIFICATIONS.
9. BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO).
10. SS BALUSTRADING TO COMPLY WITH CURRENT NCC VOLUME 2 SECTION 9.2.3.2 WIRE BALUSTRADING CONSTRUCTION
11. BALUSTRADING TO HAVE LIFT OFF HINGES (ONLY IF THE DOORS SWING IN TOWARDS THE W/O).
12. MASONRY CONSTRUCTION TO AS 3700.
13. REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, THE DOWN AND SUB/FLOORING DETAILS SEAL WET AREAS IN ACCORDANCE WITH AS 5740 & NCC REQUIREMENTS.
14. PROVIDE FLOOR WASTE TO ALL WET AREAS.

### ROOF DRAINAGE NOTES:

1. ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 3803.3 AND CURRENT NCC VOLUME 2 PART 3.5.2.
2. TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION DRAINING ROOF WATER ON TO GROUND, 2M IN VAWAY FROM BUILDING.
3. ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/PLUMBER IN ACCORDANCE WITH NCC VOL. 2.3.1.2 & 3.5.2 AND STRIKE CODE AND AS 3900 ALL PARTS HOUSE CORROSION ENVIRONMENT: ???

### OVERLAYS: ???

- WIND CLASSIFICATION: N-(m/s)
- TERRAIN CATEGORY: TC-???
- SHELDING: ???
- BAL LEVEL: ???
- TOPOGRAPHIC: ???
- CLIMATE ZONE: ???
- CORROSION ENVIRONMENT: ???

### LAND INFORMATION

- LAND TITLE REFERENCE: ???
- SUBURB: PERTH
- LOCALITY: NORTHERN MIDLANDS
- LOCAL AUTHORITY: NORTHERN MIDLANDS COUNCIL
- ZONING: GENERAL RESIDENTIAL
- LAND SIZE: 453m<sup>2</sup>
- DWELLING FLOOR AREA: 124.5m<sup>2</sup>
- SITE COVERAGE: 27.48%
- PORCH/PATIO AREA: 0.2m<sup>2</sup>

### ELEVATION NOTES:

1. ON EACH LEVEL OF LIVING SPACE
2. OUTSIDE EACH BED ROOM AREA
3. THIS PLAN IS INDICATIVE ONLY AND IS TO BE USED ONLY AS AN EXAMPLE OWNERS TO NOMINATE FINAL POSITIONS OF ELECTRICAL APPLIANCES LIGHTING AND ELECTRICAL FITTINGS.

### ELEVATION NOTES:

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3. FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESRIPTIVE.
4. ELEVATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

### ELEVATION NOTES:

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### ELEVATION NOTES:

1. WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE

1-427

LEGEND

- UNDERGROUND GAS MARKER
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT
- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- STORM WATER LINE
- FENCE
- ELECTRICAL
- TELESTRA COMMUNICATIONS
- WATER LINE



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ABN: 31654195818  
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CLIENT:  
**ABODE DH**

DRAWING NAME:  
**SITE PLAN**

PROJECT:  
**PROPOSED RESIDENCE FOR  
M & J KEMPINICH AT  
50A MAIN ROAD  
PERTH**

PLAN NUMBER: 2829-20  
DATE: 13/04/21  
SCALE @ A3: 1:200

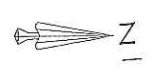
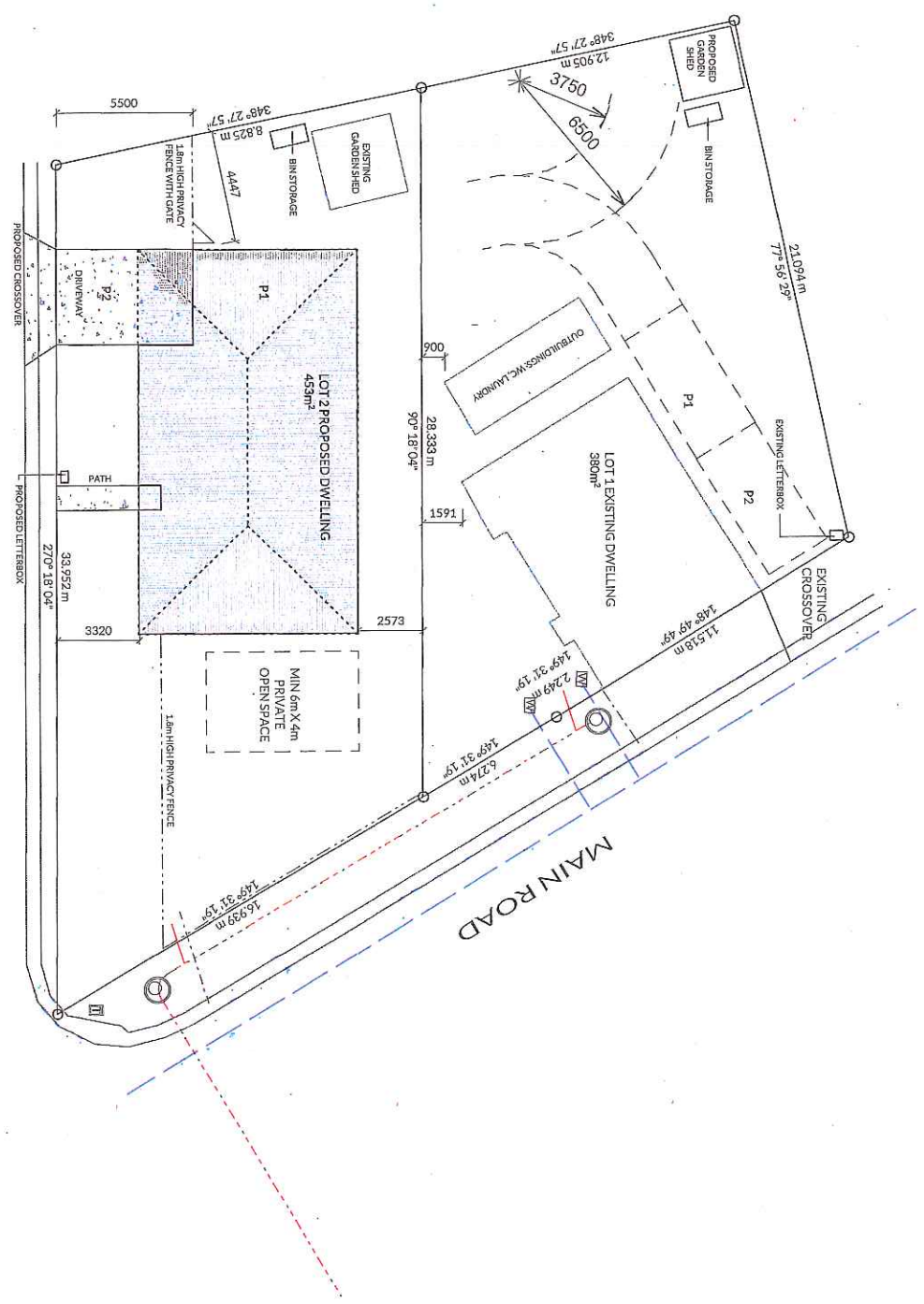
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13.04.21

