


2023-05-15 ORDINARY MEETING OF COUNCIL - OPEN COUNCIL ATTACHMENTS

6.1 COUNCIL COMMITTEES - CONFIRMATION OF MINUTES.....	4
6.1.1 YAG Minutes 27-4.....	4
6.1.2 2023-05-02 RLDC Minutes.....	5
6.1.3 LLDC Minutes 2023-05-03.....	12
7.2.2 REVIEW OF LOCAL DISTRICT COMMITTEES AND FORUMS: EXTENSION OF THE CURRENT TERM.....	18
7.2.2.1 NMC Minute 23-0108 26 Th April 2023.....	18
7.2.2.2 TAS Loc Gov Act 1993 Sec 24.....	20
11.1 PLN22-0234: WOOLSTORE, PACKAGING AND DISTRIBUTION, APPROVED LOT 2, FOLIO OF THE REGISTER 182274/2.....	21
11.1.1 Planning Application Form Proposal Page.....	21
11.1.2 6 Ty Proposal Plans 23 February 2023.....	22
11.1.3 6 Ty Stormwater Assessment 22 February 2023.....	34
11.1.4 22274- A Ap-01.....	48
11.1.5 Folio Plan.....	49
11.1.6 NMC Additional Information Request 9 November 2022.....	50
11.1.7 P D 23 26596 LOT 2 EVANDALE R D, WESTERN JUNCTION Tas Water SPAN Request For Additional Informatio.....	51
11.1.8 PL N 22-0234 - Tas Water Additional Information Request.....	53
11.1.9 Representation - R Henley & M Mc William.....	54
11.1.10 Response To Representor.....	57
11.1.11 Heritage Adviser's Referral.....	60

11.1.12 Heritage Advisers Comments.....	63
11.1.13 LST Response Letter - PL N-22-0234 - Development For Wool Storage - Lot 2 Evandale Road.....	66
11.2 PLN22-0250: 2 LOT SUBDIVISION, 1 COLLINS STREET, PERTH.....	67
11.2.1 PL N-22-0250 Public Exhibition Documents.....	67
11.2.2 Additional Information Request - 221115.....	121
11.2.3 1 Collins Street, Perth Waste Water Report.....	122
11.2.4 3722-01 DA R 1.....	138
11.3 PLN23-0011: 2 LOT SUBDIVISION, 29 MAIN ROAD, PERTH.....	139
11.3.1 PL N-23-0011 Public Exhibition Documents.....	139
11.3.2 29 MAIN R D, PERTH Tas Water SPAN Request For Additional Information DA 2023 00118- NMC.....	155
11.3.3 P D 23 41344 29 MAIN R D, PERTH Tas Water SPAN Request For Additional Information DA 2023 00118- N.....	157
11.3.4 L 221109 - Planning Report - Subdivision - 29 Main Road Perth.....	159
11.3.5 Tas Rail Response PL N 23-0011.....	171
11.3.6 L 221109 Prop Plan V 3 240423.....	173
11.3.7 L 221109 Fill Plan 40423.....	174
11.3.8 P D 23 45347 29 MAIN R D, PERTH Tas Water Submission To Planning Authority Notice - Conditions DA.....	175
13.1 REVIEW OF LOCAL DISTRICT COMMITTEE MEMORANDUM OF UNDERSTANDING.....	177
13.1.1 MOU REVIEW 2023 - DRAFT.....	177

13.2 MUNICIPAL PLAYGROUND SHADE AUDIT.....	181
13.2.1 SHADE Draft Policy (002).....	181
13.3 CITY OF GASTRONOMY.....	184
13.3.1 Report On Progress And Request For Continued Funding.....	184
13.3.2 Supplement#2.....	200
13.3.3 2022-06-27 Council Minute - UNESCO City Of Gastronomy - Funding.....	207
15.1 MONTHLY REPORT: FINANCIAL STATEMENT.....	212
15.1.1 Monthly Financial Report - April 2023.....	212
15.1.2 Monthly Works Infrastructure Capital Report 2022-2023 (April).....	213

 <p>NORTHERN MIDLANDS COUNCIL</p>	Minutes	Northern Midlands Youth Advisory Group
1	Present & Apologies	
	<p>Present: Natalie Dell, Tiffany Mole, Amelia, Kayla, Lola, Erich, Cr Adams</p> <p>Apologies:</p>	
2	Discussions	
2.1		
3	Business from previous minutes	
3.1		
4	New Business	
4.1	<p>Youth Art Competition</p> <p>Why: showcasing what young people can do and provide creativity opportunities.</p> <p>Seek community art judge & youth judge.</p> <p>Open to young people: Grade 5-10, 16-25 y/o</p> <p>YAG members will design posters, advertise competition, seek prizes and develop project through a workshop</p>	
4.2	<p>Youth Advisory Group to be called LYFT: Local Youth, Future Thinkers.</p> <ul style="list-style-type: none"> - inviting, fun and inspiring name - members to design logo - look into hoodies promoting group inclusion, spreading the word 'feeling part of something' 	
4.3	<p>Cr Adams: Junior Red Cross- suggested for members to look into the group and if of interest become involved.</p>	
4.4	<p>Other</p> <p>Workshop will be held to work on Art Competition.</p> <p>Next meeting: Thursday 1st of June at 3.30pm – 4.30pm (time adjustment to best suit young people).</p>	

MINUTES

THE ROSS LOCAL DISTRICT COMMITTEE MEETING HELD AT THE READING ROOM, ROSS, ON TUESDAY 2nd May 2023, COMMENCING AT 11.15am.

1 PRESENT

Arthur Thorpe (Chairperson), Helen Davies, Michael Smith, Sally Langridge, Jill Bennett, Ann Thorpe (Hon Secretary).

2 IN ATTENDANCE

Councillor Alison Andrews AM, Councillor Richard Archer, Councillor Andrew McCullagh (11.20am), Julie Smith, Scott Bennett.

3 APOLOGIES

Mayor Mary Knowles OAM, Christine Robinson, Marcus Rodrigues.

4 DECLARATION OF ANY PECUNIARY INTEREST BY A MEMBER OF A SPECIAL COMMITTEE OF COUNCIL

In accordance with the provisions of the *Local Government Act 1993*, Part 5, S48A – S56, a member of a Special Committee must not participate in any discussion or vote on any matter in respect to which the member:

- a) has an interest; or
- b) is aware or ought to be aware that a close associate has an interest.

A member has an interest in a matter if the matter was decided in a particular manner, receive or have an expectation of receiving or likely to receive a pecuniary benefit or pecuniary detriment.

It should be noted that any person declaring an interest is required to notify the General Manager, in writing, of the details of any interest declared within 7 days of the declaration.

Nil Declared

5 CONFIRMATION OF MINUTES

*That the minutes of the meeting of the Ross Local District Committee held on **Tuesday 4th April, 2023** be confirmed as a true and correct record of proceedings.*

Michael Smith / Helen Davies

6 BUSINESS ARISING FROM THE MINUTES

6.1 Weather Damage to Ross Reading Room

The cornerstones and the bottom course of sandstone bricks at the entrance of the reading room are weathering away and in need of attention.

It was noted that a new drain has been dug between the footpath and the stone, however the services of a specialist stonemason is required to remediate the wear and tear.

Although this matter has yet to be completed, it was decided to remove the item from the agenda.

6.2 Damaged Wall South End Of Church Street & Damaged Sandstone Kerbing.

Wall at the top (south end) of Church Street has top stones missing and looks very disordered. Customer request 61699 has been raised requesting rectification. The wall has now been repaired and the item will be removed from the agenda.

A very small section of kerbing in the centre car parking area opposite the Town Hall has been damaged by a truck, and needs to be repaired. This has been partially repaired, however council is awaiting the further supply of suitable sandstone blocks.

Although the kerbing is yet to be completely repaired it was decided to also remove this item from the agenda.

6.3 Closure Of High Street Pedestrian Rail Crossing

Ross residents are hoping to keep this crossing open. Chair has been advised that NMC will be conducting a cost and feasibility study, for a legally compliant pedestrian rail crossing linking the two sides of High Street. Once the report has been prepared it will be submitted to Council for consideration.

Works Manager has progressed this matter and NMC recently met with State Rail who have advised what is required to form a legally compliant pedestrian crossing. These requirements will be incorporated into the cost and feasibility study being prepared by NMC.

NMC is awaiting outcome of further discussions with TasRail. This item was placed on the RLDC budget priority list, and has been raised with NMC Councillors during their village tour of the 19th April.

No further information at this point in time.

Matter ongoing.

6.4 Ross Village Green – Entry Of Dogs On Leash

Council has been asked to consider revisiting the Village Green signage to include advising the public that there is an off-lead dog exercise area available at the Ross Recreation Ground, and also to indicate that there is a uni-sex disabled toilet and barbecues available within the Green.

The Doggy bag dispenser has been removed from the front fence and repositioned inside the Village Green. Council's Works Manager has expressed the view that Council do not wish to proliferate signage at the Ross Village Green and the request for a sign indicating a public toilet

was declined. As there is only one toilet in the Village Green primarily intended for the use of visitors to the Village Green, there was concern it would be over used by bus operators, instead of the Public Toilets near the Town Hall.

The request for BBQ and Off Leash Dog Park signs will be revisited sometime in the future, with perhaps Q code signs being utilised to some degree?

Matter ongoing.

6.5 Painting Of Town Hall Entrance Foyer

Painting of Town Hall foyer and rear toilets has now been completed.

NMC (M Bricknell) advised the old Council Chambers used by the Church Group has been measured and they are awaiting laying upon choice of carpet, etc.

New carpet has been laid and a thank you has been forwarded by the Church Group to NMC and the RLDC for their assistance with this issue. It has made the room much more comfortable for attendees.

Remove from agenda.

6.6 Maintenance Of Ross Footpaths

Several gravel footpaths around Ross need remediation; photos have been sent to Council, and Customer Request 78015 has been raised.

Council has replied –

“Unfortunately, due to the recent weather events this has disrupted multiple works throughout the municipality. Our priority atm is for roads to be repaired, but we do acknowledge your request and will have them addressed as soon as practicable.”

Attendees discussed and agreed that the path from the Town Hall to the female factory is the most important one and should be repaired as a matter of priority.

No action carried out as yet, and concern was raised about the winter weather exacerbating the issue. Discussed with attending Councillors and they will raise this on the committee’s behalf with NMC.

Matter ongoing.

6.7 Budget Request List

The RLDC has submitted the 2023/2024 Capital Budget request list to Council.

Councillor Bus Tour was held on 19th April, and Councillors were given further information by attending RLDC committee members (CR/HD/AT), as required.

Now awaiting decision from Council as to which items will be funded in the 2023/2024 financial year. Chairperson mentioned that it’s understood that all items requested are not

always approved due to limitation of funding.

Michael Smith requested if Ross Community Sports Club can be copied in on all correspondence to do with the sports ground between NMC and outside parties. rcsc7209@gmail.com

Water trough in the off leash dog area still not completed, although the item has been purchased. Chair to follow up.

6.8 Pedestrian Railway Crossing Chicane Portugal Street

Pedestrian Railway crossing at Portugal St, appears to have one complete chicane barrier removed and not replaced when recent maintenance work was completed on the eastern (cemetery) side of the rail line. It was also mentioned that the yellow vinyl tiles on the western side of the rail crossing are lifting badly and are a safety risk to the public.

Council has been advised of the above situation, and has been asked to contact TasRail and request that the chicane be replaced and the dangerous tiles be removed or replaced.

Matter raised again with NMC who advised that TasRail have not replied to Councils request to reinstate the chicane. Works Manager is currently following up this item.

Matter ongoing.

6.9 Council Review Of MOU

The RLDC provided feedback to Council in regards to the above. It was suggested that Council include in the new MOU under section 2, the statement made by the Mayor in the Northern Midlands Courier namely: -

“Local District Committees and Forums do not deal with complaints. Complaints should be directed to Council.”

Chair expressed the view that inclusion of this statement would provide LDC’s and Forums with a clearer and more simplified mechanism for dealing with questions raised at meetings which do not fall within the purview of LDC’s and Forums. RLDC also raised an issue with the minimum number of attendees at meetings and the wording of “strategy” and what this actually meant.

Awaiting further communication from Council in regards to the matters raised above.

Matter ongoing.

7 NEW BUSINESS

7.1 Notice Of Motion: Review Of Local District Committee Structure

Councillor Paul Terrett has lodged the following motion to be considered at Council’s 26th April 2023 meeting.

The motion reads:-

“That a report be prepared for Council reviewing the structure of the District Committees to provide greater community participation. This report should include, but not limited to, their role and function, membership, meeting times, funding and communication with the local community.”

Discussion was held regarding the implications of this motion, particularly regarding the fact that membership of all District Committees finishes at the 30 June 2023, and that applications for appointment to the new committees are usually required back to Council by mid-June. The general consensus was that the review is a good thing, it was just the timing.

Chair stated that he entirely supported a review of how the Local District Committees (LDCs) are structured, and how they operate, and would be happy to participate in the review in any manner that Council sees fit. However, he had concerns about the timetable that would be associated with such a review.

Chair mentioned that the term of the current LDCs expires on June 30th 2023, and applications for appointment to the LDCs are usually sent out to current incumbents in the middle of May which is in two weeks' time, thus providing a very short time period for any meaningful review to be conducted before applications are invited. Also of concern was that current incumbents and prospective new applicants for LDC committee membership, will be invited to apply for membership before the review will be completed. This may result further down the track once the review is completed, that Volunteers who applied according to their current understanding of the role, may find they are unable to meet any new criteria/restrictions when they come into effect and therefore may resign, leaving committees with a deficit of members and unable to meet quorum numbers.

Chair suggested that Council give consideration to extending the terms of appointment of all current LDC and Forum members until the review is complete, any changes have been agreed to and put into place, and the Memorandum Of Understanding (MOU) under which LDCs and Forums operate is updated, to incorporate any changes to their role and function, membership, meeting times, funding and communication with the local community.

Chair pointed out that there was already a precedent set for extending the terms of appointment of current LDCs and Forums, as evidenced by Council extending the appointment terms of all LDCs and Forums in 2020, during the COVID-19 pandemic.

It was also pointed out that by completing the review first, then amending the MOU to reflect any changes, there would be a greater possibility of attracting more candidates with a wider variety of backgrounds.

7.2 Round Table Discussion

Jill Bennett

- Chemical drum cage at the Campbell Town Tip is always full, and people are asked to just “drop the drums beside”. Is there a timetable for the cage to be emptied? This is a safety issue, even though drums have to be washed before dropping off at the tip. Councillors offered to take this issue back to NMC.

Arthur Thorpe

- Candy Hurren has submitted her resignation from the RLDC. The Chair and committee members wish to place on record, our thanks to Candy for all the work she has done both on the committee and is continuing to do in the community through other endeavours. Chair will purchase a card and record the Committees thanks.
- Raised the issue of the edging stones on the seating adjacent to the Band Rotunda in the Village Green falling off. Has taken photos and has forwarded them to Council's Works Manager for action.

Cr Archer

- Raised the issue of amalgamation of councils and review "Reform of Councils". NMC are looking for comments from people and committees on how this should be progressed.
- Attended the Dawn Service at Ross and the breakfast at the Man-O-Ross Hotel and they are to be commended for organising the meal.

Cr McCullagh

- Thanked committee for the invitation to attend.
- Mentioned that in regard to signage, Q codes are more discreet and amenable, cost effective and information contained in them can be updated easily. Also user friendly. Something for the committee to consider in the future.

Helen Davies

- Has contacted the Uniting Church regarding the fence/gate issue mentioned previously. No reply received as yet. Unlikely to carry out any work given it is for sale. Discussion held regarding the sale of the church and its implication on the community.
- Stone Fence near the caravan park needs repair – Helen to send photos to Chair who will follow up.
- Discussed with Works Manager, signs near the Heritage Walk, however it was decided no further action as they will go underwater in a flood.
- Paint coming off the walls in the Town Hall where covid signs have been removed in the Town Hall – just needs a "dab". Chair/Helen will discuss with Works Manager.

Michael Smith

- Has been opening the Community Library on a Saturday, however the signage on the Church Street Entry Doors to the Reading Room are very tatty. Can we please replace with neater ones? Chair to look at and action.
- Where roads have been resealed in the village, could resident's driveways be given a slight edging to stop the actual road service wearing away too quickly with ingress and egress of vehicles. Chair requested Michael to send photos and he will raise with Council.

Julie Smith

- The lights in The Village Green appear to be on very late. Can they be turned off earlier? This has been raised previously with the Works Manager and the length of time that they are in operation is to deter vandals.

Scott Bennett

- Street light at the top of south Church Street. Is it possible to have a shade put on the light? This area is utilised extensively by photographers and sightseers looking out over the floodplain towards Hobart and the Aurora Australis. The unshaded light creates light pollution for photographers. This area is at the end of the street and is an underutilised area. Has contacted TasNetworks who referred him to NMC. Chair asked Scott to forward email from TasNetworks to him, and he will follow up.

8 NEXT MEETING/CLOSURE

The Chair closed the meeting at 12.05 am.

Next meeting – Tuesday 6th June 2023 commencing 11.15am in the Ross Reading Room.

MINUTES OF THE MEETING OF THE LLDC TO BE HELD AT THE LONGFORD RSL MEMORIAL CLUB ON WEDNESDAY 03 MAY 2023. COMMENCING AT 5.30PM

MINUTES

- 1. PRESENT** -Tim Flanagan (chair), - Annette Aldersea, Bronwyn Baker, Doug Bester, Jo Clark, Peter Munro and Neil Tubb.
- 2. IN ATTENDANCE** – Dick Adams and Mathew Brooks
- 3. APOLOGIES**- Simon Bower, Dennis Pettyfor

4. DECLARATION OF ANY PECUNIARY INTEREST BY A MEMBER OF A SPECIAL COMMITTEE OF COUNCIL

In accordance with the provisions of the *Local Government Act 1993*, a member of a Special Committee must not participate in any discussion or vote on any matter in respect to which the member:

- a) has an interest; or
- b) is aware or ought to be aware that a close associate has an interest.

A member has an interest in a matter if the matter was decided in a particular manner, receive, or have an expectation of receiving or likely to receive a pecuniary benefit or pecuniary detriment.

No declaration of any financial interest was declared by any person present

5 CONFIRMATION OF MINUTES

The minutes of the meeting of the Longford Local District Committee held on April 5, 2023 to be confirmed as a true and correct record of proceedings.

Moved Neil Tubb and seconded Annette Aldersea

6. ARISING FROM MINUTES

PROMOTIONAL ISSUES:

6.1. Signage for Longford Roundabout (cf minutes of all meetings since November 02, 2022)

Email 26-04-2023 from NMC general manager Des Jennings with options was discussed. Two members did not like the graphic, one did not like the use of the word 'plipatmila'.

COMMITTEE RECOMMENDATION

Moved Annette Aldersea, seconded Jo Clarke

'The LLDC thank the NMC for providing us with the options for a 'Longford' sign at the roundabout on the northern edge of our town, and unanimously endorsed option 1. We presume it will be two sided and be lit up after dark.'

6.2. Traffic in main street (cf minutes 6.2) P. Munro said he has decided not to make his own sound measurements, and this would be removed from the agenda.

All present noted that they had seen traffic counters laid out on Wellington Street.

6.3 Motor racing themed Street Sign in Longford
cf minutes from Feb 01,2023 item 7.2 was accepted by NMC at their February meeting,
officers to investigate.