**FLOOR AREAS**

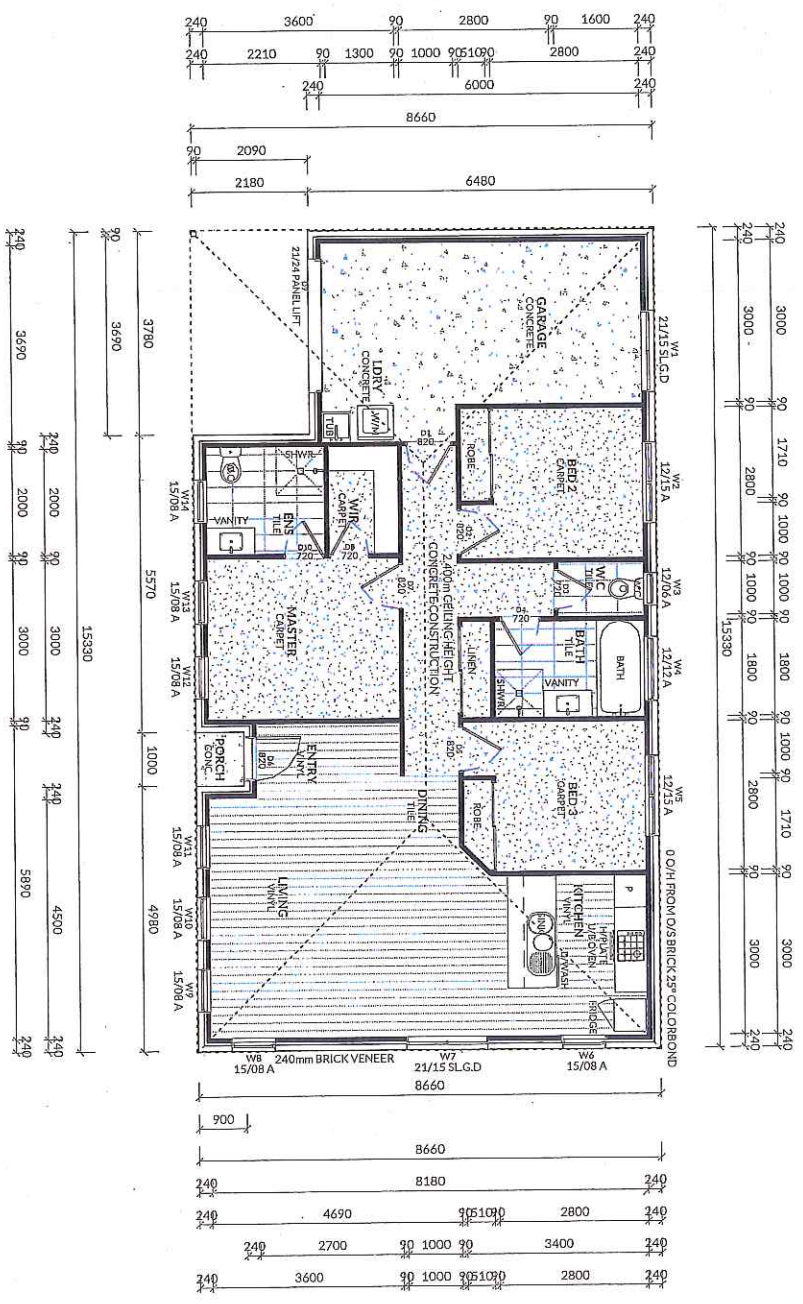
GARAGE	22.9 m <sup>2</sup>
LIVING	100.7 m <sup>2</sup>
PATIO	0.0 m <sup>2</sup>
PORCH	0.9 m <sup>2</sup>
TOTAL	124.5 m <sup>2</sup>

**WINDOW SCHEDULE**

MARK	SIZE	DESCRIPTION
W1	12100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W2	1200 x 1500	ALUM. FRAMED AWNING
W3	1200 x 600	ALUM. FRAMED AWNING
W4	1200 x 1000	ALUM. FRAMED AWNING
W5	1200 x 1500	ALUM. FRAMED AWNING
W6	1500 x 800	ALUM. FRAMED AWNING
W7	2100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W8	1500 x 800	ALUM. FRAMED AWNING
W9	1500 x 800	ALUM. FRAMED AWNING
W10	1500 x 800	ALUM. FRAMED AWNING
W11	1500 x 800	ALUM. FRAMED AWNING
W12	1500 x 800	ALUM. FRAMED AWNING
W13	1500 x 800	ALUM. FRAMED AWNING
W14	1500 x 800	ALUM. FRAMED AWNING

**DOOR SCHEDULE**

MARK	SIZE	DOOR TYPE
D1	2040 x 820	HOLLOW CORE SWING
D2	2040 x 820	HOLLOW CORE SWING
D3	2040 x 720	HOLLOW CORE SWING
D4	2040 x 720	HOLLOW CORE SWING
D5	2040 x 820	HOLLOW CORE SWING
D6	2040 x 820	SOLID CORE SWING
D7	2040 x 820	HOLLOW CORE SWING
D8	2040 x 720	HOLLOW CORE SWING
D9	2100 x 2400	PANEL LIFT DOOR
D10	2040 x 720	HOLLOW CORE SWING



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OBCC LIC: 15040397

CLIENT: **ABODE DH**  
DRAWING NAME: **FLOOR PLAN**

PROJECT: **PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50A MAIN ROAD PERTH**

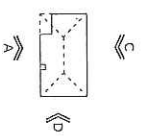
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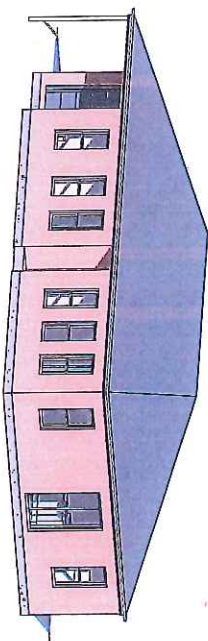
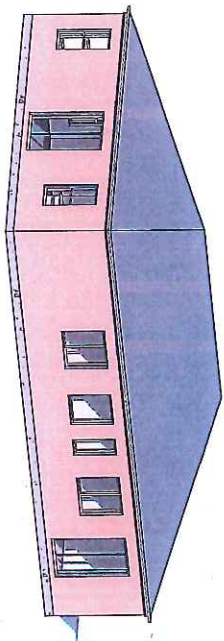
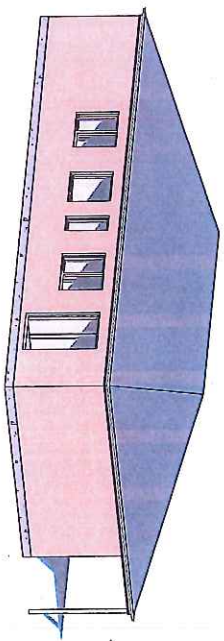
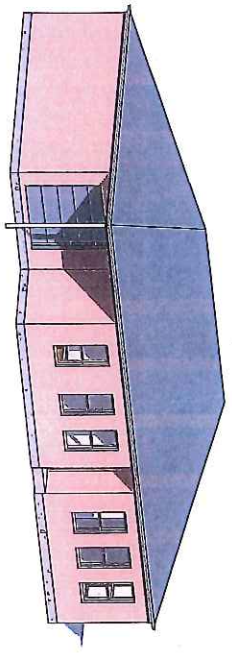
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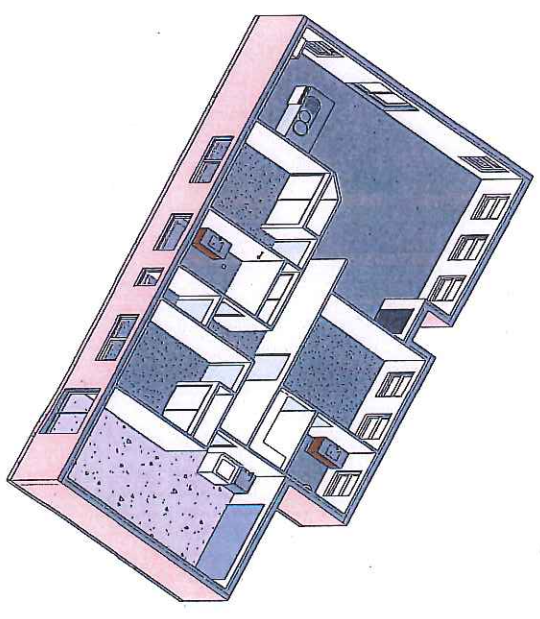
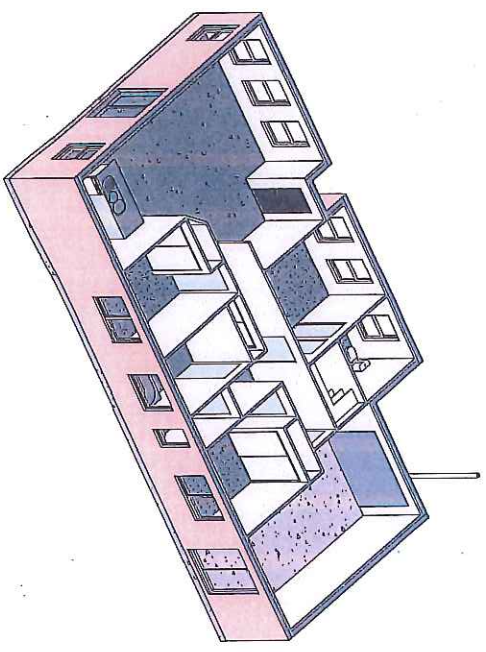




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QBCC LIC: 15040397

CLIENT: ABODE DH  
DRAWING NAME: 3D VIEWS  
AREI PLAN CODE: SERIES AREI

PROJECT: PROPOSED RESIDENCE FOR M & J KEMPINICH AT 50A MAIN ROAD PERTH

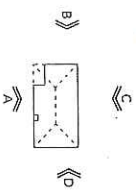
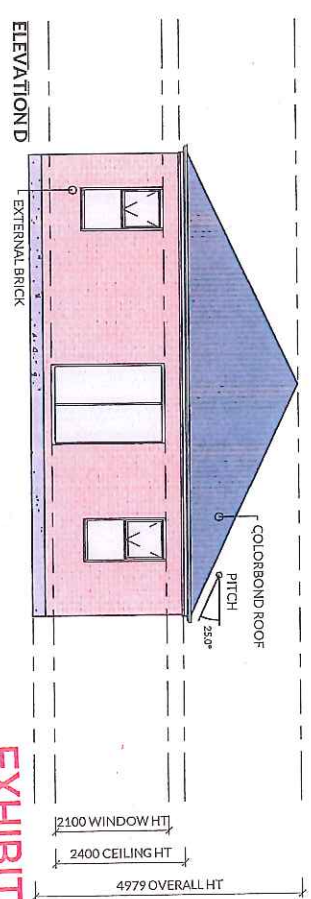
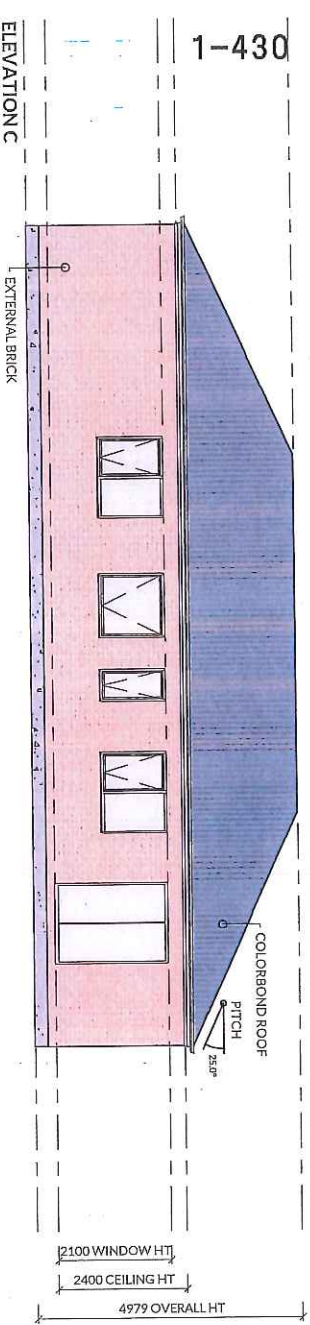
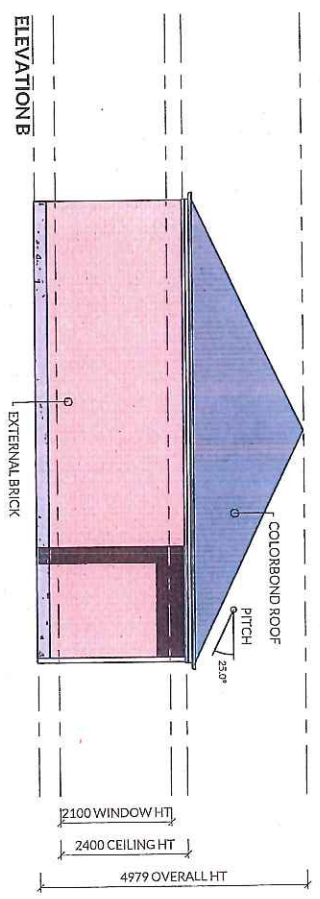
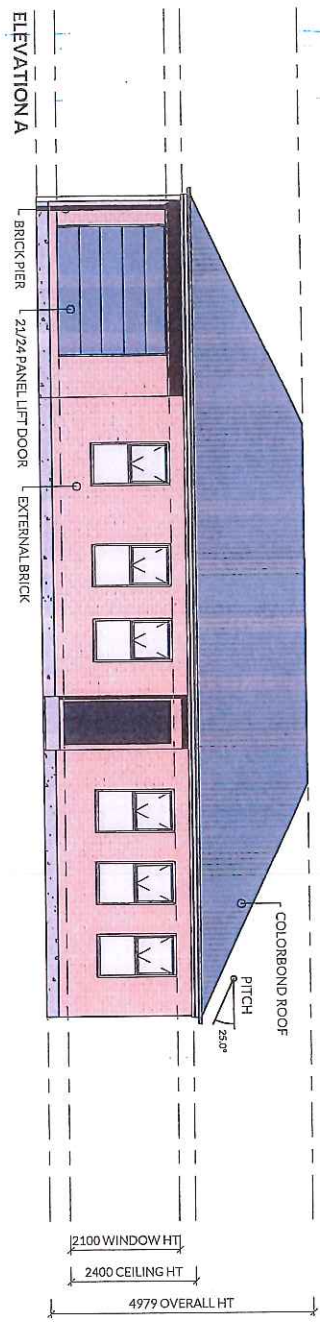
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13.04.21

NOTE -COLORBOND:  
 \* COLORBOND ROOF - WINDSPRAY  
 \* FASCIA & GUTTERS - SUREMIST  
 \* PANEL LIFT DOOR - WINDSPRAY  
 \* WINDOWS - RED  
 \* BRICKS - RED



1-430

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 ABN: 31414125818  
 QBCC LIC: 15040397

CLIENT:  
**ABODE DH**

DRAWING NAME:  
**ELEVATIONS**

PROJECT:  
**PROPOSED RESIDENCE FOR  
 M & J KEMPINICH AT  
 50A MAIN ROAD  
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**EXHIBITED**



Tasmanian Heritage Council  
 GPO Box 618 Hobart Tasmania 7000  
 Tel: 1300 850 332  
 enquiries@heritage.tas.gov.au  
 www.heritage.tas.gov.au

PLANNING REF: PLN-20-0296  
 THC WORKS REF: 6455  
 REGISTERED PLACE NO: 5221  
 FILE NO: 10-48-06THC  
 APPLICANT: Adobe Designer Homes  
 DATE: 30 June 2021

## NOTICE OF HERITAGE DECISION

*(Historic Cultural Heritage Act 1995)*

The Place: 50 Main Road, Perth.  
 Proposed Works: New dwelling.