6.4 Longford Tourism – Street Map

COMMITTEE RECOMMENDATION

Moved Annette Aldersa, seconded Peter Munro

The LLDC request the NMC consider new signage and beautification of the visitor information shelter on the corner of Archer and Wellington Streets'

6.5 Directory of Clubs and other organizations and their branches in Longford-

Any ideas need to be forwarded to L. Wyatt

Members thought it would be wise if the LLDC was represented at the expo of local community groups to be held in the Sports Centre in September 2023

AESTHETIC ISSUES:

6.6 Pullover area on Pateena Road.

No further action

SAFETY & AESTHETIC ISSUES:

6.7 Illawarra Road Response State Growth- again nothing further

No further action

6.8 Wellington & Marlborough Streets Intersection (Sticky Beaks) –

As above, noted that traffic counters are on Wellington St

6.9 Environmental & noxious weeds

Awaiting further developments from Lorraine Wyatt, NMC.

TOWN IMPROVEMENT ISSUES

6.10 Bendigo Bank Community Branch for Longford -

Annette Aldersa and Neil Tubb reported that the Bendigo Bank is closing all its agencies on Tasmania, so obviously would not be opening a new one in Longford.

Delete from next agenda

RECREATIONAL ISSUE:

6.11 Access to levee banks (T. Flanagan) – Initially High Street to Malcombe Street

cf minutes from Feb 01,2023 6.11 Motion for NMC to consider: That the NMC consider creating a walking track along the levee from High Street to Malcombe Street'.

Councilor Brooks reported that officers were concerned about having to increase the height of the levee banks due to climate change.

HERITAGE ISSUE:

6.12 Norfolk Plains Heritage Collection, currently held at Clarendon.

Motions accepted by NMC::

(1) With consideration of the positive discussions 21.03.2023 between representatives of the National Trust (Tas), NMC Councillors and Council Officers, members of LLDC and other concerned citizens; the LLDC request that the NMC provide a letter to National Trust (Tas) confirming that NMC supports the LLDC in facilitating the return of the Norfolk Plains Collection from Clarendon to Longford.

(2) The LLDC request the NMC allow the use of the top floor of the library, at least as a temporary measure, to store and catalogue the Norfolk Plains collection.

(3) The LLDC requests the NMC allow the establishment of a sub-committee of the LLDC to organise the relocation of the Norfolk Plains Collection back to its original home of Longford and continue to manage the collection long term. Cr Andrews to be the Council representative on the sub-committee.

(4) This subcommittee meets within 5 weeks of this meeting.

3.5.2023 - These four motions were accepted by the NMC at its meeting on April 26, 2023.

Pursuant to the NMC at their meeting on April 26, 2023 accepting our 4 motions from our previous meeting it was moved that

COMMITTEE RECOMMENDATION

Moved Jo Clarke, seconded Doug Bester.

' The LLDC wishes to thank the NMC for accepting our proposals re the Longford collection, and thank Councilor Alison Andrews for agreeing to be the NMC representative on the resultant sub- committee.

LLDC members Alison Aldersea, Bronwyn Baker, Tim Flanagan and Neil Tubb agreed to be on this committee.

We suggest we meet within the next month, this meeting be advertised so interested members of the community can be made aware, and welcomed to also join this group.'

6.13: : LLDC motions again not going to Council

See comment in minutes.

Delete from agenda

6.14: Plaque on Queen Victoria Diamond Jubilee memorial (horse trough) still not *in situ*.

The current plaque is 11 x 8", and has on it the following 36 words and numbers:

Australia
1788-1988
Queen Victoria Diamond Jubilee Memorial
Erected 1897
National Trust Classified
Sandstone base and improvements to
Surrounding precinct installed in 1988

by the Longford Bicentennial Community
Committee funded by
Federal - State - Local Governments

On August 05, 2021 the LLDC proposed that a plaque with the words as below be attached to it. The NMC agreed at the time.
Queen Victoria Diamond Jubilee Memorial
National Trust Classified
Queen Victoria reigned from 1837 to 1901
To celebrate her golden jubilee a lamp was installed here
Ten years later in 1897 to celebrate her diamond jubilee
this horse trough, paid for by public subscription
was constructed and placed here

The chair T Flanagan will ask the works' manager about this.

6.15: the LLDC Budget allocation request to NMC
Chair will ask Marie Bricknall to be allowed to present a PowerPoint presentation to an NMC workshop, as discussed with her by AA and NT

6.16: Review of MOU between NMC & LLDC:

Pursuant to an email from N Tubb dated May 02, 2023 he forwarded to the LLDC chair, from Ross LDC, our chair sent to all LLDC members' This included a motion from the Ross LDC which was 'Council give consideration to extending the terms of appointment of all current LDC and Forum members until the review is complete, any changes have been agreed to and put into place, and the Memorandum Of Understanding (MOU) under which LDCs and Forums operate is updated, to incorporate any changes to their role and function, membership, meeting times, funding and communication with the local community.'

COMMITTEE RECOMMENDATION

Moved Doug Bester, seconded Jo Clarke.

'The LLDC request the NMC consider extending the terms of appointment of all current LLDC and members until the review is complete, any changes have been agreed to and put into place, and the Memorandum of Understanding(s) (MOU) under which all the LDCs and Forums operate are reviewed.'

6.17: 9.5 Vision impaired markers (yellow tactile pads) markers on footpaths in poor repair (cf minutes April 05, 2023 9.5)

Motion from LLDC meeting of April 05, 2023 NB- resent as no comment in NMC minutes of April 26, 2023 meeting re this motion. "LLDC request council officers to repair these markers in Marlborough & Wellington Streets, previously requested of NMC.' was carried.

7. NEW BUSINESS ‘

7.1 Street name: The chair Tim Flanagan had listed on the agenda the issue of Smith Street, (named after no-one he or anyone else at the meeting was aware of, be renamed ‘Mulga Way’ to further honor Frederick James ‘Mulga’ Davies (1921-1961) the person who arguably bought more fame and delight to this town than anyone else.

COMMITTEE RECOMMENDATION

Moved Neil Tubb, seconded Doug Bester

‘That the LLDC request the NMC consider renaming Smith St or part thereof Mulga Way, in honor arguably Longford’s most esteemed citizen, the late Frederick James ‘Mulga’ Davies.

8.REPORTS FROM SUBCOMMITTEES

8.1 Railway Committee

8.2 Longford Legends -

8.3 Longford Town Hall Arts Committee - isq

9. OTHER BUSINESS

9.1 Dawn Service – BB raised a concern, Peter & NT reported that the issue c the sound on the day has been rectified

Lights at cenotaph not quite right, Cr’s MB & DA will follow-up.

9.2 – Doug C- verges gaps between curb and bitumen . DC will get some photos

9.3- Launceston downgrade of speed limits – Pete Munror, who will get info from L’ton

9.4- DA: spoke re council amalgamations, and not happy; not enthusiasm for the proposals from anyone else present at teh meeting.

9.5 Community Consultations Wednesday, May 10, 3 .00 to 4.30 at Riverlands .

10. NMC Meeting dates for 2023:

15 May

26 June

17 July

21 August

18 September

16 October

20 November

11 December

11. CLOSURE-

12. NEXT LLDC MEETING – June 07, 2023

SUMMARY OF MOTIONS PASSED BY LLDC FOR CONSIDERATION BY NMC:

6.1 ‘The LLDC thanks the NMC for providing us with the options for a ‘Longford’ sign at the roundabout on the northern edge of our town, and unanimously endorsed option 1. We presume it will be two sided, and be lit up after dark.’

6.4; ‘The LLDC request the NMC consider new signage and beautification of the visitor information shelter on the corner of Archer and Wellington Streets’

6.12: ‘The LLDC wishes to thank the NMC for accepting our proposals re the Longford collection, and thank Councilor Alison Andrews for agreeing to be the NMC representative on the resultant sub- committee.

LLDC members Alison Aldersea, Bronwyn Baker, Tim Flanagan and Neil Tubb agreed to be on this committee.

We suggest we meet within the next month, this meeting be advertised so interested members of the community can be made aware, and welcomed to also join this sub-committee.’

6.16: ‘The LLDC request the NMC consider extending the terms of appointment of all current LLDC and members until the review is complete, any changes have been agreed to and put into place, and the Memorandum Of Understanding(s) (MOU) under which all the LDCs and Forums operate are reviewed.’

6.17: Motion from LLDC meeting of April 05, 2023 NB- resent as no comment in NMC minutes of April 26, 2023 meeting re this motion. ‘LLDC request council officers to repair these markers in Marlborough & Wellington Streets, previously requested of NMC.’ was carried.

7.1: ‘That the LLDC request the NMC consider renaming Smith St or part there-of **Mulga Way**, in honor of, arguably, Longford’s most esteemed citizen, the late Frederick James ‘Mulga’ Davies. Moved Neil Tubb, seconded Doug Bester



NORTHERN
MIDLANDS
COUNCIL

2023-04-26 Ordinary Meeting of Council - Open Council - Minutes

5.3 MOTIONS ON NOTICE

The following notice of Motion/Motions have been received.

5.3.1 Notice Of Motion: Review Of Local District Committee Structure.

Responsible Officer: *Des Jennings, General Manager*

MINUTE NO. 23/0108

DECISION

Cr Terrett/Cr McCullagh

That a report be prepared for Council reviewing the structure of the District Committees to provide greater community participation. This report should include, but not be limited to, their role and function, membership, meeting times, funding and communication with the local community.

Carried Unanimously

Voting for the Motion:

Mayor Knowles, Deputy Mayor Lambert, Cr Adams, Cr Andrews, Cr Archer, Cr Brooks, Cr Goss, Cr McCullagh and Cr Terrett

Voting Against the Motion:

Nil

OFFICER'S RECOMMENDATION

Council Officer's support Cr Terrett's recommendation:

That a report be prepared for Council reviewing the structure of the District Committees to provide greater community participation. This report should include, but limited to, their role and function, membership, meeting times, funding and communication with the local community.

Councillor Terrett has requested the below Notice of Motion be tabled at the 26 April 2023 Council Meeting.

NOTICE OF MOTION

That a report be prepared for Council reviewing the structure of the District Committees to provide greater community participation. This report should include, but limited to, their role and function, membership, meeting times, funding and communication with the local community.

BACKGROUND

When the former Councils of Evandale, Ross, Campbell Town, Longford, and part of Fingal were amalgamated in 1993 to create the Northern Midlands Council, there was a level of concern about the loss of local Council presence and availability. The newly merged Council decided to establish 4 District Committees for Ross, Campbell Town, Evandale, and Avoca as special committees of Council. The Council later introduced additional special committees for Perth, Longford, and Cressy

Objectives of the Local District Committees are to:

- Provide a focal point for information between the Northern Midlands Council and the local community;
- Identify and prioritise needs of the local community;



NORTHERN
MIDLANDS
COUNCIL

2023-04-26 Ordinary Meeting of Council - Open Council - Minutes

- Consider and provide feedback to the Northern Midlands Council in respect to key strategic issues for the local community.

Residents and representatives from community interest groups are invited to nominate for membership of the Local District Committee.

Membership appointment is for a 2-year term, the term of membership commences in July and concludes in June. Current memberships expire 30 June 2023.

In the last 30 years there has been significant changes to the demographics of the Northern Midlands area. A number of communities are not represented by District Committees including Devon Hills, Breadalbane, Western Junction, Nile, Bishopsbourne, Toiberry, Blackwood Creek, Lake Leake, Conara, Epping Forest, Cleveland, Liffey and Poatina. Consideration should be given to expanding the committees to give representation for these communities, or a mechanism to permit these areas to have similar representation to council.

Council has struggled at times to attract or retain membership of some committees and as part of this review the council should look at ways to attract wider community representation and an understanding of the role of the District Committees. Council should obtain feedback from past members on why they left the District Committees and any suggestions on how they could be improved.

It is important for council to review the structure and function of the District Committees and how they can operate better. District Committees need to evolve to be a key participant in the strategic planning of council area through empowering our communities.

ATTACHMENTS

Nil

TASMANIA

Local Government Act 1993

24. Special committees

- (1) A council may establish, on such terms and for such purposes as it thinks fit, special committees.
- (2) A special committee consists of such persons appointed by the council as the council thinks appropriate.
- (3) The council is to determine the procedures relating to meetings of a special committee.

PLANNING APPLICATION Proposal

Description of proposal: Construction of a building for use as wool storage, packaging and distribution.

.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: Lot 2 Evandale Road, Western Junction TAS 7212

.....

CT no: 182272/2.....

Estimated cost of project \$3.5m..... *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes / No
If yes – main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

Is any signage required? Signage is proposed at the site entry and on the building
(if yes, provide details)

Received

24.02.2023

Project: **PROPOSED WOOL STORAGE FACILITY**

At: **TRANSLINK AVENUE SOUTH WESTERN
JUNCTION**

For: **WOOL SOLUTIONS**

Project: 22.274

Drawings:

- Ap00 COVER SHEET
- Ap01 SITE PLAN
- Ap02 FLOOR PLAN - OFFICE AND WAREHOUSE 1
- Ap03 FLOOR PLAN - WAREHOUSE 2
- Ap04 FLOOR PLAN - MEZZANINE
- Ap05 ROOF PLAN - OFFICE AND WAREHOUSE 1
- Ap06 ROOF PLAN - WAREHOUSE 2
- Ap07 ELEVATIONS - SHEET 1 OF 2
- Ap08 ELEVATIONS - SHEET 2 OF 2
- Ap09 SECTIONS
- Ap10 3D VIEWS SHEET 1
- Ap11 3D VIEWS SHEET 2

PLANNING DOCUMENT

Issue date: Issue Date



Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900
Architectural
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



Received
24.02.2023



Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

6ty Pty Ltd
ABN 27 014 609 900
Architectural
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

57 Best Street
Devonport Tasmania
P: (03) 6424 7161

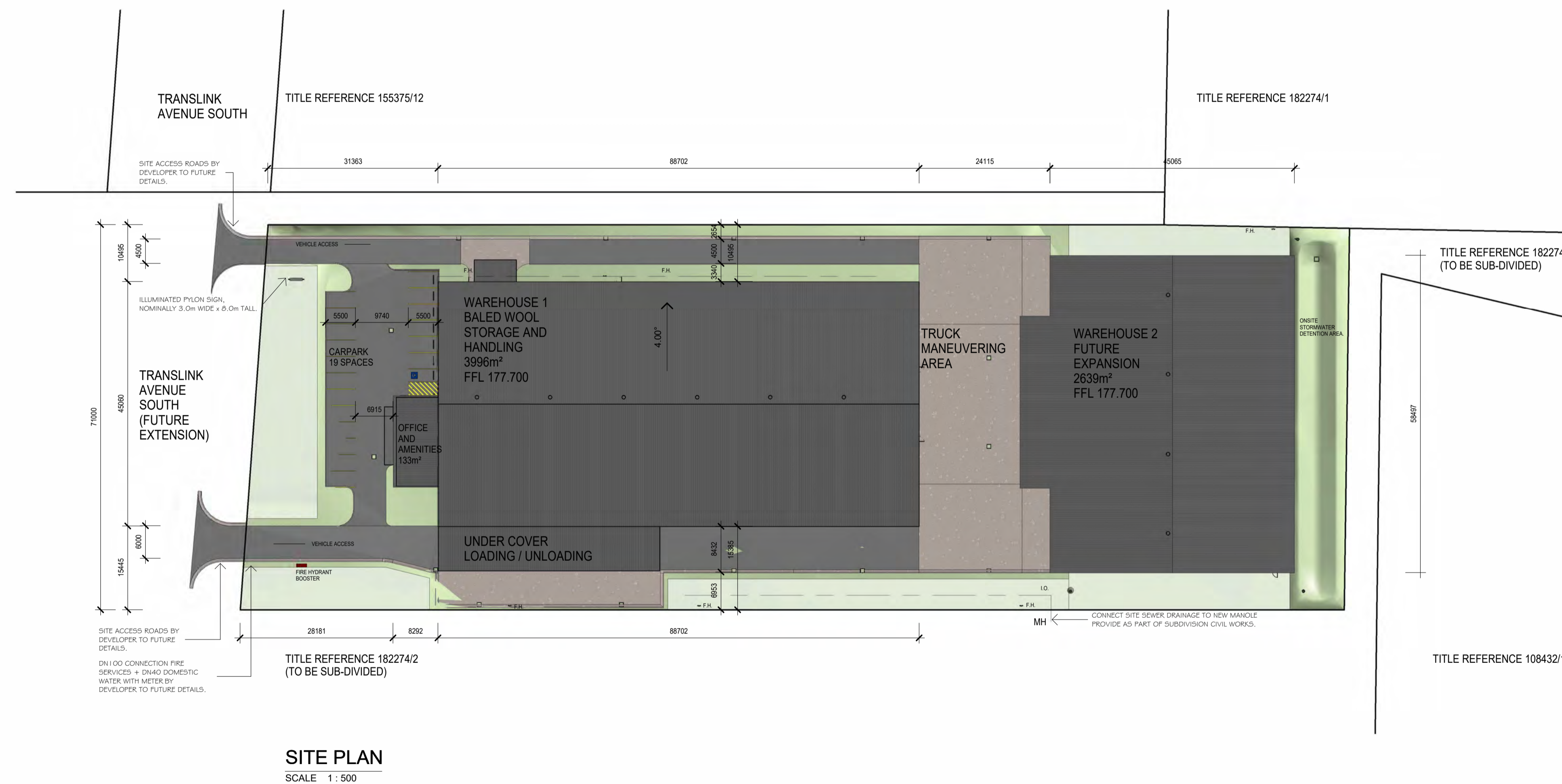


QPS Certification Services



SITE LOCATION
LOT TO BE SUBDIVIDED FROM EXISTING
TITLE REFERENCE 182274/2.

SITE PLAN - EXISTING TITLE TRUE NORTH
SCALE 1 : 5000



ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

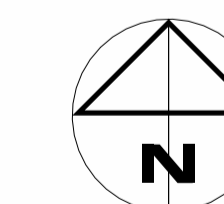
DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL OF ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **SITE PLAN**

DESIGNED: **CGB** DRAWN: **GHN** CHECKED:

SCALES: **As indicated** AT A1 SIZE DRAWING SHEET



PROJECT NORTH

PROJECT NO: **22.274** DRAWING NO: **Ap01** REV: **003**

Received

24.02.2023

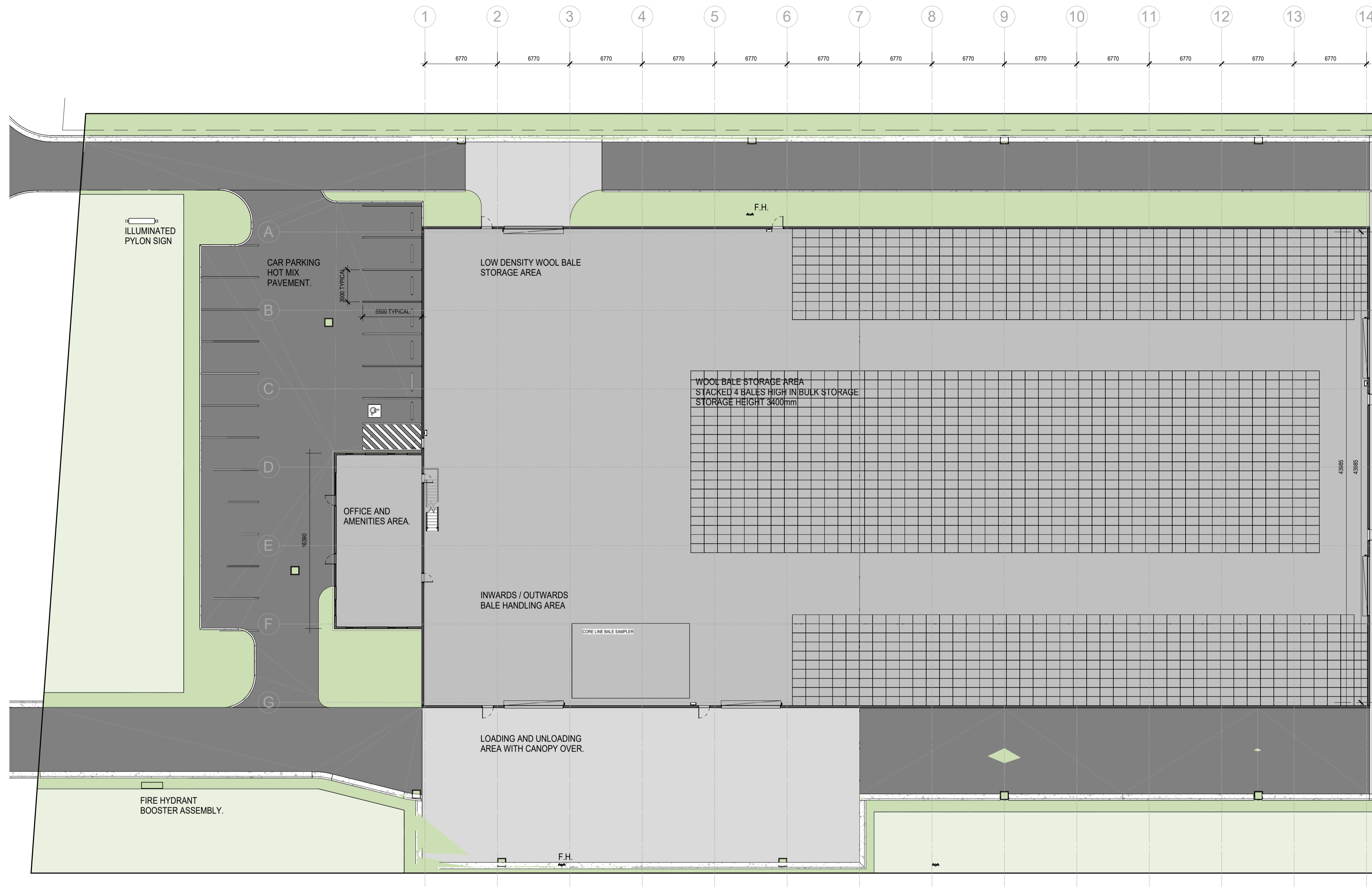


Postal Address
PO Box 63
Riverside
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900
Architecture
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTS IN THIS DRAWING AND ALL ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

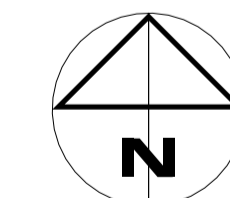
FLOOR PLAN - OFFICE AND WAREHOUSE 1
SCALE 1 : 200

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **FLOOR PLAN - OFFICE AND WAREHOUSE 1**

DESIGNED: CGB DRAWN: GHN CHECKED:

SCALES: 1 : 200 AT A1 SIZE DRAWING SHEET



PROJECT NORTH PROJECT NO: **22.274** DRAWING NO: **Ap02** REV: **003**

I:\2022\2274\0_Productions_Drawings\2_Architectural\2274-A.rvt

Received

24.02.2023

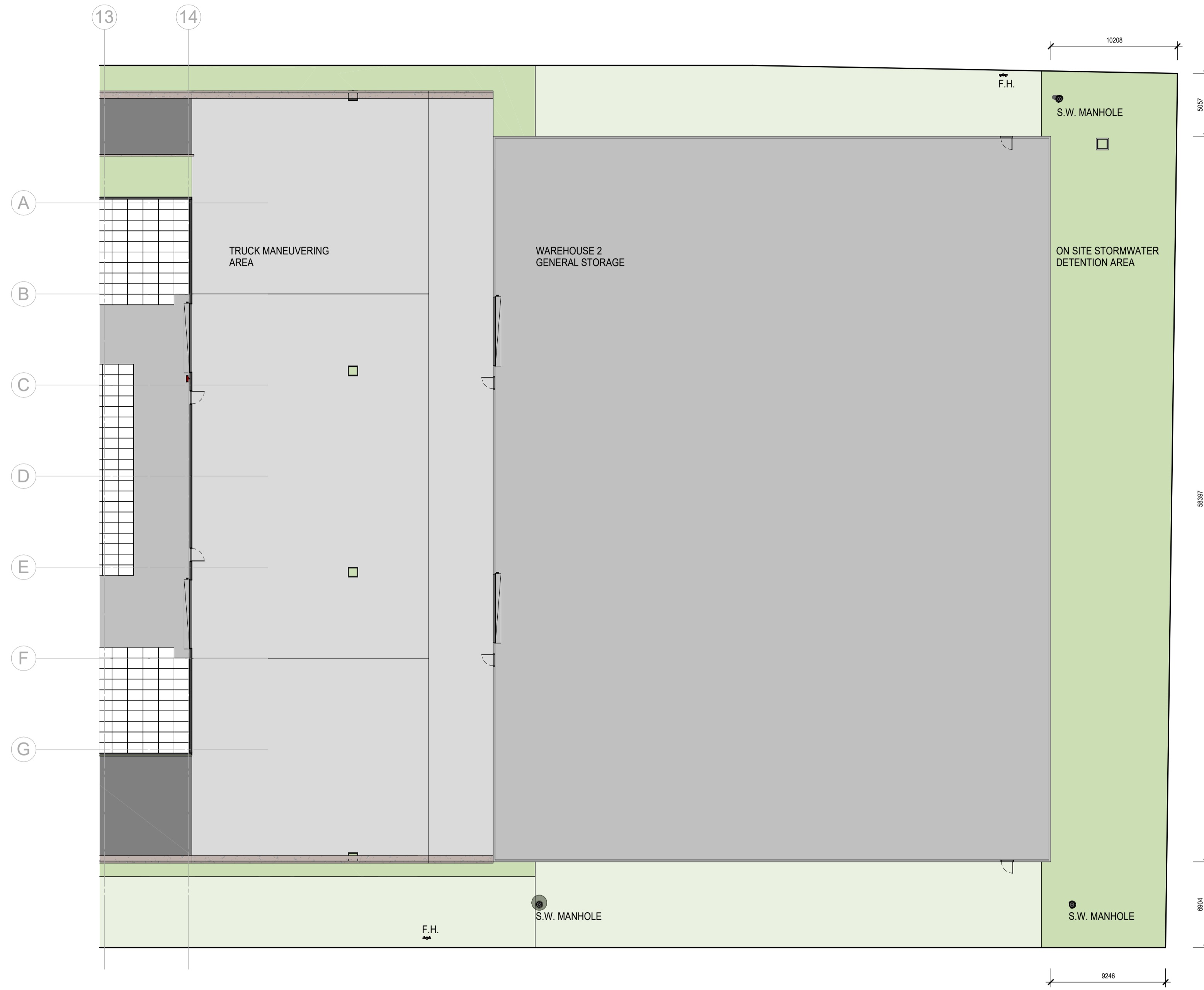


Postal Address
PO Box 63
Biverside
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900
Architecture
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



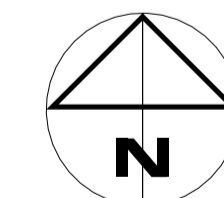
FLOOR PLAN - WAREHOUSE 2
SCALE 1 : 200

ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **FLOOR PLAN - WAREHOUSE 2**



PROJECT NORTH

DESIGNED: CGB DRAWN: GHN CHECKED:
SCALES: 1 : 200 AT A1 SIZE DRAWING SHEET

PROJECT NO: **22.274** DRAWING NO: **Ap03** REV: **003**

I:\2022\22274\0_Productions\Drawings\2_Architectural\22274-A.rvt

Received

24.02.2023

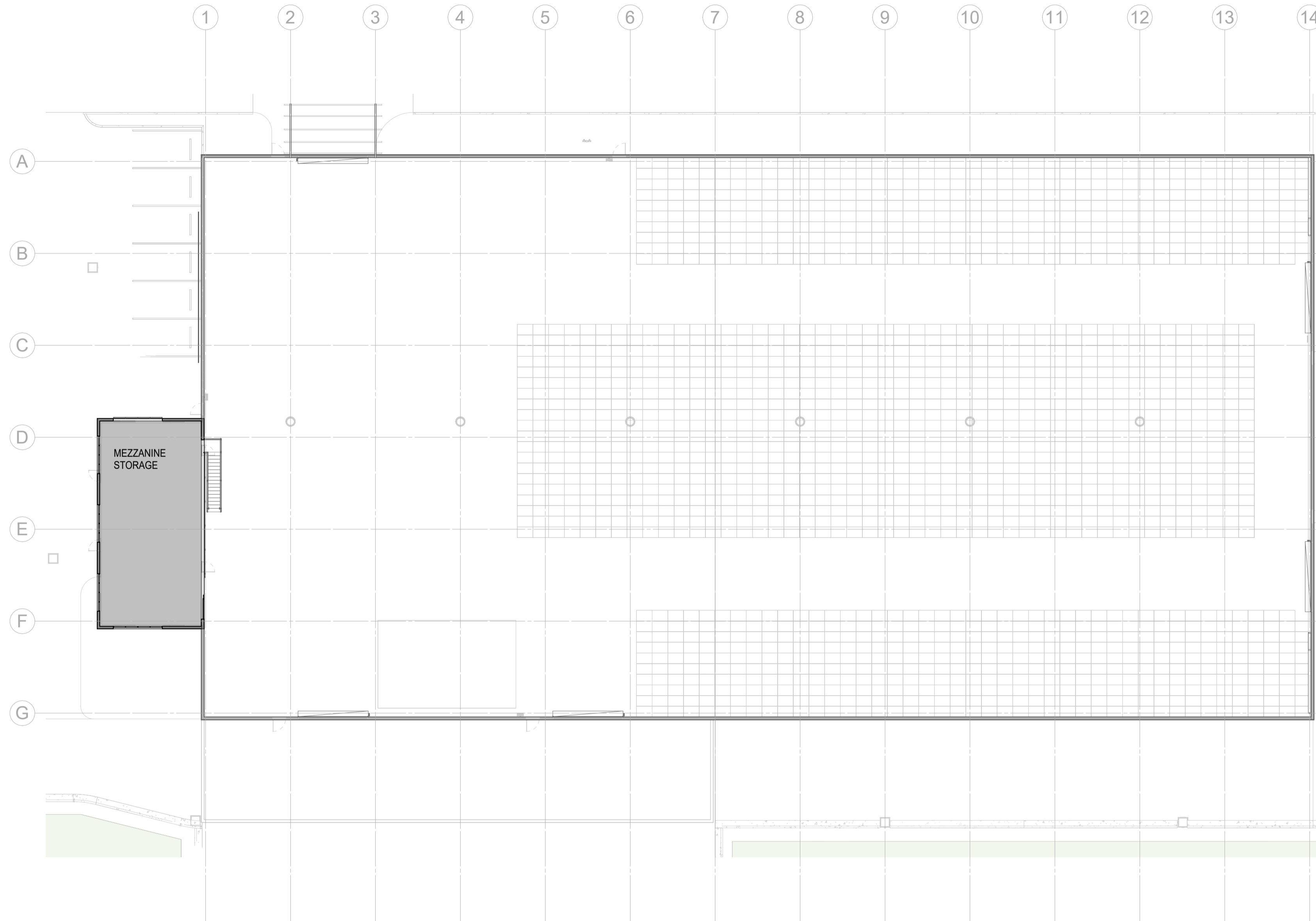


Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900
Architecture
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

FLOOR PLAN - MEZZANINE
SCALE 1 : 200

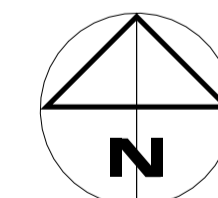
DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **FLOOR PLAN - MEZZANINE**

DESIGNED: CGB DRAWN: GHN CHECKED:

SCALES: 1 : 200 AT A1 SIZE DRAWING SHEET



PROJECT NORTH

PROJECT NO: **22.274** DRAWING NO: **Ap04** REV: **003**

I:\2022\22274\0_Productions\Drawings\2_Architectural\22274-A.rvt

Received

24.02.2023



Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

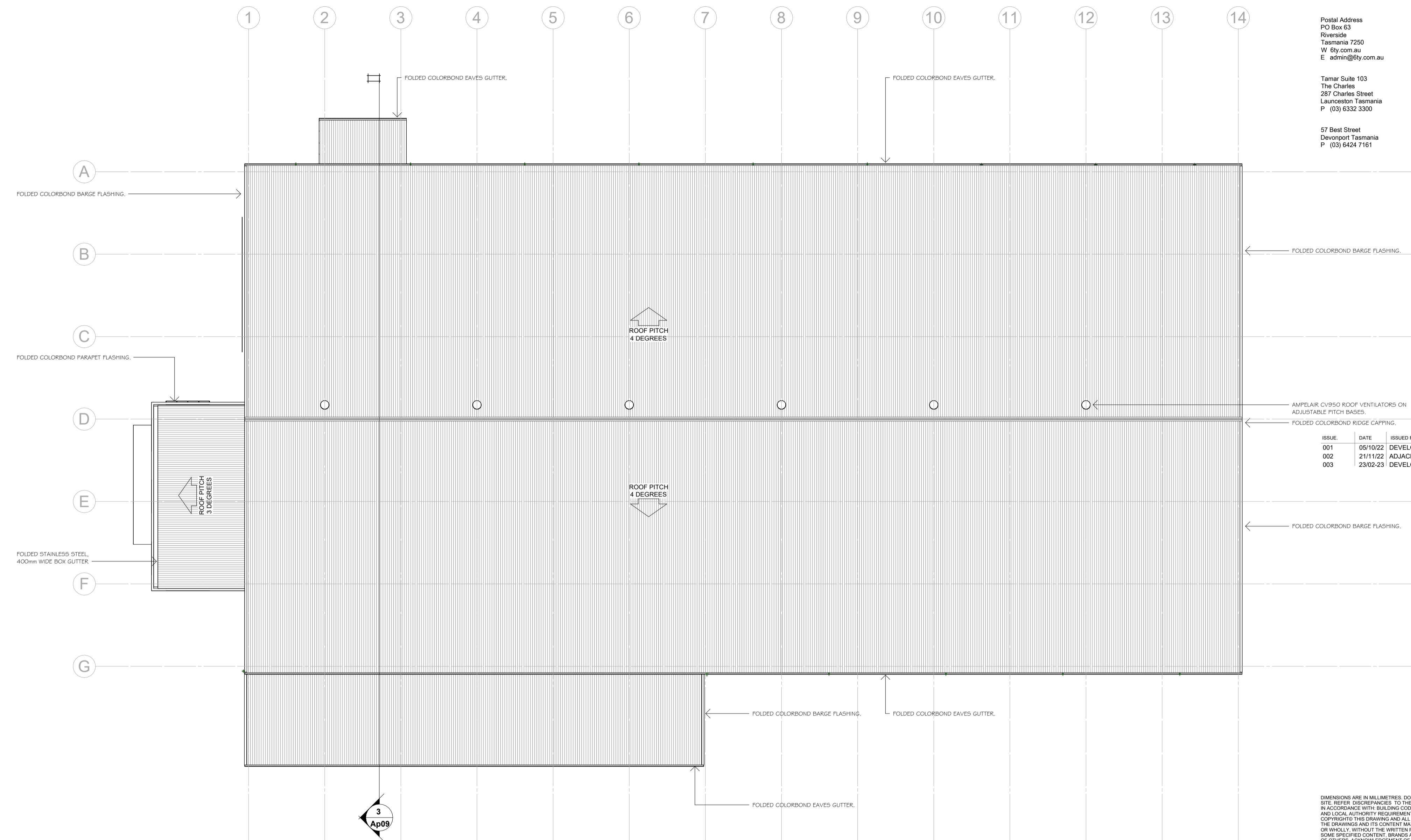
57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900

Architectural
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



QMS Certification Services



ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

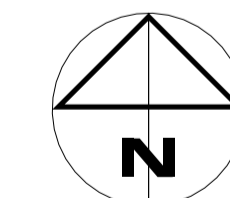
DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL OF ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

ROOF PLAN - WAREHOUSE 1
SCALE 1 : 200

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **ROOF PLAN - OFFICE AND WAREHOUSE 1**

DESIGNED: CGB DRAWN: GHN CHECKED:
SCALES: 1 : 200 AT A1 SIZE DRAWING SHEET



PROJECT NORTH

PROJECT No: **22.274** DRAWING No: **Ap05** REV: **003**

I:\2022\22274\0_Productions\Drawings\2_Architectural\22274-A.rvt

Received

24.02.2023

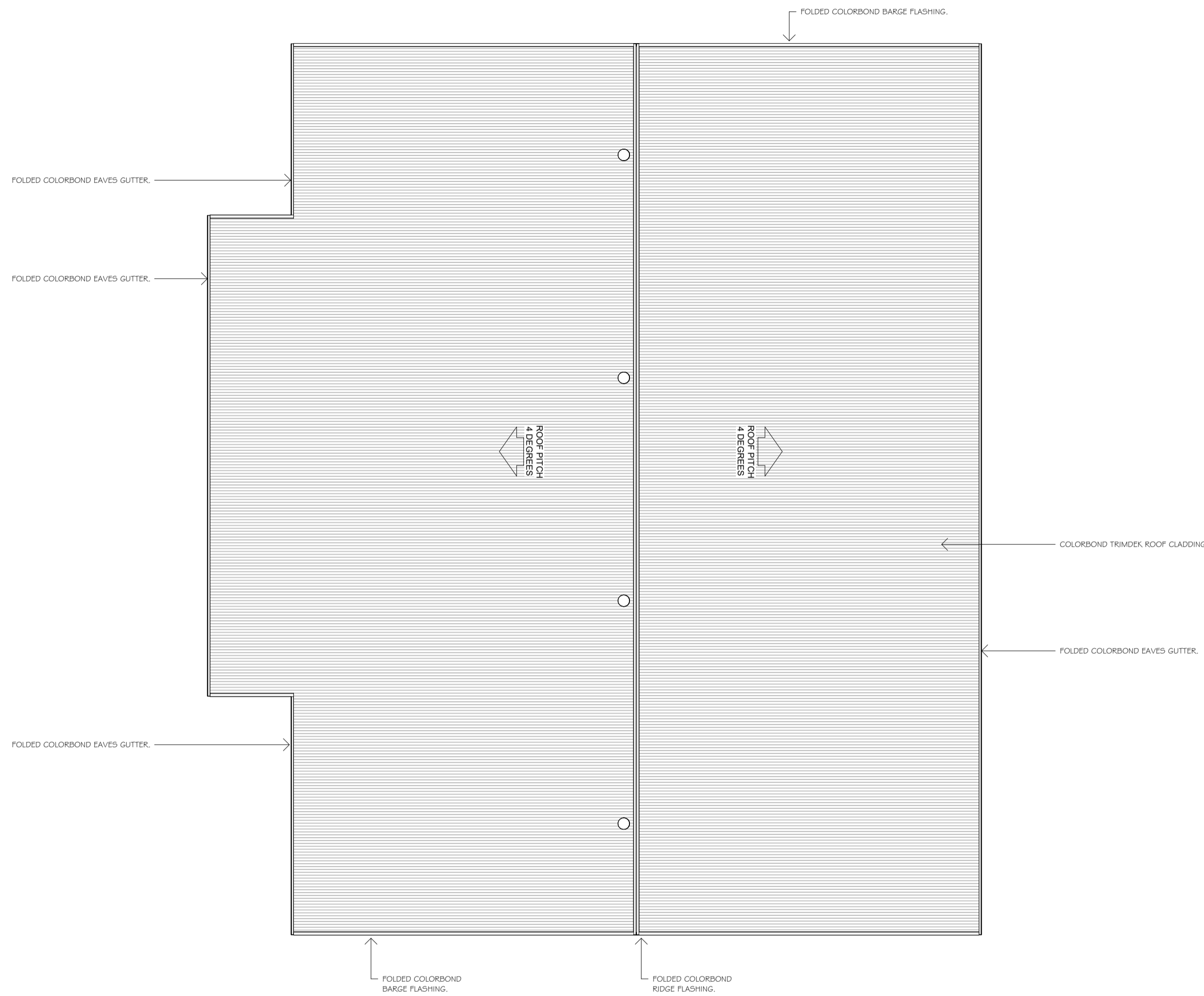


Postal Address
PO Box 63
Biverside
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900
Architectural
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