Under section 39(6)(b) of the *Historic Cultural Heritage Act 1995*, the Heritage Council gives notice that it consents to the discretionary permit being granted in accordance with the documentation submitted with Development Application PLN-20-0296, advertised on 12/06/2021, subject to the following conditions:

1. **The design of the house is to be refined to more positively respond to the heritage building, specifically:**
  - (i) **The roof over the garage / laundry area must be a skillion; or a secondary hip confined to the depth of the new garage, with skillion over the garage entry; and,**
  - (ii) **The window openings in the south and east elevations must have expressed lintels and sills, and the door openings including porch recess are to have expressed lintels; and**
  - (iii) **The windows and doorway in the east elevation must be evenly spaced and arranged symmetrically; and,**
  - (iv) **The main roof must have eaves of the same overhang as those of the main roof of the heritage building.**
2. **Revised drawings showing how the requirements of condition 1 are to be achieved must be provided to Heritage Tasmania and be to the Works Manager's satisfaction prior to the commencement of works.**

### Reason

To ensure that the new building is of a massing, form, character, and detail design that is sympathetic to the heritage building, consistent with the 'appropriate outcomes' described in section 8.1 of the *Works Guidelines*. In particular, to reduce the overall bulk of the roof; to provide a visual differentiation of the main and ancillary parts of the dwelling, similar to the roof forms of the heritage building; to ensure that the principal

elevations have a symmetrical composition in keeping with the principal elevation of the heritage building; and, to provide form and detail that relates positively to the heritage building.

Advice

It is recommended that (a) the skillion roof of the garage be set back a distance of approx. 500mm from the front of the house, to increase the visual separation of the two roofs.

Should you require clarification of any matters contained in this notice, please contact Heritage Tasmania's Works Manager, Ian Boersma, on 0429 979 586 or 1300 850 332.

A handwritten signature in blue ink, appearing to read 'A Roberts', with a long horizontal flourish extending to the right.

Andrew Roberts  
**Acting Director – Heritage Tasmania**  
*Under delegation of the Tasmanian Heritage Council*

The Heritage Council consent decision for Development Application PLN-20-0296, issued 30/06/2021, requires that any approval granted in respect to this application be subject to the following conditions:

- 1. The design of the house is to be refined to more positively respond to the heritage building, specifically:**
  - (i) The roof over the garage / laundry area must be a skillion; or a secondary hip confined to the depth of the new garage, with skillion over the garage entry; and,**
  - (ii) The window openings in the south and east elevations must have expressed lintels and sills, and the door openings including porch recess are to have expressed lintels; and**
  - (iii) The windows and doorway in the east elevation must be evenly spaced and arranged symmetrically; and,**
  - (iv) The main roof must have eaves of the same overhang as those of the main roof of the heritage building.**
  
- 2. Revised drawings showing how the requirements of condition 1 are to be achieved must be provided to Heritage Tasmania and be to the Works Manager's satisfaction prior to the commencement of works.**

#### Reason

To ensure that the new building is of a massing, form, character, and detail design that is sympathetic to the heritage building, consistent with the 'appropriate outcomes' described in section 8.1 of the *Works Guidelines*. In particular, to reduce the overall bulk of the roof; to provide a visual differentiation of the main and ancillary parts of the dwelling, similar to the roof forms of the heritage building; to ensure that the principal elevations have a symmetrical composition in keeping with the principal elevation of the heritage building; and, to provide form and detail that relates positively to the heritage building.

#### Advice

It is recommended that (a) the skillion roof of the garage be set back a distance of approx. 500mm from the front of the house, to increase the visual separation of the two roofs.

Figures 2 to 5 on the following page demonstrate how these conditions may be performed.



Figure 1(a). Comparable infill example, Bridge St., Richmond.

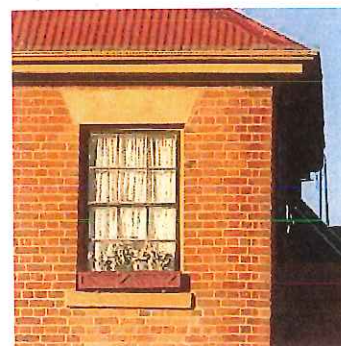


Figure 1(b). Local example of eaves, lintels, and sills.

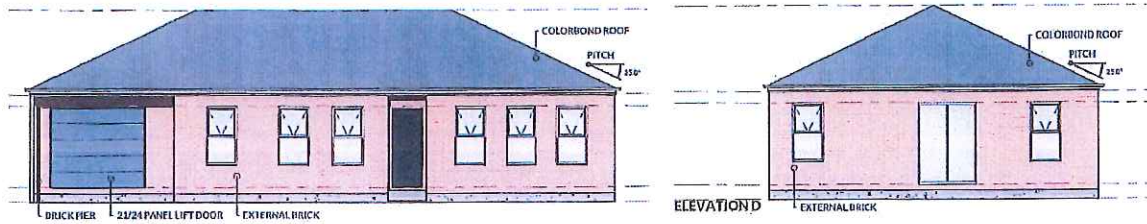


Figure 2. Proposed elevations facing King Street (LHS) and Main Road (RHS), as per application.

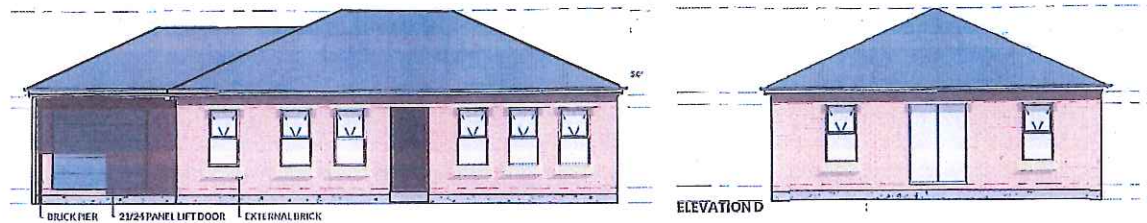


Figure 3. Elevations facing King Street (LHS) and Main Road (RHS) adjusted to reflect conditions.

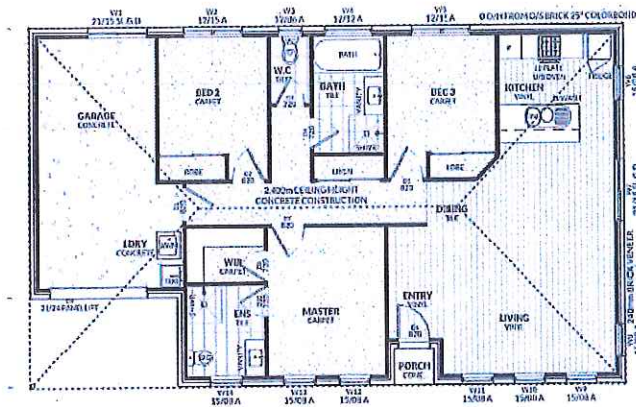


Figure 4. Proposed floor plan with roof shown dotted, as per application.

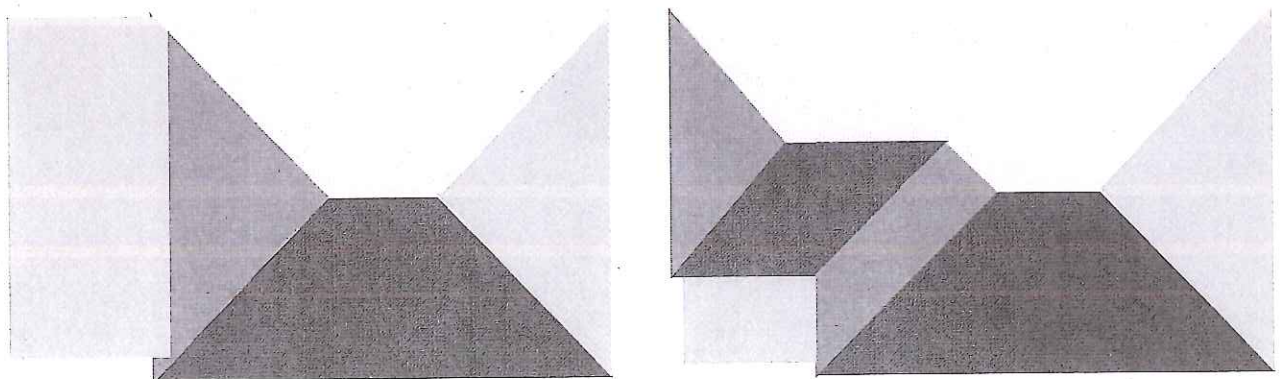


Figure 5. Roof plans amended to reflect Condition 1(i), either as a skillion over the garage/laundry, or a secondary hip.


NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN  
DATE: 10 June 2021  
REF NO: PLN-20-0296; 108900.83  
SITE: 50 Main Road, Perth  
PROPOSAL: Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property)  
APPLICANT: Abode Designer Homes  
REASON FOR REFERRAL: HERITAGE PRECINCT  
HERITAGE-LISTED PLACE  
*Local Historic Heritage Code  
Heritage Precincts Specific Area Plan*

Do you have any objections to the proposal: No


The proposed dwelling is in accordance with the Heritage Standards for Development.

*Email referral as word document to David Denman – [david@denman.studio](mailto:david@denman.studio)  
Attach public exhibition documents  
Subject line: Heritage referral PLN-20-0296 - 50 Main Road, Perth*



David Denman (Heritage Adviser)

Date: 10/06/2021



<b>Assessment against E13.0 (Local Historic Heritage Code)</b>
--

**E13.1 Purpose**

E13.1.1 *The purpose of this provision is to:*

- a) *protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and*
- b) *encourage and facilitate the continued use of these items for beneficial purposes; and*
- c) *discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and*
- d) *ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and*
- e) *conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place*

**E13.2 Application of the Code**

E13.2.1 *This code applies to use or development of land that is:*

- a) *within a Heritage Precinct;*
- b) *a local heritage place;*
- c) *a place of identified archaeological significance.*

**E13.3 Use or Development Exempt from this Code**

E13.3.1 *The following use or development is exempt from this code:*

- a) *works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;*
- b) *electricity, optic fibre and telecommunication cables and gas lines to individual buildings;*
- c) *internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;*
- d) *maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;*
- e) *repainting of an exterior surface that has been previously painted, in a colour similar to that existing;*
- f) *the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and*
- g) *the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.*

Comment:

The subject site is within a Heritage Precinct.

The subject place is heritage listed.

**E13.5 USE STANDARDS****E13.5.1 Alternative Use of heritage buildings**



*Objective: To ensure that the use of heritage buildings provides for their conservation.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable solution.	<p>P1 Notwithstanding Clause 8.9, a permit may be granted for any use of a locally listed heritage place where:</p> <ul style="list-style-type: none"> <li>a) it can be demonstrated that the proposed use will not adversely impact on the significance of a heritage place; and</li> <li>b) the amenity impacts of both the proposed use on the surrounding areas and from the surrounding area on the proposed use are considered acceptable; and</li> <li>c) a report by heritage professional states that it is necessary for conservation purposes or the continued maintenance of the building or where there is an overriding public benefit.</li> </ul>

Comment: N/a

**E13.6 DEVELOPMENT STANDARDS**

**E13.6.1 Demolition**

*Objective: To ensure that the demolition or removal of buildings and structures does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Removal of non-original cladding to expose original cladding.	<p>P1.1 Existing buildings, parts of buildings and structures must be retained except:</p> <ul style="list-style-type: none"> <li>a) where the physical condition of place makes restoration inconsistent with maintaining the cultural significance of a place in the long term; or</li> <li>b) the demolition is necessary to secure the long-term future of a building or structure through renovation, reconstruction or rebuilding; or</li> <li>c) there are overriding environmental, economic considerations in terms of the building or practical considerations for its removal, either wholly or in part; or</li> <li>d) the building is identified as non-contributory within a precinct identified in Table E13.1: Heritage Precincts, if any; and</li> </ul> <p>P1.2 Demolition must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: N/a

**E13.6.2 Subdivision and development density**

*Objective: To ensure that subdivision and development density does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 No acceptable	P1 Subdivision must:

<p>solution.</p>	<p>a) be consistent with and reflect the historic development pattern of the precinct or area; and</p> <p>b) not facilitate buildings or a building pattern unsympathetic to the character or layout of buildings and lots in the area; and</p> <p>c) not result in the separation of building or structures from their original context where this leads to a loss of historic heritage significance; and</p> <p>d) not require the removal of vegetation, significant trees or garden settings where this is assessed as detrimental to conserving the historic heritage significance of a place or heritage precinct; and</p> <p>e) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>
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Comment: N/a

**E13.6.3 Site Cover**

*Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1 Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 The site coverage must:</p> <p>a) be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and</p> <p>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

**E13.6.4 Height and Bulk of Buildings**

*Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and</p> <p>P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and</p> <p>P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

#### **E13.6.5 Fences**

*Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New fences must: <ul style="list-style-type: none"> <li>a) be designed to be complementary to the architectural style of the dominant buildings on the site or</li> <li>b) be consistent with the dominant fencing style in the heritage precinct; and</li> <li>c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</li> </ul>

Comment: N/a

#### **E13.6.6 Roof Form and Materials**

*Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Roof form and materials for new buildings and structures must: <ul style="list-style-type: none"> <li>a) be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and</li> <li>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</li> </ul>

Comment: Satisfies the performance criteria.

#### **E13.6.7 Wall materials**

*Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Wall material for new buildings and structures must: <ul style="list-style-type: none"> <li>a) be complementary to wall materials of the dominant buildings on the site or in the precinct; and</li> <li>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</li> </ul>

Comment: Satisfies the performance criteria.

**E13.6.8 Siting of Buildings and Structures**

*Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 New buildings and structures must be in accordance with the acceptable development criteria for setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 The front setback for new buildings or structure must: a) be consistent with the setback of surrounding buildings; and b) be set at a distance that does not detract from the historic heritage significance of the place; and c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

**E13.6.9 Outbuildings and Structures**

*Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Outbuildings and structures must be: a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 New outbuildings and structures must be designed and located; a) to be subservient to the primary buildings on the site; and b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

**E13.6.10 Access Strips and Parking**

*Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
A1 Car parking areas for non-residential purposes must be: a) located behind the primary buildings on the site; or b) in accordance with the acceptable	P1 Car parking areas for non-residential purposes must not: a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the

<p><i>development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.</i></p>	<p><i>b) setting of a building or its historic heritage significance; and detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i></p>
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Comment: N/a

**E13.6.11 Places of Archaeological Significance**

*Objective: To ensure that places identified in Table E13.3 as having archaeological significance are appropriately managed.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1 <i>No acceptable solution.</i></p>	<p>P1 <i>For works impacting on places listed in Table E13.3:</i>                      a) <i>it must be demonstrated that all identified archaeological remains will be identified, recorded and conserved; and</i>                      b) <i>details of survey, sampling and recording techniques technique be provided; and</i>                      c) <i>that places of identified historic heritage significance will not be destroyed unless there is no prudent and feasible alternative.</i></p>

Comment: N/a

**E13.6.12 Tree and Vegetation Removal**

*Objective: To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1 <i>No acceptable solution.</i></p>	<p>P1 <i>The removal of vegetation must not:</i>                      a) <i>unreasonably impact on the historic cultural significance of the place; and</i>                      b) <i>detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</i></p>

Comment: N/a

**E13.6.13 Signage**

*Objective: To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.*

<b>Acceptable Solutions</b>	<b>Performance Criteria</b>
<p>A1 <i>Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the</i></p>	<p>P1 <i>New signs must be of a size and location to ensure that:</i>                      a) <i>period details, windows, doors and other architectural details are not covered or removed; and</i>                      b) <i>heritage fabric is not removed or destroyed through attaching signage; and</i>                      c) <i>the signage does not detract from the setting of a heritage place or does not unreasonably impact on the view of the place</i></p>