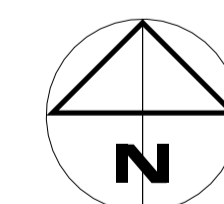
ROOF PLAN WAREHOUSE 2
SCALE 1 : 200

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTS TO THIS DRAWING AND ALL OF ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **ROOF PLAN - WAREHOUSE 2**

DESIGNED: CGB DRAWN: GHN CHECKED:
SCALES: 1 : 200 AT A1 SIZE DRAWING SHEET



PROJECT NORTH

PROJECT No: **22.274** DRAWING No: **Ap06** REV: **003**

I:\2022\22274\0_Production\3_Drawings\2_Architectural\22274-A.rvt

Received

24.02.2023

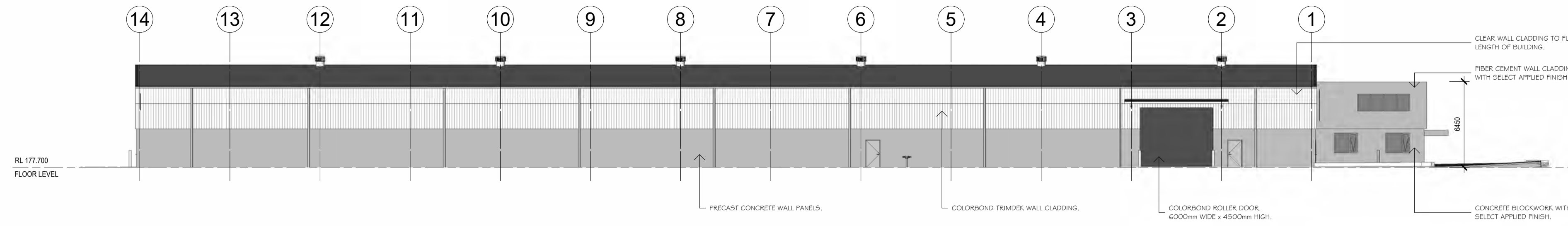


Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300

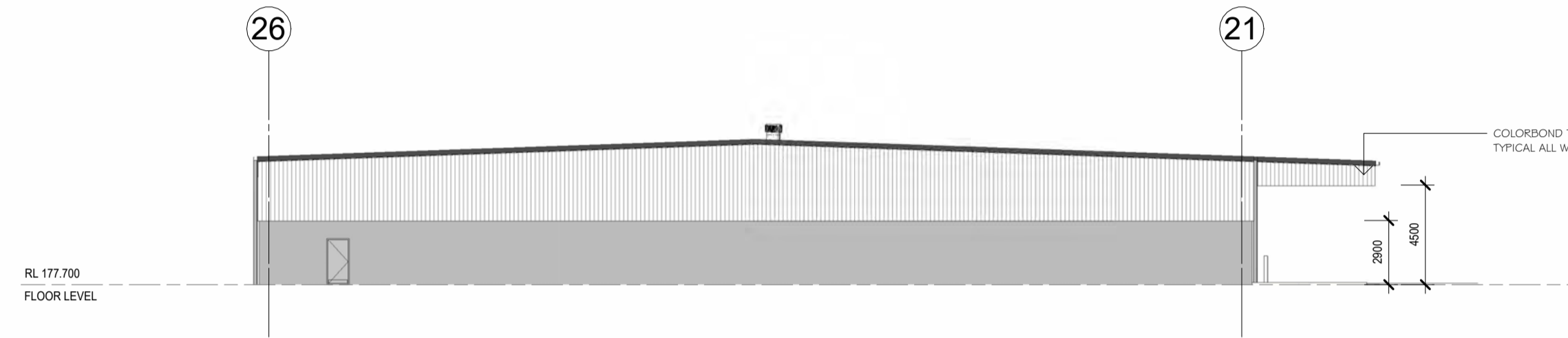
57 Best Street
Devonport Tasmania
P: (03) 6424 7161

6ty Pty Ltd
ABN 27 014 609 900
Architecture
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120



NORTH ELEVATION

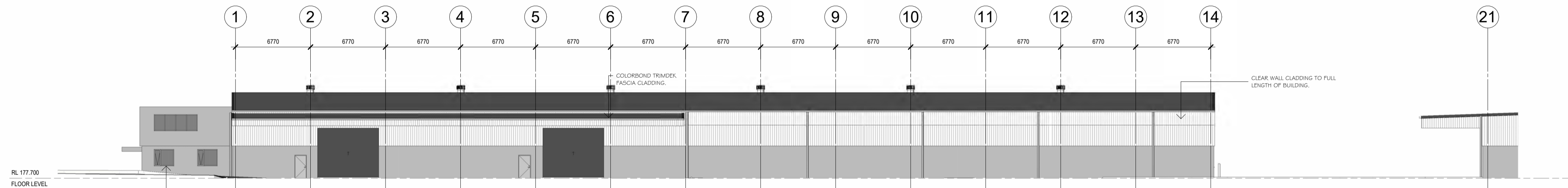
SCALE 1 : 200



NORTH ELEVATION - WAREHOUSE 2

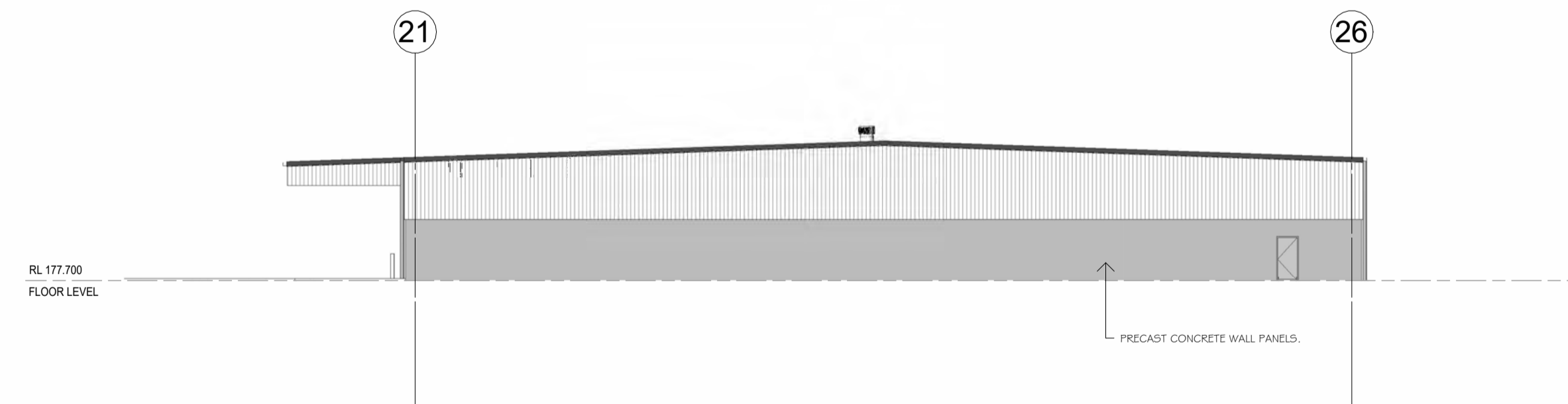
SCALE 1 : 200

ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED



SOUTH ELEVATION

SCALE 1 : 200



SOUTH ELEVATION - WAREHOUSE 2

SCALE 1 : 200

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL OF ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **ELEVATIONS - SHEET 1 OF 2**

DESIGNED: **CGB** DRAWN: **GHN** CHECKED:

SCALES: **1 : 200** AT A1 SIZE DRAWING SHEET

PROJECT NO: **22.274** DRAWING NO: **Ap07** REV: **003**

I:\2022\2274\0_Production\3_Drawings\2_Architectural\2274-A.rvt

Received

24.02.2023



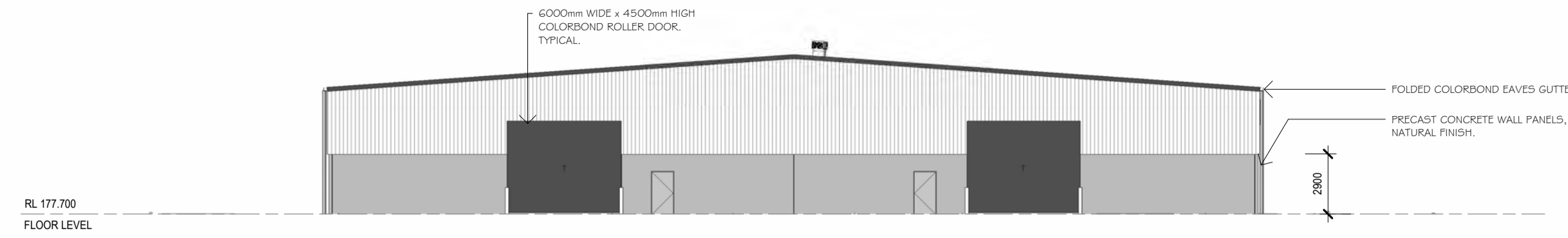
Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

6ty Pty Ltd
ABN 27 014 609 900
Architectural
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120

Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300



57 Best Street
Devonport Tasmania
P: (03) 6424 7161



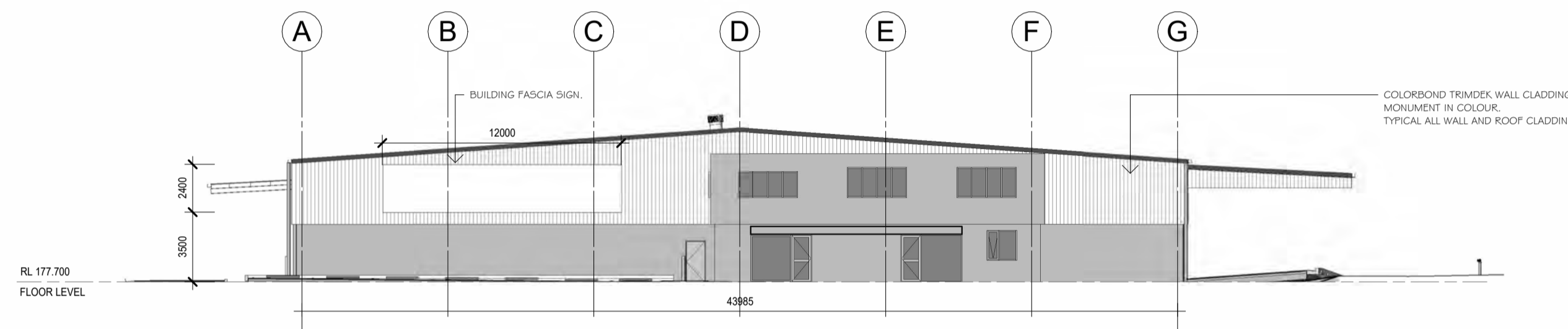
EAST ELEVATION - WAREHOUSE 1

SCALE 1 : 200



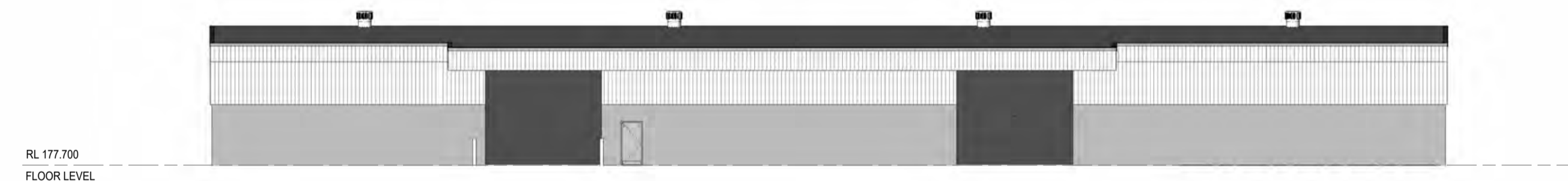
WAREHOUSE 2 EAST ELEVATION

SCALE 1 : 200



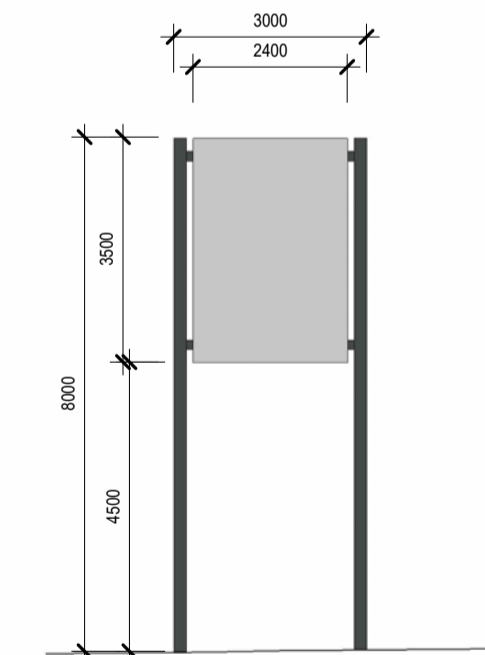
WEST ELEVATION

SCALE 1 : 200



WAREHOUSE 2 WEST ELEVATION

SCALE 1 : 200



ILLUMINATED PYLON SIGN DIMENSIONS

SCALE 1 : 100

ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL OF ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWINGS AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **ELEVATIONS - SHEET 2 OF 2**

DESIGNED: **GCB** DRAWN: **GHN** CHECKED:
SCALES: **As indicated** AT A1 SIZE DRAWING SHEET

PROJECT NO: **22.274** DRAWING NO: **Ap08** REV: **002**

Received

24.02.2023



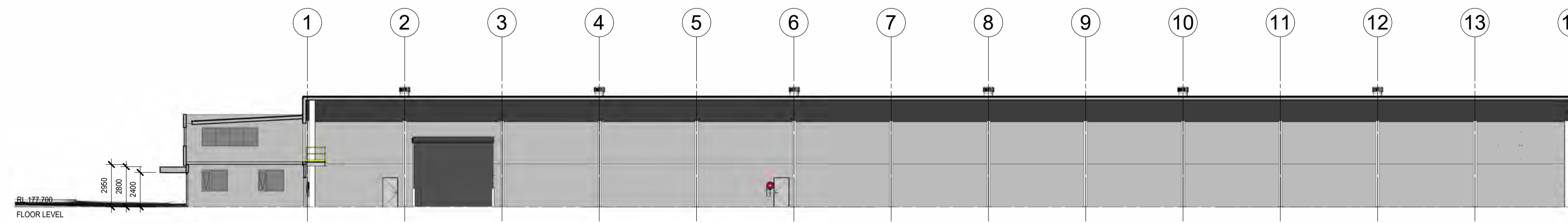
Postal Address
PO Box 63
Beveridge
Tasmania 7250
W: 6ty.com.au
E: admin@6ty.com.au

6ty Pty Ltd
ABN 27 014 609 900
Architecture
ABP No. CC4874f
Structural / Civil
ABP No. CC1633
Building Services Provider
ABP No. 311245120

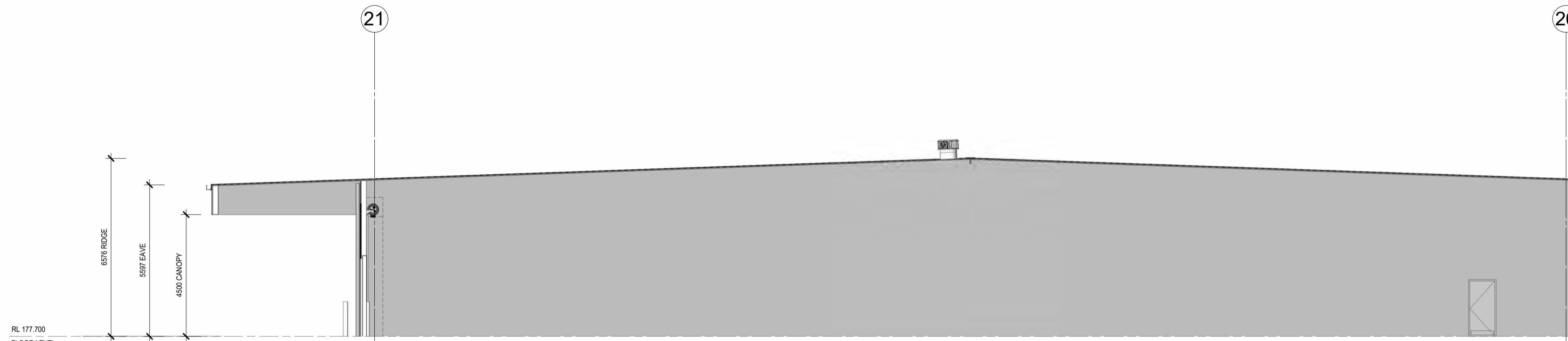
Tamar Suite 103
The Charles
287 Charles Street
Launceston Tasmania
P: (03) 6332 3300



57 Best Street
Devonport Tasmania
P: (03) 6424 7161

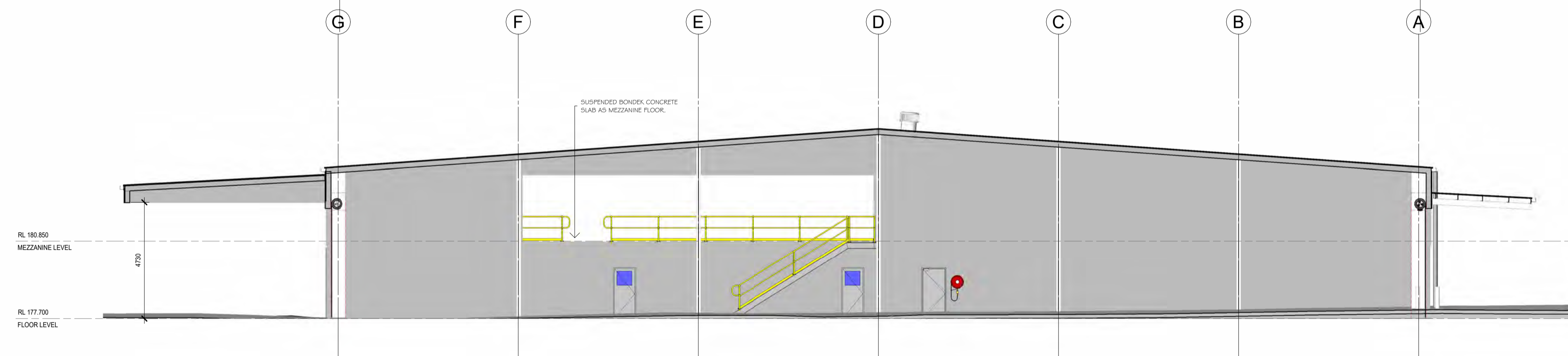


SITE SECTION PART A
SCALE 1:200



SITE SECTION PART B
SCALE 1:100

ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED



TYPICAL SECTION - WAREHOUSE 1
SCALE 1:100

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
FOR: **WOOL SOLUTIONS**

DRAWING: **SECTIONS**

DESIGNED: CGB DRAWN: GHN CHECKED:

SCALES: **As indicated** AT A1 SIZE DRAWING SHEET

PROJECT No: **22.274** DRAWING No: **Ap09** REV: **003**

1:002202274-0_Production3_Drawing02_Architectural\2274-A.rvt

Received

24.02.2023



Postal Address
 PO Box 63
 Riverside
 Tasmania 7250
 W: 6ty.com.au
 E: admin@6ty.com.au

6ty Pty Ltd
 ABN 27 014 609 900
 Architecture
 ABP No. CC4874f
 Structural / Civil
 ABP No. CC1633
 Building Services Provider
 ABP No. 311245120

Tamar Suite 103
 The Charles
 287 Charles Street
 Launceston Tasmania
 P: (03) 6332 3300

57 Best Street
 Devonport Tasmania
 P: (03) 6424 7161

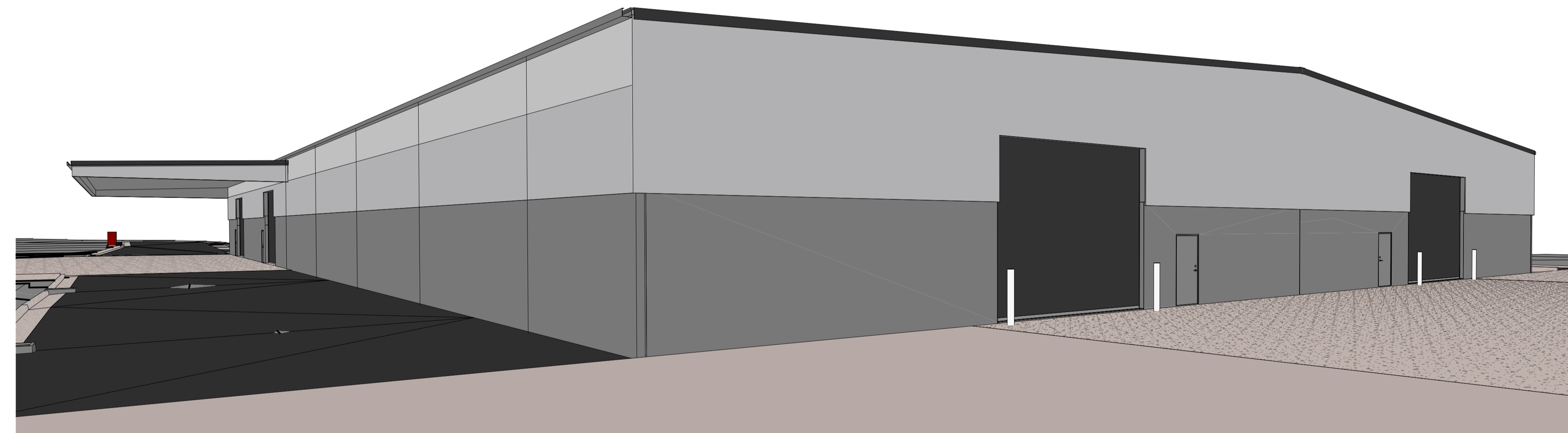


Approved Company
 6ty Pty Ltd
 2019-2023
 QMS Certification Services



SITE ENTRY VIEW
 SCALE

ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED



VIEW FROM SOUTH
 SCALE

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
 AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
 FOR: **WOOL SOLUTIONS**

DRAWING: **3D VIEWS SHEET 1**

DESIGNED: CGB DRAWN: GHN CHECKED:

SCALES: AT A1 SIZE DRAWING SHEET

PROJECT No: **22.274** DRAWING No: **Ap10** REV: **003**

I:\2022\22274\0_Productions\Drawings\2_Architectural\22274-A.rvt

Received

24.02.2023



Postal Address
 PO Box 63
 Riverside
 Tasmania 7250
 W: 6ty.com.au
 E: admin@6ty.com.au

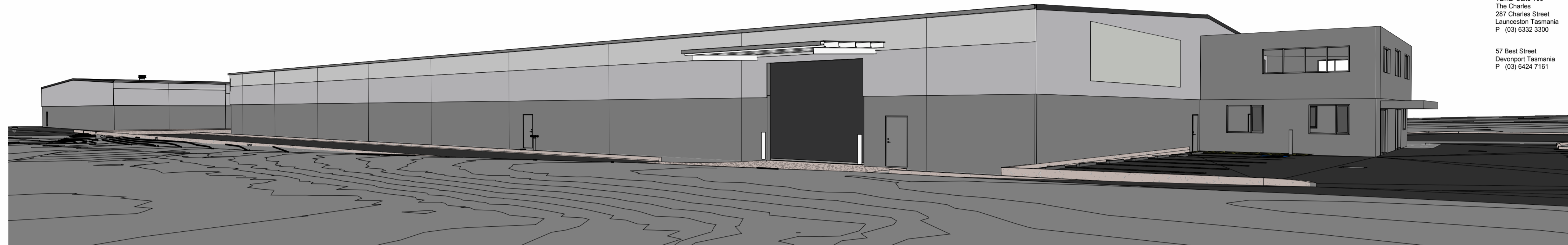
6ty Pty Ltd
 ABN 27 014 609 900
 Architecture
 ABP No. CC4874f
 Structural / Civil
 ABP No. CC1633
 Building Services Provider
 ABP No. 311245120

Tamar Suite 103
 The Charles
 287 Charles Street
 Launceston Tasmania
 P: (03) 6332 3300

57 Best Street
 Devonport Tasmania
 P: (03) 6424 7161



QPS Certification Services



VIEW FROM NORTH
 SCALE



AERIAL VIEW
 SCALE

ISSUE	DATE	ISSUED FOR
001	05/10/22	DEVELOPMENT APPLICATION
002	21/11/22	ADJACENT BOUNDARIES ADDED
003	23/02/23	DEVELOPMENT APPLICATION - REVISED

DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE. CHECK AND VERIFY ALL DIMENSIONS ON SITE. REFER DISCREPANCIES TO THE SUPERINTENDENT. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, APPLICABLE AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS. COPYRIGHTING THIS DRAWING AND ALL ITS CONTENT REMAIN THE PROPERTY OF 6ty Pty Ltd. THE DRAWING AND ITS CONTENT MAY NOT BE REPRODUCED, COPIED OR REPRODUCED IN PART OR WHOLLY, WITHOUT THE WRITTEN PERMISSION FROM 6ty Pty Ltd. SOME SPECIFIED CONTENT, BRANDS AND MANUFACTURERS MAY BE COPYRIGHTED PROPERTY OF OTHERS. ACKNOWLEDGEMENT OF THESE COPYRIGHTS ARE HEREBY GIVEN.

PROJECT: **PROPOSED WOOL STORAGE FACILITY**
 AT: **TRANSLINK AVENUE SOUTH WESTERN JUNCTION**
 FOR: **WOOL SOLUTIONS**

DRAWING: **3D VIEWS SHEET 2**

DESIGNED: **CGB** DRAWN: **GHN** CHECKED:

SCALES: AT A1 SIZE DRAWING SHEET

PROJECT No: **22.274** DRAWING No: **Ap11** REV: **003**

1:302222274:0_Production3_Drawing02_Architectural/2274-A.rvt

Received
24.02.2023

Measured form and function



6ty Pty Ltd
ABN 27 014 609 900

Postal Address
PO Box 63
Riverside
Tasmania 7250
W 6ty.com.au
E admin@6ty.com.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston 7250
P (03) 6332 3300

57 Best Street
PO Box 1202
Devonport 7310
P (03) 6424 7161

**Translink Avenue South
Western Junction**

**Wool Store Development
Stormwater Management**



Issue	01
Date	22 nd February, 2023
Project Number	22.274
Project Name	Wool Store Development at Translink Avenue South - Stormwater Report
Author	Mark Walters
Document	



CONTENTS	PAGE NO.
1. Introduction.....	4
2. The Development Site.....	5
3. Proposed Development.....	7
4. Stormwater Management.....	8
5. Model Results.....	11
6. Summary.....	13

1. Introduction

This report examines the stormwater design requirements for the construction of a wool storage warehouse on a future lot located on the proposed extension of Translink Avenue South at Western Junction.

The Northern Midlands Local Provisions Schedule for the Tasmanian Planning Scheme requires that all stormwater flows from the developed site must be restricted to that of the land in a rural state.

2. The Development Site

The land that the development is to be located on is Lot 2, Evandale Road (CT 182274/2), located at the southern end of Translink Avenue South, Western Junction. The development itself is to be on a future lot within that land when the proposed subdivision is completed. The approximate location of the development site is shown on Figure 1 below:

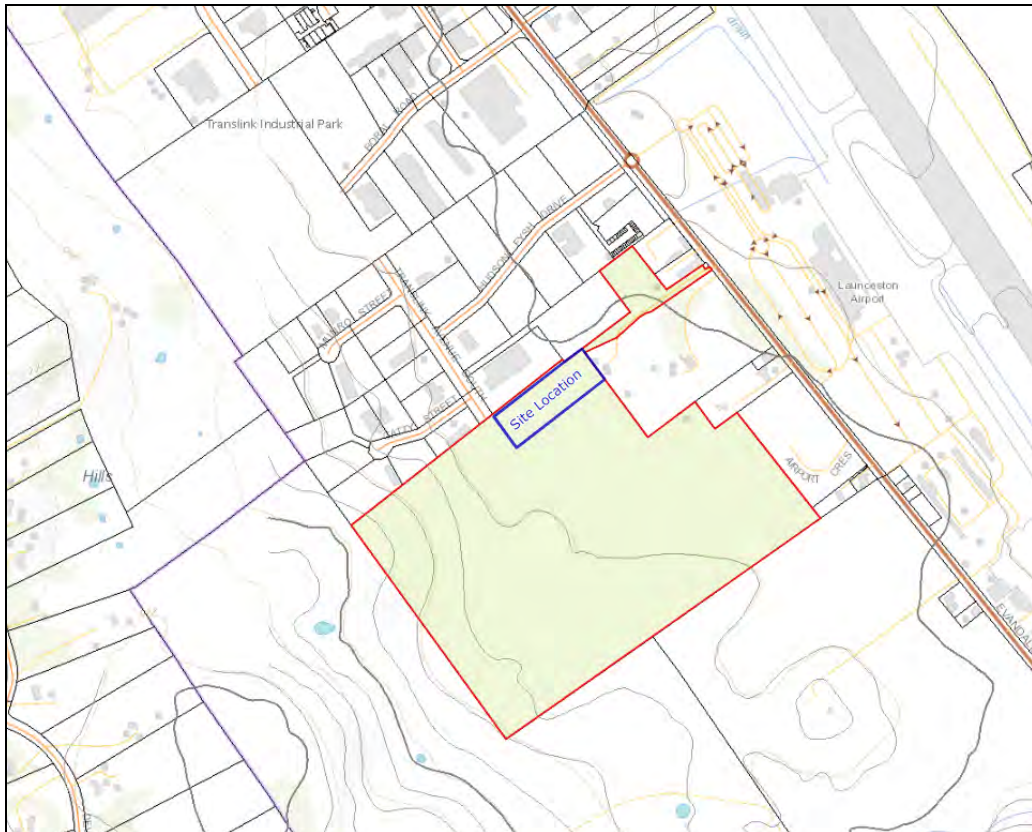


Figure 1 - LIST image of site location at Western Junction

The land falls in a northerly direction towards a Council detention basin site located in the adjoining property of 47 Translink Avenue South.

The land is currently vacant land (see aerial image in Figure 2) which maintained as pasture.



Figure 2 – LIST Aerial Image

3. The Proposed Development

The proposal is to develop the land as a warehouse for wool storage that incorporates an office, an undercover loading dock, associated car parking and vehicle manoeuvring areas and a possible future expansion as shown in Figure 3 below.

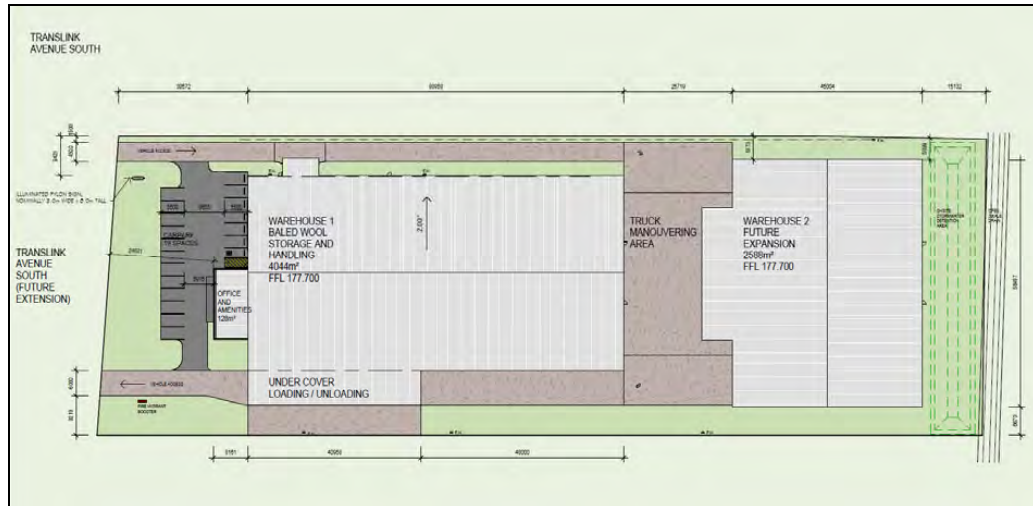


Figure 3 – Proposed site development plan.

The total use of the site will be comprised of the following components:

- A total site area of 1.46 Ha
- An area of unroofed car parking and paved surfaces of 0.353 Ha
- A total roof area of 0.676 Ha
- A balance area of 0.431 Ha of landscaped areas which includes an area set aside for a grassed detention basin.

4. Stormwater Management

Advice from Council is that stormwater flows from the site must not exceed the flows currently flowing from the property when considered as rural land and that the piped system is to contain the 10-year ARI (10% AEP) event with an overland flow path to cater for up to the 100-year ARI (1% AEP) event.

Design Flows:

A Watercom Drains model has been developed for the site using a Horton/ILSAX rainfall-runoff model. Examination of the LIST mapping for both the soil permeability and the waterlogging hazard of the soils found on the site indicate that the soils class for the site is best described as a Type 3.5 soil, having slowly permeable clays with a high risk of waterlogging.

The ARR 2019 rainfall and design procedures have been used to generate an ensemble of storm events for up to the 2-hour duration storms in the 1% to 10% AEP range. Consideration of the Antecedent Moisture Condition (AMC) of the soil was undertaken using the rainfall records of the nearby Launceston Airport weather station.

Looking at the wettest 10 days on record at the new airport rain gauge, the following table was compiled:

Year	Month	Day	Peak Daily Rainfall (mm)	5 day preceding (mm)	AMC	6 day total (mm)
2005	8	31	78.0	18.0	3	96.0
2011	3	24	74.2	14.2	3	88.4
2016	1	29	71.0	0	1	71.0
2012	5	26	67.6	14.6	3	82.2
2020	3	6	54.6	22.4	3	77.0
2017	12	3	47.6	21.6	3	69.2
2013	8	14	47	28.2	4	75.2
2020	8	5	45.2	7.6	2	52.8
2005	9	12	41.4	18.0	3	59.4
2019	3	22	39.4	1.2	2	40.6
Average					3.0	

For the DRAINS model, an AMC value of 3.0 was therefore adopted.

The existing site is modelled with the following parameters:

- A total area of 1.46 Ha
- 1% of the area being an impervious surface representing areas of the rural land being used for minor roads or areas of poor subsurface drainage.
- A time of concentration of 5 minutes for the impervious surfaces and 20 minutes for the entire site due to the slow flows predicted for a gently sloping pasture with average grass.

The existing site is currently not provided with a stormwater connection with the land discharging to Evandale Road via surface flows.

Developed site configuration:

The developed site drainage system is to be conveyed to an onsite detention basin located along the western boundary before discharging into a yet to be constructed swale drain that leads to the public detention basin in the adjoining property of 47 Translink Avenue South. The construction of the swale drain is part of the subdivisional works required for the creation of the lot being developed.

The basin is to be sized to retain flows from the developed site for up to the 1% AEP event, limiting discharge rates to that of the undeveloped site. The basin modelling assumes full development of the land and that the swale drainage installed by the subdivisional works is installed.

The developed site is modelled with the following parameters:

- A total area of 1.46 Ha
- 70.5% of the area being an impervious surfaces comprised of roof areas, parking and vehicle manoeuvring areas.
- A time of concentration of 6 minutes for the impervious surfaces and 8 minutes for the landscaping.
- All of the land being captured by the proposed detention basin.

The detention basin is a grassed, trapezoidal channel with the following parameters:

- 2.5m wide base.
- 1 in 3 batters
- 1.0m maximum depth.
- A total width of 8.5m.
- A total length of 67.0m.
- A maximum storage volume of 349 m³.
- A DN225 low flow outlet to the swale drain.
- An overflow weir, broad crested with a crest length of 2m set 0.65m above the base of the basin.
- The basin is to fully grassed with water tolerant plantings within the base area.

It is recommended that stormwater arising from the parking and vehicle manoeuvring areas of the developed site be concentrated at a suitably sized gross pollutant trap before being discharged to the detention basin so as to minimise the conveyance of litter, silt and hydrocarbons to the basin.

For the paved areas of the site (disregarding roof surfaces) and the associated road verges that might drain to those paved areas, it can be calculated that the required GPT will need to provide for:

- A peak flow rate of 169 l/s for the 1 % AEP.
- A treatable flow of 23 l/s for the 4EY or three-month event.

A variety of GPT models from Humes or Rocla are suitable for this site.

5. Stormwater Model Results

Running the ARR 2019 rainfall events through the design model produced the following:

AEP %	Existing Q l/s	Developed Q l/s	Low Flow l/s	Weir Flow l/s	Total Discharge l/s	Depth of storage m	Total Volume M3
1	190	413	87	89	176	0.73	213
2	156	349	85	18	103	0.68	190
5	105	266	77	0	77	0.55	142
10	73	217	69	0	69	0.46	110

Figure 5 – Table of results.

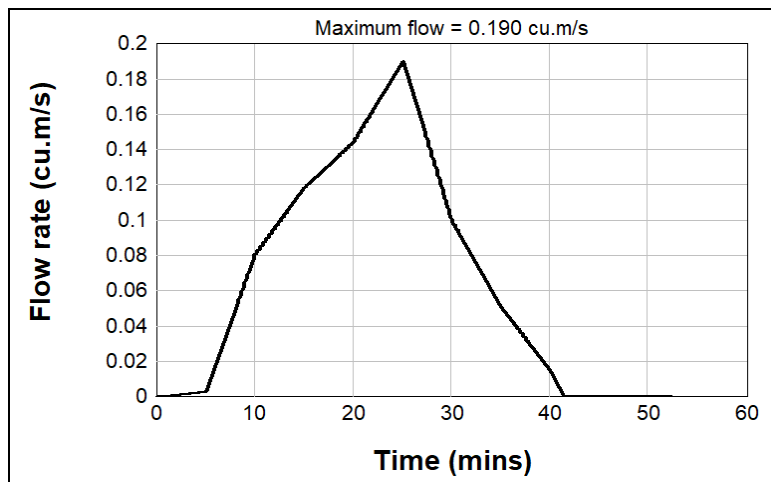


Figure 6– Existing site peak discharge (1%AEP, 25-minute burst).