<p>property not greater than 0.2m<sup>2</sup>.</p>	<p>d) from public viewpoints; and signage does not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>
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Comment: N/a

**E13.6.14 Maintenance and Repair**

<p><b>Objective</b> To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the <u>historic cultural heritage significance</u> of local heritage places and precincts.</p>
<p><b>Acceptable Solution</b> New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.</p>

Comment: N/a

**Table E13.1: Local Heritage Precincts**

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

<p><b>Existing Character Statement - Description and Significance</b></p>
<p><b>EVANDALE HERITAGE PRECINCT CHARACTER STATEMENT</b> The Evandale Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, with its rich and significant built fabric and village atmosphere. Its historic charm, tree lined streets and quiet rural setting all contribute to its unique character. Its traditional buildings are an impressive mix of nineteenth and early twentieth century architectural styles while its prominent elements are its significant trees, the Water Tower and the Church spires. The original street pattern is an important setting for the Precinct, with views along traditional streetscapes, creating an historic village atmosphere that is still largely intact. Period residential buildings, significant trees, picket fences, hedgerows and cottage gardens are all complementary, contributing to the ambience of a nineteenth century village. The main roads into and out of Evandale create elevated views to the surrounding countryside which give context to the town and the Precinct, and contribute to its character. The quiet village feel of the town is complemented by a mix of businesses meeting local needs, tourism and historic interpretation. Evandale's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the village.</p> <p><b>ROSS HERITAGE PRECINCT CHARACTER STATEMENT</b> The Ross Heritage Precinct is unique because it is the intact core of a nineteenth century townscape, with its rich and significant built fabric and the village atmosphere. Its historic charm, wide tree lined streets and quiet rural environment all contribute to its unique character. Its traditional buildings comprise simple colonial forms that are predominantly one storey, while the prominent elements are its significant trees and Church spires. Most commercial activities are located in Church Street as the main axis of the village, which directs attention to the War Memorial and the Uniting Church on the hill. The existing and original street pattern creates linear views out to the surrounding countryside. The quiet rural feel of the township is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Ross' heritage ambience has been acknowledged, embraced and built on by many of those who</p>

*live in or visit the village.*

**PERTH HERITAGE PRECINCT CHARACTER STATEMENT**

*The Perth Heritage Precinct is unique because it is still the core of a small nineteenth century riverside town, built around the thoroughfare from the first bridge to cross the South Esk River, and which retains its historic atmosphere. It combines significant colonial buildings, compact early river's edge residential development, and retains the small-scale commercial centre which developed in the nineteenth century at the historic crossroads and river crossing for travel and commerce between Hobart, Launceston and the North West. Perth's unique rural setting is complemented by its mix of businesses still serving local and visitor's needs. Perth's heritage ambience is acknowledged by many of those who live in or visit the town, and will be enhanced by the eventual construction of the Midland Highway bypass.*

**LONGFORD HERITAGE PRECINCT CHARACTER STATEMENT**

*The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland, creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.*

**CAMPBELL TOWN HERITAGE PRECINCT CHARACTER STATEMENT**

*The Campbell Town Heritage Precinct is unique because it is the core of a substantially intact nineteenth century townscape, with its significant built fabric, and its atmosphere of a traditional resting place on the main road between the north and south. Its wide main street, historic buildings and resting places for travellers all contribute to its unique character. High Street has remained as the main commercial focus for the town, continuing to serve the needs of residents, visitors and the agricultural community. The War Memorial to the north marks the approach to the business area which terminates at the historic bridge over the Elizabeth River; a significant landscape feature. Traditional buildings in the Precinct include impressive examples of colonial architecture. The historic Valentine's Park is the original foreground for 'The Grange' and provides a public outdoor resting place for visitors and locals at the heart of the town. Campbell Town's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.*

**Management Objectives**

*To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.*

*To ensure developments within street reservations in the towns and villages having Heritage*

*Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.*

Comment: The proposal is consistent with the Heritage Precinct Character Statement and satisfies the Management Objectives.



<b>Assessment against F2.0 (Heritage Precincts Specific Area Plan)</b>
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**F2.1 Purpose of Specific Area Plan**

F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a **positive contribution to the streetscape** within the Heritage Precincts.

**F2.2 Application of Specific Area Plan**

F2.2.1 This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.

F2.2.2 The following development is exempt from this Specific Area Plan:

- a) works required to comply with an Emergency Order issued under section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunications cables, and water, sewerage, drainage connections and gas lines to individual buildings;
- c) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- d) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- e) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead wood, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- f) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

**F2.3 Definitions****F2.3.1 Streetscape**

For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

**F2.3.2 Heritage-Listed Building**

For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

**F2.4 Requirements for Design Statement**

F2.4.1 In addition to the requirements of clause 8.1.3, a design statement is required in support of the application for any new building, extension, alteration or addition, to ensure that development achieves consistency with the existing streetscape and common built forms that create the character of the streetscape.

F2.4.2 The design statement must identify and describe, as relevant to the application, setbacks, orientation, scale, roof forms, plan form, verandah styles, conservatories, architectural details, entrances and doors, windows, roof covering, roof plumbing, external wall materials, paint colours, outbuildings, fences and gates within the streetscape. The elements described must be shown to be the basis for the design of any new development.

F2.4.3 *The design statement must address the subject site and the two properties on both sides, the property opposite the subject site and the two properties both sides of that.*

Comment: Although the subject site is within the Heritage Precincts Specific Area Plan, the proposal will not have an effect on the streetscape.

**REFERRAL OF DEVELOPMENT APPLICATION PLN-20-0296 TO WORKS & INFRASTRUCTURE DEPARTMENT**

**Property/Subdivision No:** 108900.83

**Date:** 10 June 2021

**Applicant:** Abode Designer Homes

**Proposal:** Multiple dwellings (1 existing, 1 proposed) (vary King Street setback, heritage listed property)

**Location:** 50 Main Road, Perth

W&I referral PLN-20-0296, 50 Main Road, Perth

All other conditions are covered under the subdivision permit.

**STANDARD CONDITIONS FOR MULTIPLE DWELLINGS**

W.1 Stormwater

- a) Each dwelling must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works & Infrastructure Department.
- b) Concentrated stormwater must not be discharged into neighbouring properties
- c) Landscaping and hardstand areas must not interfere with natural stormwater run-off from neighbouring properties.
- d) All driveways and hardstand areas must be designed to allow stormwater run-off to be adequately drained to the Council stormwater system.
- e) Prior to the issue of a building permit, or the commencement of development authorised by this permit, the applicant must design and provide plans for underground stormwater drainage to collect stormwater from the driveways and roofed area of buildings. The system must connect through properly-jointed pipes to the stormwater main, inter-allotment drainage or other lawful point of discharge to the satisfaction of the Plumbing Inspector.
- f) A plumbing permit is required prior to commencing any plumbing or civil works within the property.