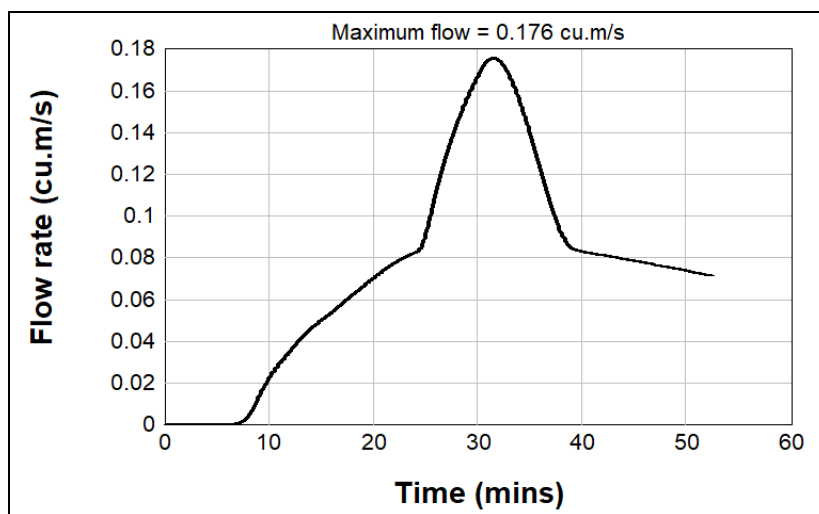


Figure 7 – Developed site discharge (1%AEP, 30-minute burst).

The model results indicate that the proposed basin has adequate dimensions to moderate the flows from the developed site, closely replicating the flows from the site as undeveloped pasture. The basin is significantly oversized as it uses just 61% of the available volume within the basin, and this is considered to be sufficient to provide for possible tailwater effects in the future swale drain to the Council detention basin – the possible flooding of the outlet structure caused by the Council basin being at capacity during a mayor flood event.

6. Summary

The proposed discharge pipe from the site is a DN225 sufficient to carry the detained flows to the yet to be built subdivisional drainage system for events up to and including the 5% AEP. The proposed basin will overflow via a control weir to the future public drainage system for events between the 1% and 2% AEP storms, but at a rate that is less than what flows from the undeveloped land.

Council, as the Stormwater Authority, may consider the synergist effects of the proposed basin operating as part of the existing Council detention basin and specify a modified outlet to the proposed basin rather than the basin operating as a stand-alone facility.

7. Conclusion

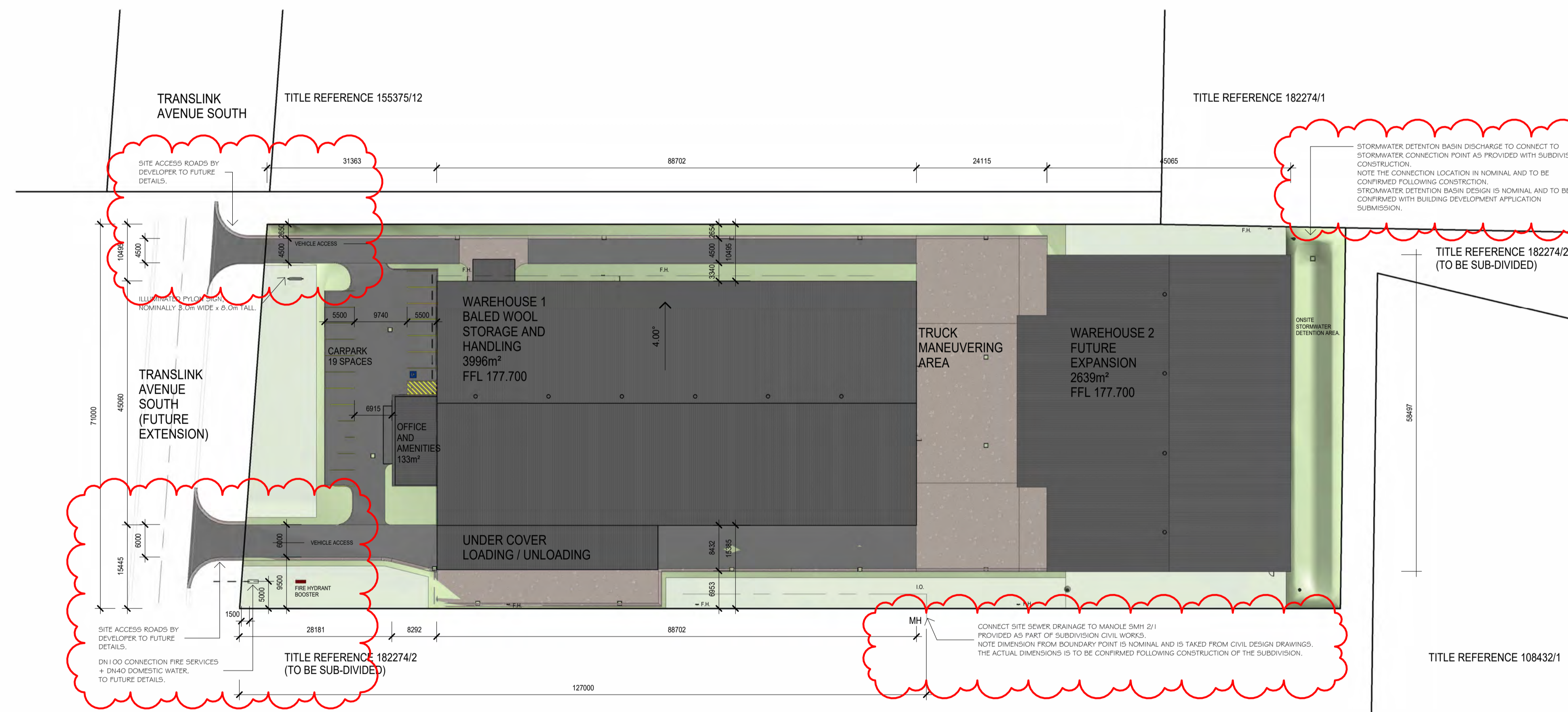
It can be seen from the results that the proposed detention storage successfully reduces flows from the developed site to below that of the land in its current state for the full range of events between the 1% and 5% events.

As such, the proposal complies with the Acceptable Solution A1 NOR-S1.7.8 of the planning scheme.

Received 27.03.2023



SITE PLAN - EXISTING TITLE TRUE NORTH SCALE 1:5000



SITE PLAN SCALE 1:500

Postal Address PO Box 63 Riverside Tasmania 7250 W 6ty.com.au E admin@6ty.com.au

6ty Pty Ltd ABN 27 014 609 900 Architecture ABP No. CC4874f Structural / Civil ABP No. CC1633 Building Services Provider ABP No. 311245120



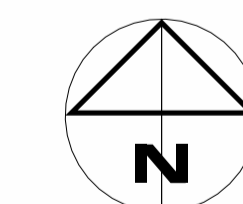
Table with columns: ISSUE, DATE, ISSUED FOR. Rows include Development Application, Revised Application, and Sewer Water Connecting.

Small text block regarding dimensions and copyright information.

PROJECT: PROPOSED WOOL STORAGE FACILITY AT: TRANSLINK AVENUE SOUTH WESTERN JUNCTION FOR: WOOL SOLUTIONS

DRAWING: SITE PLAN

DESIGNED: CGB DRAWN: GHN CHECKED: As indicated AT A1 SIZE DRAWING SHEET

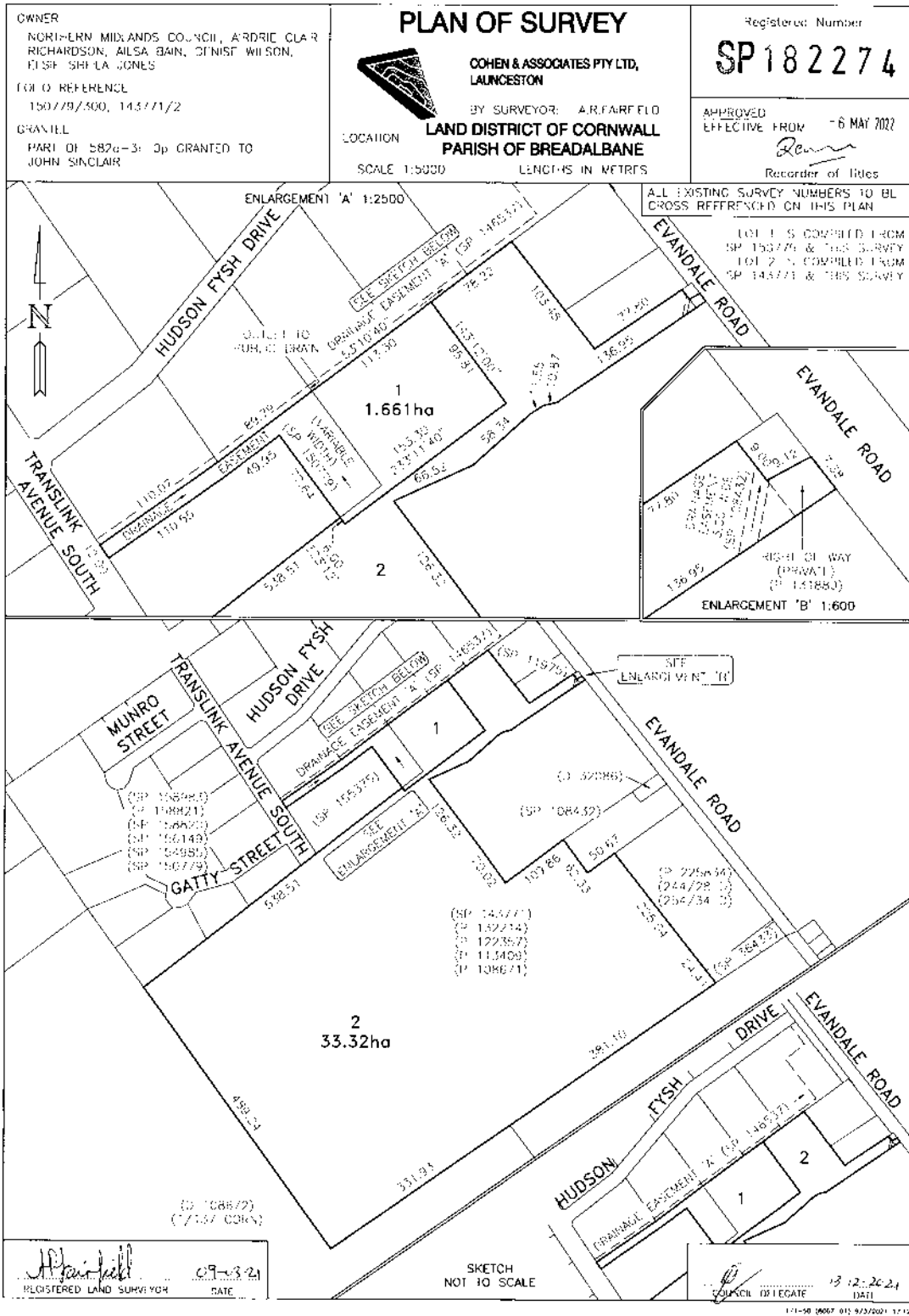


PROJECT NORTH PROJECT No: 22.274 DRAWING No: Ap01 REV: 004



FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





Our ref: PLN-22-0234

9 November 2022

George Walker
6ty° Pty Ltd

By email: gwalker@6ty.com.au

Dear George

Additional Information Required for Planning Application PLN-22-0234
Wool storage, packaging and distribution at Evandale Road (folio of the Register 182274/2 & 182274/1), Western Junction

Thank you for your application. The subject site includes folio of the Register 182274/1 which is owned by the Northern Midlands Council. Written consent from the General Manager to the making of the application and the General Manager's signature as owner of the land on the application form is required. This is required under Section 52(1) of the *Land Use Planning and Approvals Act 1993*.

The following information is required to allow consideration of your application under the Tasmanian Planning Scheme – Northern Midlands:

- A site plan of the entire site (folios of the Register 182274/2 & 182274/1) showing the location of the proposed development.
- A plan showing the location of water and sewer connections for the proposed development.
- Stormwater detention calculations for the proposed development demonstrating that the flow rate of stormwater outside the boundaries of the title is not greater than if the land was used for rural purposes in accordance with clause NOR-S1.7.8 of the scheme.

This information is required under section 54 of the *Land Use Planning and Approvals Act 1993*.

Please send any emails to planning@nmc.tas.gov.au and include the reference PLN-22-0234. If you have any queries, please contact me on 6397 7301, or e-mail planning@nmc.tas.gov.au



Paul Godier
Senior Planner



Request for Additional Information

For Planning Authority Notice

Council Planning Permit No.	PLN-22-0234	Application date	7/03/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00299-NMC	Date of response	9/03/2023
TasWater Contact	David Boyle	Phone No.	0436 629 652
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	LOT 2 EVANDALE RD, WESTERN JUNCTION	Property ID (PID)	9137332
Description of development	Development for Wool Storage, Packaging and Distribution, Signage & Parking Provisions (Lot 2)	Stage No.	
Additional information required			
<p>Additional information is required to process your request. To enable assessment to continue please submit the following:</p> <p>Please speak with the subdivider's engineer and utilise they plans for the proposed subdivision, this will unclude future sewer main, inspection opening and maintenance holes.</p> <ol style="list-style-type: none"> 1. Please provide a concept servicing plan for water & sewer services which shows the following: <ol style="list-style-type: none"> a. The exact location of the future (lot) property water & sewer connection(s). b. Location of proposed TasWater easements. c. The required location of property water & sewer connection(s) accurately dimensioned relative to the future lot boundaries noting that: <ol style="list-style-type: none"> i. One sewer and one water property service connection must be provided to each lot. ii. The property water service for each lot must be sized appropriately and located just inside the property boundary at the road frontage in accordance with the standard property connection details contained in TasWater's Water Metering Guidelines. iii. The sewer property service connections for each lot must be sized appropriately and must be located at the low point of the lot just inside the property boundary. iv. Redundant connections must be shown to be cut and sealed. 2. The indicated/proposed stormwater detention basin at the rear of this lot is not allowed to be built within our future easement, our future sewer main must be located clear of the top of the basin by 1m minimum this includes from the outside edge of any MH(s), sewer inspection opening must not be contained in the detention basin area and must be clear of it. 			
Advice			
Service Locations			
<p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <ul style="list-style-type: none"> • A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater 			



- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies
 - Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.
- To view our assets, all you need to do is follow these steps:
- 1) Open up webpage - <http://maps.thelist.tas.gov.au/listmap/app/list/map>
 - 2) Click 'Layers'
 - 3) Click 'Add Layer'
 - 4) Scroll down to 'Infrastructure and Utilities' in the Manage Layers window, then add the appropriate layers.
 - 5) Search for property
 - 6) Click on the asset to reveal its properties

TASWATER CONTACT DETAILS			
Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		

Our ref: PLN-22-0234

14/03/2023

George Walker
P.O. Box 63
RIVERSIDE TAS 7250
By email: gwalker@6ty.com.au



Dear Mr Walker

Additional Information Required for Planning Application PLN-22-0234

Development for wool storage, packaging and distribution, illuminated pylon sign (vary height and dimensions), wall sign (vary provisions), vary parking provisions at Approved Lot 2 at Evandale Road (folio of the Register 182274/2) adjacent to Translink Avenue South, Western Junction

I refer to the abovementioned application, which is currently on public exhibition and was referred to TasWater (the water and sewer authority). They have requested additional information (see attached RAI). If you have any queries, please contact TasWater's Development Co-ordinator directly:

☎ 13 6992

✉ development@taswater.com.au

The information requested must be provided to Council for forwarding to TasWater (preferably by email to planning@nmc.tas.gov.au).

This information is required under section 54 of the *Land Use Planning and Approvals Act 1993*. In accordance with section 54 (2) of the Act, the statutory period for determining the application will not recommence until the requested information has been satisfactorily supplied.

Please send any emails to planning@nmc.tas.gov.au including the reference **PLN-22-0234**.

Yours Sincerely

A handwritten signature in cursive script that reads "K Jenkins".

Karen Jenkins
Administration Officer

Karen Jenkins

From: robert henley
Sent: Tuesday, 21 March 2023 3:30 PM
To: NMC Planning
Subject: Re: PLN 22-0234

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Paul

Thanks for the message, I have sent an email as a representation but unfortunately I missed spelled Michael's surname. Please find amended representation below.

Best wishes

Robert

We would like to make a representation to the Council regarding PLN-22-0234.

As owners of the Clairville historic site we are concerned that there was no discussion in the published documents about complying with NOR-S1.7.11, especially as the development will be well within the 100m zone around Clairville.

We are also concerned about the increased risk to our security because of the development on what was once farm land. We were unable to see from the published documents the type and scale of fencing proposed for the site.

We also understand that the Translink area has a restriction relating to noise and wonder if this provision is highlighted the permit?

Yours sincerely,

Robert Henley and Michael McWilliam

Clairville
198 Evandale Road
Western Junction. 7212

On 21 Mar 2023, at 3:00 pm, NMC Planning <planning@nmc.tas.gov.au> wrote:

Dear Mr Henley and Mr McWilliams,

As advised by Rosemary below, the application has been referred to Council's Heritage Advisor for assessment against the Tasmanian Planning Scheme - Northern Midlands, to ensure that it complies with the relevant clauses with regards to Clairville.

If you would like to lodge a representation to this application, it will need to be addressed to the General Manager and received by the end of Wednesday 22 March 2023.

Yours sincerely,

Paul Godier

Senior Planner | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
W: www.northernmidlands.tas.gov.au

-----Original Message-----

From: NMC Planning <planning@nmc.tas.gov.au>
Sent: Friday, March 17, 2023 10:33 AM
To: robert henle
Subject: RE: PLN 22-0234

Good morning Mr Henley & Mr Williams,
Thank you for your email. I have passed your query onto Council's Senior Planner. I do note that the application has been referred to Council's Heritage Advisor for assessment against the Tasmanian Planning Scheme - Northern Midlands, to ensure that it complies with the relevant clauses with regards to Clairville.
Kind regards,

Rosemary Jones

Administration Officer - Community & Development | Northern Midlands Council Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
W: www.northernmidlands.tas.gov.au

-----Original Message-----

From: robert henley
Sent: Friday, March 17, 2023 10:08 AM
To: NMC Planning <planning@nmc.tas.gov.au>
Subject: PLN 22-0234

Dear Mayor and Councillors

In response to the above DA for a Wool Storage facility we are concerned that the published document does not address the Heritage provisions for the site, namely NOR-S1.7.11 in relation to Clairville historic site. Could you please advise how/when this Heritage provision will be addressed and assessed?

Best wishes

Robert Henley and Michael McWilliams

198 Evandale Road
Western Junction

Northern Midlands Council Confidentiality Notice and Disclaimer:

The information in this transmission, including attachments, may be confidential (and/or protected by legal professional privilege), and is intended only for the person or persons to whom it is addressed. If you are not such a person, you are warned that any disclosure, copying or dissemination of the information is unauthorised. If you have received the transmission in error, please advise this office by return email and delete all copies of the transmission, and any attachments, from your records. No liability is accepted for unauthorised use of the information contained in this transmission. Any content of this message and its attachments that does not relate to the official business of the Northern Midlands Council must be taken not to have been sent or endorsed by it or its officers unless expressly stated to the contrary. No warranty is made that the email or attachment(s) are free from computer viruses or other defects.

Rosemary Jones

From: George Walker
Sent: Friday, 24 March 2023 12:29 PM
To: NMC Planning
Cc: Rob Calvert; Alistair Calvert; Chester Bullock; Gavin Nation
Subject: (ECM:1290403) RE: Letter to Applicant - Representation Received to PLN23-0234
Attachments: Letter to Applicant - Representation Received to PLN23-0234.pdf; EOT Proforma - PLN22-0234.pdf; 1. Redacted.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon Karen,

Thank you for your email detailing the representation that has been received in relation to our application.

We would like to take up Council's offer of mediation with the representor which, if there is agreement, would avoid the need for the application to be determined at a Council meeting. The background and initial terms of our position with respect to mediation are as follows:

Representors Concerns

1. The representor has correctly identified that the Proposal will be within 100m of the historic Clairville property and that the application material has not specifically addressed clause NOR-S1.7.11 of the *Tasmanian Planning Scheme – Northern Midlands ('the Scheme')*.
2. The representor raised a concern with respect to security of their property noting that no information was provided detailing the type and scale of (any) fencing around the site.
3. The representor queried whether the restriction relating to noise within the Translink Specific Area Plan ('SAP') had been addressed within the application or by a condition on any permit.

Response to Representors Concerns

4. The application did not include a specific assessment of clause NOR-S1.7.11 of the Scheme. Notwithstanding, it is contended that the proposal will be sympathetic to the cultural significance of the (Clairville) site through the provision of a 10m setback between the rear building and the nearest boundary to Clairville. This setback is increased to 16m when incorporating the lot that will be used for Council stormwater management that will be created as part of the broader subdivision application. Land between the building and the rear boundary will contain a stormwater detention basin. Notwithstanding, we propose the following additional solution to address clause NOR-S1.7.11 and the concerns raised by the representor:
 - a. Inclusion, by way of a permit condition, landscaping along the rear boundary of the site between the rear boundary and stormwater detention basin. The landscaping area will have a width of approximately 3m and we are prepared for the landscaping to include native plants that are capable of growing to a height (4m-6m) that provides an adequate screen between the historic Clairville property and development contained within the site.
5. With respect to security fencing, all boundaries that do not currently contain a fence, will be provided with a 2.1m high chain mesh fence. We are happy for this to be included as a condition to any permit.

6. We understand that the provision relating to noise impacts within the Translink SAP is clause NOR-S1.7.10 A3. This clause states *that development of those sites closest to the Devon Hills must demonstrate how noise emissions will be managed so that at the boundaries of the nearest house they do not exceed 40 dB(A) between the hours of 7:00am and 7:00pm and 35 dB(A) between the hours of 7:00pm and 7:00am.* In this instance, the proposed development will be located on a lot that is on the opposite side of the new local road to the lots that are closest to Devon Hills. On this basis, the provision will not be applicable to the proposed use and development.

We would welcome our correspondence being provided to the representor for their consideration.

Please let me know if any additional information is required at this stage.

Regards,

George



George Walker
Director | Planning Consultant

Measured form and function

Tamar Suite 103, The Charles
287 Charles Street, Launceston 72
PO Box 63, Riverside 7250
P 03 6332 3300
E gwalker@6ty.com.au
W 6ty.com.au
ARCHITECTURE | SURVEYING |

CONFIDENTIALITY NOTICE AND DISCLAIMER The information in this transmission may be confidential and/or protected by legal professional privilege. If you are not such a person, you are warned that any disclosure, copying or dissemination of the information is unauthorised.

If you have received the transmission in error, please immediately contact this office by telephone, fax or email, to inform us of the error and to enable destruction of the transmission, or its return at our cost. No liability is accepted for any unauthorised use of the information contained in this transmission.



From: NMC Planning <planning@nmc.tas.gov.au>
Sent: Thursday, March 23, 2023 3:08 PM
To: George Walker <gwalker@6ty.com.au>

Cc: ben@humphreysre.com.au

Subject: Letter to Applicant - Representation Received to PLN23-0234

This message was sent from outside your organisation. Do not click links or open attachments unless you know the content is safe.

Good afternoon

Please see attached important information in relation to your planning application PLN22-0234.

Kind regards
Karen

Karen Jenkins



Administration Officer - Community & Development | Northern
Midlands Council

Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301

T: (03) 6397 7303 | F: (03) 6397 7331

W: www.northernmidlands.tas.gov.au



**employer
of choice**

Northern Midlands Council Confidentiality Notice and Disclaimer:

The information in this transmission, including attachments, may be confidential (and/or protected by legal professional privilege), and is intended only for the person or persons to whom it is addressed. If you are not such a person, you are warned that any disclosure, copying or dissemination of the information is unauthorised. If you have received the transmission in error, please advise this office by return email and delete all copies of the transmission, and any attachments, from your records. No liability is accepted for unauthorised use of the information contained in this transmission. Any content of this message and its attachments that does not relate to the official business of the Northern Midlands Council must be taken not to have been sent or endorsed by it or its officers unless expressly stated to the contrary. No warranty is made that the email or attachment(s) are free from computer viruses or other defects.

NORTHERN MIDLANDS COUNCIL

REPORT FROM: HERITAGE ADVISER, DAVID DENMAN
DATE: 7 March 2023
REF NO: PLN-22-0234; 201800.092
SITE: Approved Lot 2 at Evandale Road (folio of the Register 182274/2) adjacent to Translink Avenue South, Western Junction
PROPOSAL: Development for wool storage, packaging and distribution, illuminated pylon sign (vary height and dimensions), wall sign (vary provisions), vary parking provisions
APPLICANT: 6ty° Pty Ltd
REASON FOR REFERRAL: Local Historic Heritage Code

Do you have any objections to the proposal: **No, subject to conditions**

NOR-S1.7.11 Heritage

Developments within 100m of the historic Clairville property contained on Folio of the Register 108432/1, must be sympathetic to the cultural significance of the site and Council may require additional landscaping, mounding or other measures to ameliorate potential impacts.

Comments

The proposed development adjoins approximately one third of the northern end of the Clairville site southwest (rear) boundary. The front orientation of Clairville House faces Evandale Road which has extensive mature landscape trees and hedges that limit public views to the house from Evandale Road. The proposed development will not have any impact on the views of Clairville from Evandale Road.

There is an open landscape buffer zone about 80.0m wide between the historic Clairville house building and the subject site boundary.

The historic landscape context of the Clairville property has been loss due to the existing and pending development that surrounds the site. The Industrial Zone wraps it completely, except of course for the scenic advantage that it gains from Evandale Road, and the Airport opposite.

The scale form and architectural style of the proposed wool storage shed is clearly not sympathetic with the historic cultural heritage significance of the historic Clairville property. Due to functional requirements, it would not be prudent or feasible to amend the design of the proposed Wool Store

Building. However, if council decides to approve this application the follow mitigation measures are recommended.

Increase the rear setback to allow space for a 6.0m wide screen planting of an evergreen native trees belt adjoining the proposed detention basin area, that will grow to approximately 5-8m, to provide some visual shielding - a backdrop to 'Clairville'.

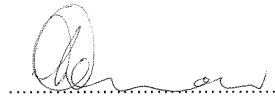
The wall colour of the rear wall of the proposed building that adjoins the green belt screen should be painted in an approved colour that blends with the green landscaping.

Suitable security fencing be installed on the boundary adjoining Cairville property>

Email referral as word document to David Denman – david@denman.studio

Attach public exhibition documents

Subject line: Heritage referral PLN-22-0234 - Approved Lot 2 at Evandale Road (folio of the Register 182274/2) adjacent to Translink Avenue South, Western Junction



David Denman (Heritage Adviser)

Date: 28/03/2023

Paul Godier

From: David Denman
Sent: Wednesday, 5 April 2023 8:48 PM
To: Paul Godier
Cc: Christie Denman
Subject: RE: PLN-22-0234 - Wool storage proposal - heritage adviser's comments

Categories: Sent to ECM

Thanks Paul,
A 3m minimum width for the screen planting would be acceptable however, as mentioned by the applicant 4m would be better if they can achieve it.
Regards,
David

From: Paul Godier
Sent: Tuesday, April 4, 2023 1:37 PM
To: David Denman
Cc: Christie Denman
Subject: FW: PLN-22-0234 - Wool storage proposal - heritage adviser's comments

Hello David, I have attached your referral response which recommends:

Increase the rear setback to allow space for a 6.0m wide screen planting of an evergreen native trees belt adjoining the proposed detention basin area, that will grow to approximately 5-8m, to provide some visual shielding - a backdrop to 'Clairville'.

The applicant advises as below, and asks if a 3m width for screen planting would be acceptable.

Can you please advise me if 3m would be acceptable.

Thanks,

Paul Godier



Senior Planner | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
W: www.northernmidlands.tas.gov.au



From: George Walker
Sent: Tuesday, April 4, 2023 12:58 PM
To: Paul Godier
Subject: RE: PLN-22-0234 - Wool storage proposal - heritage adviser's comments

Hi Paul,

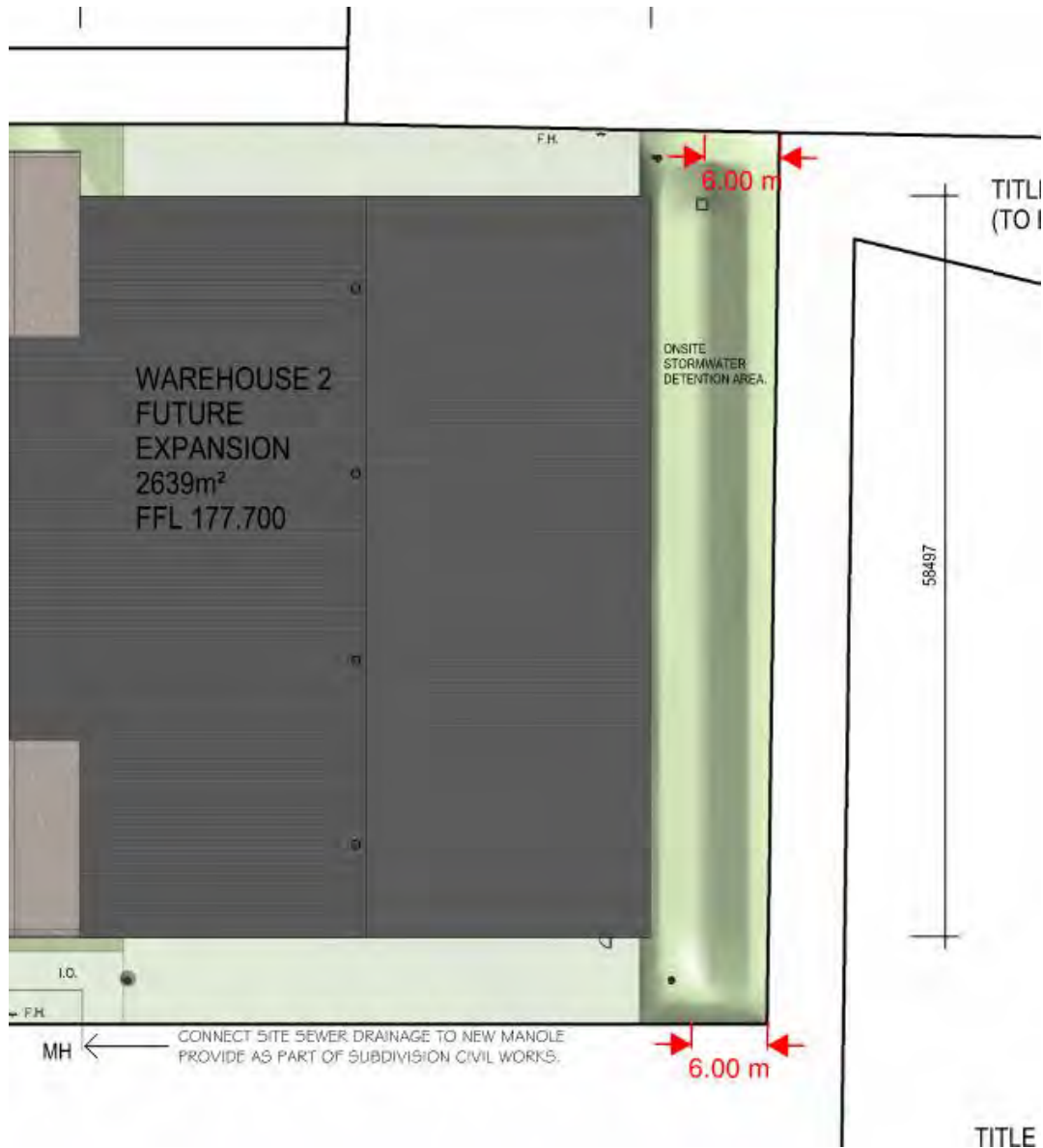
Thank you for your email. We are supportive of the condition however the 6m width will have some reasonably implications for the current design (see image below). The 6m width will eat into the stormwater detention

basin. We may be able to change the length and shape of the basin subject to final stormwater design calculations, however, it appears difficult to configure the detention basin if we were to have a 6m wide screen.

I think 3m is definitely achievable, and possibly 4m, subject to the configuration of the detention basin. Would this be acceptable to Council?

Regards,

George



From: Paul Godier
Sent: Tuesday, April 4, 2023 12:44 PM
To: George Walker
Subject: PLN-22-0234 - Wool storage proposal - heritage adviser's comments

This message was sent from outside your organisation. Do not click links or open attachments unless you know the content is safe.

Dear George, please see the attached advice from Council's heritage adviser.

Regarding mediation with the representor, can you please advise if you are willing to accept a permit condition that would require amended plans showing:

- The rear setback increased to allow for a 6m wide screen planting of evergreen native trees as recommended by council's heritage adviser.

Regards,

Paul Godier



Senior Planner | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
W: www.northernmidlands.tas.gov.au

Tasmania's Historic Heart

**employer
of choice**

Northern Midlands Council Confidentiality Notice and Disclaimer:

The information in this transmission, including attachments, may be confidential (and/or protected by legal professional privilege), and is intended only for the person or persons to whom it is addressed. If you are not such a person, you are warned that any disclosure, copying or dissemination of the information is unauthorised. If you have received the transmission in error, please advise this office by return email and delete all copies of the transmission, and any attachments, from your records. No liability is accepted for unauthorised use of the information contained in this transmission. Any content of this message and its attachments that does not relate to the official business of the Northern Midlands Council must be taken not to have been sent or endorsed by it or its officers unless expressly stated to the contrary. No warranty is made that the email or attachment(s) are free from computer viruses or other defects.

Northern Midlands Council Confidentiality Notice and Disclaimer:

The information in this transmission, including attachments, may be confidential (and/or protected by legal professional privilege), and is intended only for the person or persons to whom it is addressed. If you are not such a person, you are warned that any disclosure, copying or dissemination of the information is unauthorised. If you have received the transmission in error, please advise this office by return email and delete all copies of the transmission, and any attachments, from your records. No liability is accepted for unauthorised use of the information contained in this transmission. Any content of this message and its attachments that does not relate to the official business of the Northern Midlands Council must be taken not to have been sent or endorsed by it or its officers unless expressly stated to the contrary. No warranty is made that the email or attachment(s) are free from computer viruses or other defects.



P.O. BOX 1220
LAUNCESTON, TASMANIA 7250
PHONE: (03) 6391 6222
FAX: (03) 6391 8580

31 March 2023

Karen Jenkins
Administration Officer
Northern Midlands Council
13 Smith Street
LONGFORD TAS 7301

Dear Karen

RE: Planning Application Planning Application PLN-22-0234 – Development for Wool Storage – Lot 2 at Evandale Road (adjacent to Translink Avenue South), Western Junction

I refer to the above development application and after review of the proposal and prescribed airspace regulations, provide the following comments:

- The application is not affected by the ANEF contours as mapped and laid out in the Launceston Airport Masterplan 2020 and the development is not residential;
- At a maximum height of 185.7m AHD (top of the pylon sign), the proposal does not infringe the Launceston Airport Obstacle Limitation Surfaces (OLS), and;
- Any proposed landscaping may increase the risk of attracting wildlife.

Therefore, Launceston Airport does not object to the development application at **Lot 2 Evandale Road (adjacent to Translink Avenue South), Western Junction**, however requests the following be added as conditions to the planning permit:

1. Due to the proximity to the prescribed airspace surfaces (OLS) for Launceston Airport, any plant or equipment that extends to a height greater than the building development, during construction or operation, must be referred to Launceston Airport. Written approval must be received prior to use. Approval from CASA and Airservices Australia may be required, this process may take 12 weeks or longer to obtain.
2. Landscaping, certain planting, standing water and waste have the potential to attract wildlife which can increase the risk of wildlife transiting across aircraft flight paths. In relation to the proposed landscaping, Launceston Airport encourages the proponent to contact the Launceston Airport Operations Department and discuss options for reducing the risk associated with aircraft bird strikes.

If you or the applicant has any questions relating to the above comments, please don't hesitate in contacting me.

Yours sincerely

Ilya Brucksch
Head of Planning, Development and Customer
Australia Pacific Airports (Launceston) Pty. Ltd.

Exhibited

This planning application is open for
public comment until
01 May 2023

This application is being assessed under the Tasmanian
Planning Scheme - Northern Midlands

Reference no	PLN-22-0250
Site	1 COLLINS STREET PERTH
Proposed Development	2 lot subdivision (Vary lot size; Vary wastewater management)
Zone	11.0 Rural Living - Rural Living Zone A, C13.0 Bushfire-Prone Areas
Use class	Residential
Development Status	Discretionary

Written representations may be made during this time to the General Manager;
mailed to PO Box 156, Longford, Tasmania 7301,
delivered to Council offices or
a pdf letter emailed to planning@nmc.tas.gov.au

(no special form required)

Exhibited

PLANNING APPLICATION Proposal

Description of proposal: 2 Lot Subdivision

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 1 Collins Street, Perth

.....