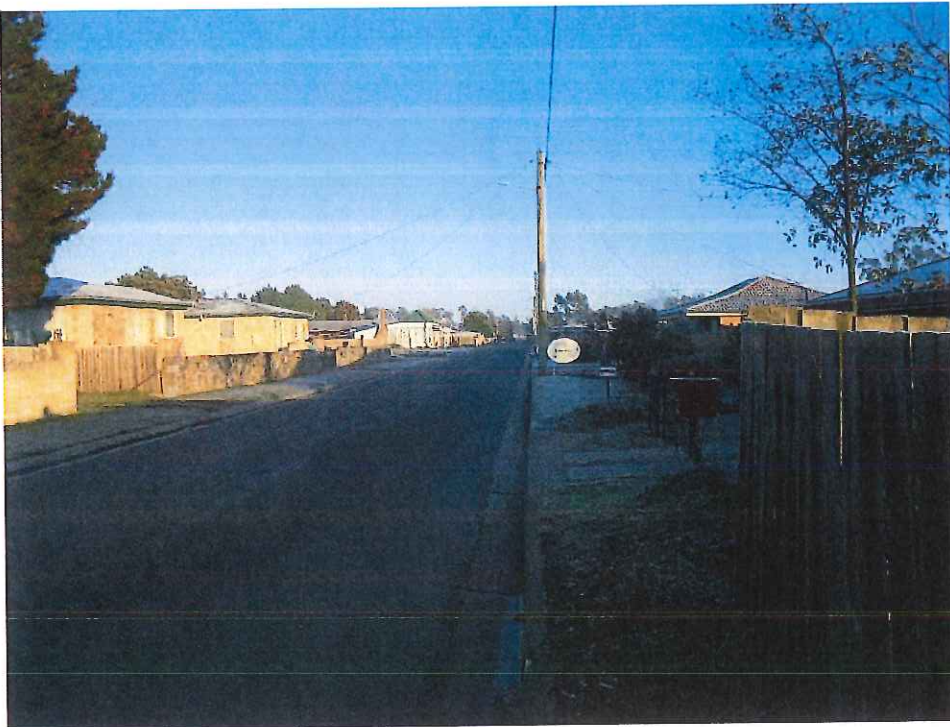
*Jonathan Galbraith (Engineering Officer)*

*Date: 21/6/21*





^ Front of subject site – crossover to be at left end of paling fence



^ Site distance available looking westward



^ Site distance available looking eastward

**Planning Scheme Consideration:**

The relevant clauses are as follows:

**E4.7.2 Management of Road Accesses and Junctions**

<p><b>Objective</b></p> <p>To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.</p>	
<p><b>Acceptable Solutions</b></p>	<p><b>Performance Criteria</b></p>
<p>A1 For roads with a speed limit of 60km/h or less the development must include only one access providing both entry and exit, or two accesses providing separate entry and exit.</p>	<p>P1 For roads with a speed limit of 60km/h or less, the number, location, layout and design of accesses and junctions must maintain an acceptable level of safety for all road users, including pedestrians and cyclists.</p>
<p>Comment: Complies.</p>	<p>Comment: N/a</p>

**E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings**

<p><b>Objective</b></p> <p>To ensure that use and development involving or adjacent to accesses, junctions and level crossings allows sufficient sight distance between vehicles and between vehicles and trains to enable safe movement of traffic.</p>	
<p><b>Acceptable Solutions</b></p>	<p><b>Performance Criteria</b></p>

<p>A1 Sight distances at</p> <p>a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E4.7.4; and</p> <p>b) rail level crossings must comply with <i>AS1742.7 Manual of uniform traffic control devices - Railway crossings</i>, Standards Association of Australia; or</p> <p>c) If the access is a temporary access, the written consent of the relevant authority has been obtained.</p>	<p>P1 The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles.</p>
<p>Comment: The site distance of 80m is achieved westwards. Around 30m is achieved eastwards.</p>	<p>Comment: The design, layout and location of the access provides adequate sight distances to ensure the safe movement of vehicles.</p>

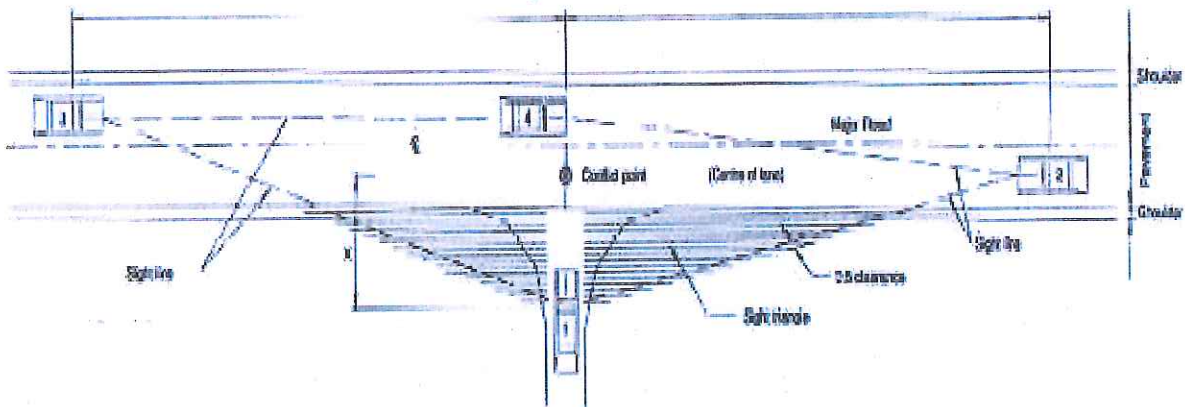


Figure E4.7.4 Sight Lines for Accesses and Junctions

X is the distance of the driver from the conflict point.

For category 1, 2 and 3 roads X = 7m minimum and for other roads X = 5m minimum.

Table E4.7.4 Safe Intersection Sight Distance (SISD)

Vehicle Speed km/h	Safe Intersection Sight Distance (SISD) metres, for speed limit of:	
	60 km/h or less	Greater than 60 km/h
50	80	90
60	105	115
70	130	140



80	165	175
90		210
100		250
110		290

**Notes:**

- (a) Vehicle speed is the actual or recorded speed of traffic passing along the road and is the speed at or below which 85% of passing vehicles travel.
- (b) For safe intersection sight distance (SISD):
  - (i) All sight lines (driver to object vehicle) are to be between points 1.2 metres above the road and access surface at the respective vehicle positions with a clearance to any sight obstruction of 0.5 metres to the side and below, and 2.0 metres above all sight lines;
  - (ii) These sight line requirements are to be maintained over the full sight triangle for vehicles at any point between positions 1, 2 and 3 in Figure E4.7.4 and the access junction;
  - (iii) A driver at position 1 must have sight lines to see cars at any point between the access and positions 3 and 2 in Figure E4.7.4;
  - (iv) A driver at any point between position 3 and the access must have sight lines to see a car at position 4; and
  - (v) A driver at position 4 must have sight lines to see a car at any point between position 2 and the access.

Confirmation of Traffic Impact Assessment adequacy from road authority (Northern Midlands Council) in accordance with clause E4.5.3:



.....  
Northern Midlands Council Representative



## Amended Submission to Planning Authority Notice

<b>Council Planning Permit No.</b>	PLN-20-0296	<b>Council notice date</b>	05/01/2021
<b>TasWater details</b>			
<b>TasWater Reference No.</b>	TWDA 2021/00021-NMC	<b>Date of response</b>	02/06/2021
		<b>Amended date</b>	16/06/2021
<b>TasWater Contact</b>	Jake Walley	<b>Phone No.</b>	0467 625 805
<b>Response issued to</b>			
<b>Council name</b>	NORTHERN MIDLANDS COUNCIL		
<b>Contact details</b>	Planning@nmc.tas.gov.au		
<b>Development details</b>			
<b>Address</b>	50 MAIN ROAD , PERTH	<b>Property ID (PID)</b>	6745230
<b>Description of development</b>	Multiple Dwellings x2		
<b>Schedule of drawings/documents</b>			
	<b>Prepared by</b>	<b>Drawing/document No.</b>	<b>Revision No.</b>
		<b>Date of Issue</b>	
AREI	Site Plan	B	13/04/2021
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connection and sewerage system and connection to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>4. The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 and a Consent to Register a Legal Document fee of \$149.20 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.</li> </ol> <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p>			



## Advice

### General

For information on TasWater development standards, please visit <http://www.taswater.com.au/Development/Development-Standards>

For application forms please visit <http://www.taswater.com.au/Development/Forms>

### Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit [www.taswater.com.au/Development/Service-location](http://www.taswater.com.au/Development/Service-location) for a list of companies
- (c) TasWater will locate residential water stop taps free of charge
- (d) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

## Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

### Authorised by

**Jason Taylor**  
Development Assessment Manager

## TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

General note  
 Lot 1 existing dwelling can continue to use the existing connection.

TAS WATER REF: TWD 2021/00021-NMC

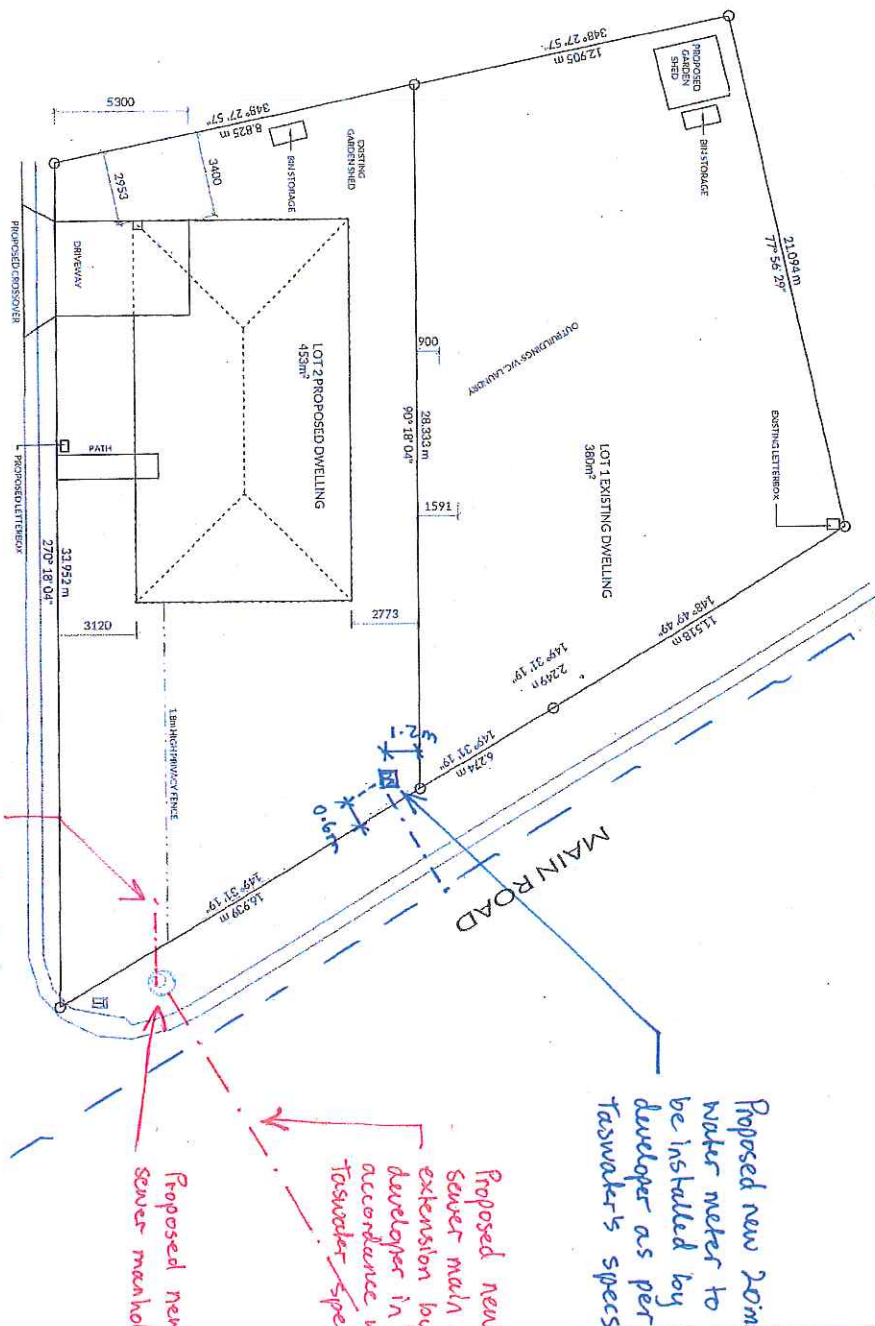
Existing water main

Proposed new 200mm water meter to be installed by developer as per Taswater's specs

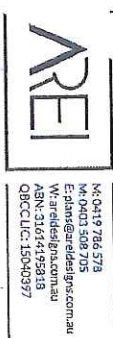
Proposed new sewer main extension by developer in accordance with Taswater's specs

Proposed new sewer manhole

New sewer line from proposed lot 2 dwelling to connect to the proposed sewer as per Taswater's requirements



- LEGEND**
- UNDERGROUND GAS MARKER
  - HYDRANT
  - STORM WATER PIT
  - WATER CONNECTION
  - ELECTRICAL TURRET
  - TELSTRA PIT
  - MAN HOLE
  - 100mm DOWN PIPE
  - POWER POLE
  - STREET LIGHT
  - SEWER LINE
  - CONTOUR LINE
  - EXISTING RETAINING
  - NEW RETAINING
  - ROOF LINE
  - STORM WATER LINE
  - FENCE
  - ELECTRICAL
  - TELSTRA COMMUNICATIONS
  - WATER LINE



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CLIENT: ABODE DH  
 DRAWING NAME: SITE PLAN

PROJECT: PROPOSED RESIDENCE FOR M & J KEMPNICH AT 50A MAIN ROAD PERTH

PLAN NUMBER: 2829-20  
 DATE: 13/01/21  
 SCALE: @ A3  
 1200

PAGE NO: 02 OF 05  
 DRAWN: KPE  
 CHECKED: BEN DYE

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25<sup>th</sup> June 2021

**Reference PLN -20 -0296**  
**50 Main Rd Perth**

Dear Sir,

I have an interest in the conservation of our built history especially the more humble structures.

Perth is fortunate in having a number of structures representing the significance and history of the Village from the 1820's to 1900 of which 50 Main Rd is one.

The construction of the Midlands Highway bypass has changed Perth and it is probably too early for the Perth community to realise that it has the potential to find a new 'character' for the town based on its past that may enhance the commerce as well as adding significantly to its new role as a dormitory to Launceston.

The proposed subdivision of 50 Main Rd as cited in the Planning Application 20 – 0296 will detract from the character of the small Victorian wooden cottage such that its significance in the streetscape may be lost.

The proposed new fence which comes within 1.591 meters of the dwelling and less than a meter from the laundry/WC block will obstruct and spoil the view of the house from the road and footpath whilst the adjoining new home is not designed to complement the existing building but will clash aesthetically with the old.

Further the cottage has been designed, built and modified over time so that the south facing door is the principal entrance and route to the laundry - toilet block to the west of the dwelling. This is one of the key features of No 50 and to leave insufficient room for this function is a serious detraction from the building. Please note that there is no door to the north but a small door in the west wall facing the outhouse.

Should this be so the and the proposed subdivision and new build go ahead council may have failed its obligations under both the Heritage and Planning legislation and regulations.

I am not opposed to the subdivision of 50 Main Rd but rather the manner in which it is to be executed. The proposed subdivision fails to give the cottage sufficient space to the south such that the south facing door and small paned window group will be unable to serve their purpose and current use. The door will serve little purpose and the windows will be deprived of light being shaded by the close fence and new dwelling.

I understand that council has a difficult task in balancing the development of Perth against the conservation of its past especially without a means for compensation for those parties that may lose in Council rulings.

However, should Council have a well developed plan for the conservation of its built history in addition to the Heritage overlays and listings conflicts such as this would be minimised.

In finishing I pose the question 'do you know of another building of similar design and structural soundness as 50 Main Rd Perth and should you know of such a structure, is it as accessible to public view'.

If your answer is no, more care is required to preserve this unique building.

Yours sincerely

Malcolm Cleland