CT no: F/R 17456/2

Estimated cost of project \$..... (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / ~~XXX~~
If yes – main building is used as Residential

If variation to Planning Scheme provisions requested, justification to be provided:
Northern Midlands (TPS) 11.5.1 Lot Design Performance Criteria P1
Lot 1 & Lot 2 have sufficient useable area & dimensions suitable for their intended residential uses, having regard to P1 items (a), (b), (c), (d), (e) & (f) and both lots are not more than 20% smaller than the 1.00ha lot size required by clause 11.5.1 A1

Northern Midlands (TPS) 11.5.1 Lot Design Performance Criteria P2
Lot 1 is provided with a connection to and frontage to a public road by Right of Carriageway 5 metres wide, that is sufficient for the intended use having regard to P2 items (a), (b), (c), (d), (e) & (f) and is in excess of 3.6 metres wide

(attach additional sheets if necessary)

Is any signage required? No
(if yes, provide details)



FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Owner: ORANA COURT PTY. LTD.	PLAN OF SURVEY by Surveyor of land situated in the	Registered Number: P.17456
Title Reference: CONV. 53/2867	LAND DISTRICT OF CORNWALL	Effective from: 30 MAR 1982
Grantee: WHOLE OF LOTS 14 & 15, 2-0-0 EACH, GTD. TO GEORGE STANCOMBE, LOTS 17-19, 12-0-0 & LOT 16, 2-0-0, GTD. TO JOHN COLLINS, LOTS 1, 2 & 13, 11-3-10, 11-3-32 & 1-0-0, GTD. TO HENRY PYE	PARISH OF PERTH Scale 1:3000 Measurements in Metres	<i>Brown</i> ACTING DEPUTY Recorder of Titles

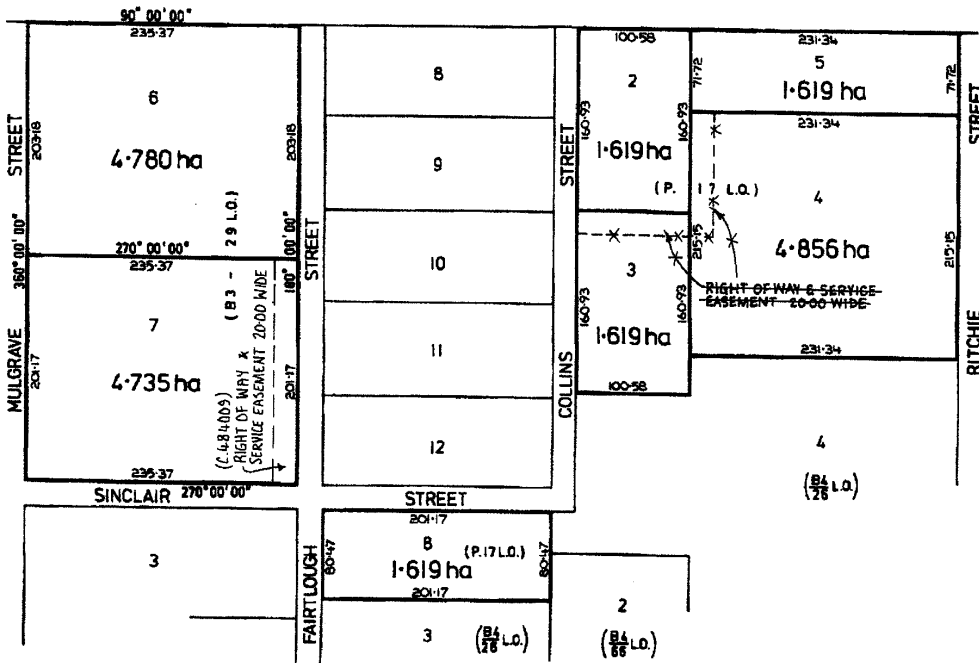
COMPILED PLAN

M664906 RELEASE OF EASEMENT
RIGHT OF WAY & SERVICE EASEMENT 20.00
WIDE PASSING THROUGH LOT 4 IS RELEASED
PURSUANT TO SECTION 108 LAND TITLES ACT 1980
Alice Kawa 25 JUN 2018
Recorder of Titles Date

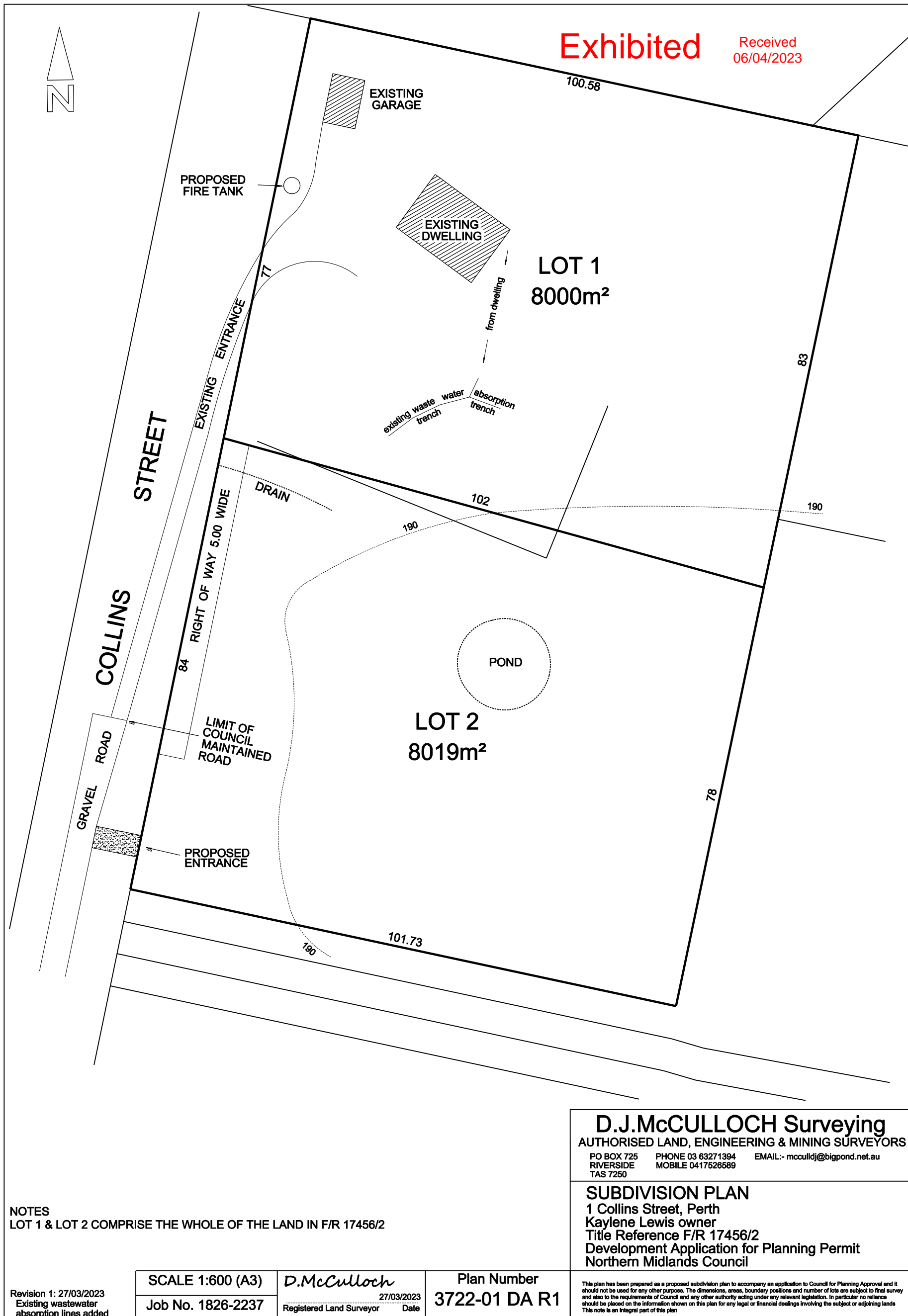
M650475 & M692702 RELEASE OF EASEMENT
RIGHT OF WAY & SERVICE EASEMENT 20.00
WIDE PASSING THROUGH LOT 3 IS RELEASED
PURSUANT TO SECTION 108 LAND TITLES ACT 1980
Alice Kawa 25 JUN 2018
Recorder of Titles Date

(D . 1 7 4 5 5)

(S . P . 3 3 7 8 2)



(P1172A9)



NOTES
LOT 1 & LOT 2 COMPRISE THE WHOLE OF THE LAND IN F/R 17456/2

Revision 1: 27/03/2023
Existing wastewater absorption lines added

SCALE 1:600 (A3)	<i>D. McCulloch</i>
Job No. 1826-2237	27/03/2023 Registered Land Surveyor Date

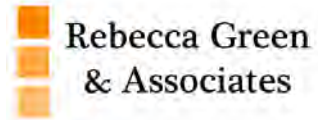
Plan Number
3722-01 DA R1

D.J. McCULLOCH Surveying
AUTHORISED LAND, ENGINEERING & MINING SURVEYORS
PO BOX 725 RIVERSIDE TAS 7250
PHONE 03 63271394 MOBILE 0417526589
EMAIL:- mcculdj@bigpond.net.au

SUBDIVISION PLAN
1 Collins Street, Perth
Kaylene Lewis owner
Title Reference F/R 17456/2
Development Application for Planning Permit
Northern Midlands Council

This plan has been prepared as a proposed subdivision plan to accompany an application to Council for Planning Approval and it should not be used for any other purpose. The dimensions, areas, boundary positions and number of lots are subject to final survey and also to the requirements of Council and any other authority acting under any relevant legislation. In particular no reliance should be placed on the information shown on this plan for any legal or financial dealings involving the subject or adjoining lands. This note is an integral part of this plan.

Exhibited

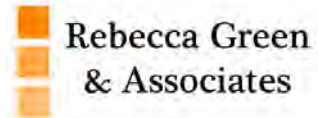


Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan

1 Collins Street, Perth



Exhibited



Prepared for (Client)

D.J. McCulloch Surveying

PO Box 725

RIVERSIDE TAS 7250

Assessed & Prepared by

Rebecca Green

Senior Planning Consultant & Accredited Bushfire Hazard Assessor

Rebecca Green & Associates

PO Box 2108 LAUNCESTON TAS 7250

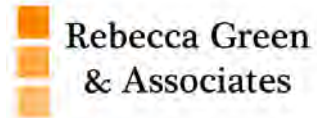
Mobile: 0409 284 422

Version 1

9 November 2022

Job No: RGA-B2174

Exhibited



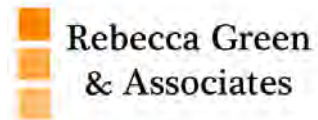
Executive Summary

The proposed development at 1 Collins Street, Perth, is subject to bushfire threat. A bushfire attack under extreme fire weather conditions is likely to subject buildings at this site to considerable radiant heat, ember attack along with wind and smoke.

The site requires bushfire protection measures to protect the buildings and people that may be on site during a bushfire.

These measures include provision of hazard management areas in close proximity to the buildings, implementation of safe egress routes, establishment of a water supply and construction of buildings as described in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas.

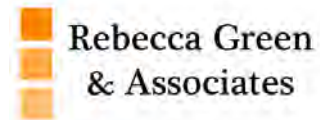
Exhibited



Contents

Executive Summary	3
Schedule 1 – Bushfire Report	5
1.0 Introduction	5
2.0 Site Description for Proposal (Bushfire Context)	6
3.0 Bushfire Site Assessment	7
3.1 Vegetation Analysis	7
3.2 BAL Assessment – Subdivision	10
3.3 Outbuildings	11
3.4 Road Access	12
3.5 Water Supply	13
4.0 Bushfire-Prone Areas Code Assessment Criteria	15
5.0 Layout Options	16
6.0 Other Planning Provisions	16
7.0 Conclusions and Recommendations	17
Schedule 2 – Bushfire Hazard Management Plan	18
Form 55	19
Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code	22
Attachment 2 – AS3959-2018 Construction Requirements	27
Attachment 3 – Proposal Plan	28
Attachment 4 – Tasmania Fire Service Water Supply Signage Guideline	29
References	30

Exhibited



Schedule 1 – Bushfire Report

1.0 Introduction

The Bushfire Attack Level (BAL) Report and Bushfire Hazard Management Plan (BHMP) has been prepared for submission with a Planning Permit Application under the *Land Use Planning and Approvals Act 1993; Bushfire-Prone Areas Code* and/or a Building Permit Application under the *Building Act 2016 & Regulations 2016*.

The Bushfire Attack Level (BAL) is established taking into account the type and density of vegetation within 100 metres of the proposed building site and the slope of the land; using the simplified method in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas; and includes:

- The type and density of vegetation on the site,
- Relationship of that vegetation to the slope and topography of the land,
- Orientation and predominant fire risk,
- Other features attributing to bushfire risk.

On completion of assessment, a Bushfire Attack Level (BAL) is established which has a direct reference to the construction methods and techniques to be undertaken on the buildings and for the preparation of a Bushfire Hazard Management Plan (BHMP).

1.1 Scope

This report was commissioned to identify the Bushfire Attack Level for the existing property. ALL comment, advice and fire suppression measures are in relation to compliance with *Bushfire-Prone Areas Code* of the Tasmanian Planning Scheme – Northern Midlands, the Building Code of Australia and Australian Standards, *AS 3959-2018, Construction of buildings in bushfire-prone areas*.

1.2 Limitations

The inspection has been undertaken and report provided on the understanding that:-

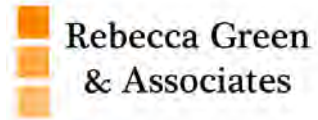
1. The report only deals with the potential bushfire risk, all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.
3. Impacts of future development and vegetation growth have not been considered.

No action or reliance is to be placed on this report; other than for which it was commissioned.

1.3 Proposal

The proposal is for the development of a 2 Lot Subdivision.

Exhibited



2.0 Site Description for Proposal (Bushfire Context)

2.1 Locality Plan

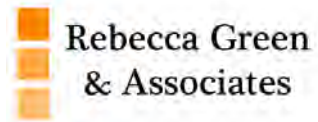


Figure 1: Location Plan of 1 Collins Street, Perth

2.2 Site Details

Property Address	1 Collins Street, Perth
Certificate of Title	Volume 17456 Folio 2
Owner	Kaylene Ann Lewis
Existing Use	Dwelling
Type of Proposed Work	2 Lot Subdivision
Water Supply	On-site for fire fighting
Road Access	Collins Street

Exhibited

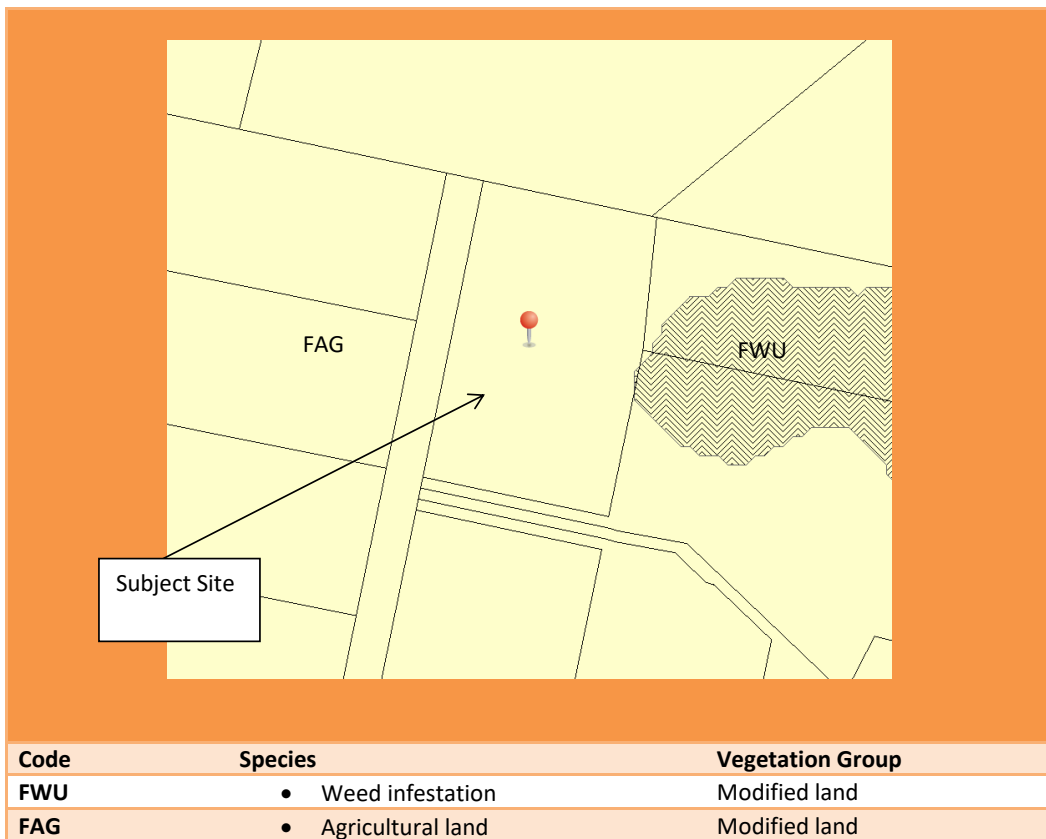


3.0 Bushfire Site Assessment

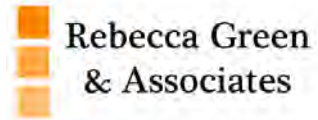
3.1 Vegetation Analysis

3.1.1 TasVeg Classification

Reference to Tasmanian Vegetation Monitoring & Mapping Program (TASVEG) indicates the land in and around the property is generally comprising of varying vegetation types including:



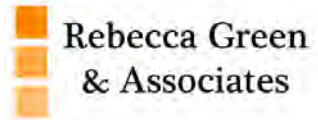
Exhibited



3.1.2 Site & Vegetation Photos



Exhibited



Looking south of Lot 2



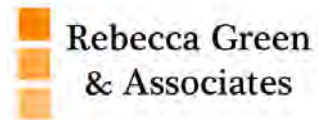
Looking east of Lot 2



Looking west of Lot 2 and Collins Street



Exhibited



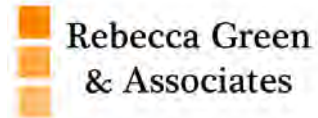
3.2 BAL Assessment – Subdivision

The Acceptable Solution in Clause 13.6.1, C13.0 Bushfire-Prone Areas Code requires all lots within the proposed subdivision to demonstrate that each lot can achieve a Hazard Management Area between the bushfire vegetation and each building on the lot with distances equal to or greater than those specified in Table 2.6 of AS3959-2018 Construction of Buildings in Bushfire Prone Areas for **BAL 19/BAL 12.5**.

Lot 1

Vegetation classification AS3959	North <input type="checkbox"/> North-East <input checked="" type="checkbox"/>	South <input type="checkbox"/> South-West <input checked="" type="checkbox"/>	East <input type="checkbox"/> South-East <input checked="" type="checkbox"/>	West <input type="checkbox"/> North-West <input checked="" type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input checked="" type="checkbox"/> Woodland	<input checked="" type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland	<input type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input checked="" type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Distance to classified vegetation	0-approx. 12m managed >12m to grassland	0-approx. 21m managed 21-<50m grassland >50m woodland	0-approx. 20m managed >20m woodland/managed	0-approx. 38m managed >38m to grassland
REQUIRED Distance to classified vegetation for BAL 19	10-<14m	18-<26m	15-<22m	10-<14m

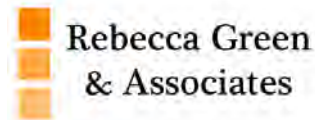
Exhibited



Lot 2

Vegetation classification AS3959	North <input checked="" type="checkbox"/> North-East <input type="checkbox"/>	South <input checked="" type="checkbox"/> South-West <input type="checkbox"/>	East <input checked="" type="checkbox"/> South-East <input type="checkbox"/>	West <input checked="" type="checkbox"/> North-West <input type="checkbox"/>
Group A	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest	<input type="checkbox"/> Forest
Group B	<input type="checkbox"/> Woodland	<input checked="" type="checkbox"/> Woodland	<input checked="" type="checkbox"/> Woodland	<input type="checkbox"/> Woodland
Group C	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land	<input type="checkbox"/> Shrub-land
Group D	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub	<input type="checkbox"/> Scrub
Group E	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga	<input type="checkbox"/> Mallee-Mulga
Group F	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest	<input type="checkbox"/> Rainforest
Group G	<input checked="" type="checkbox"/> Grassland	<input type="checkbox"/> Grassland	<input type="checkbox"/> Grassland	<input checked="" type="checkbox"/> Grassland
	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input type="checkbox"/> Managed Land	<input checked="" type="checkbox"/> Managed Land
Effective slope (degrees)	<input checked="" type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°	<input type="checkbox"/> Up/0°	<input checked="" type="checkbox"/> Up/0°
	<input type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°	<input checked="" type="checkbox"/> >0-5°	<input type="checkbox"/> >0-5°
	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°	<input type="checkbox"/> >5-10°
	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°	<input type="checkbox"/> >10-15°
	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°	<input type="checkbox"/> >15-20°
Likely direction of bushfire attack	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Prevailing winds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Distance to classified vegetation	0m to grassland	0m to woodland	0m to woodland	0m to grassland
REQUIRED Distance to classified vegetation for BAL 12.5	14-<50m	22-<100m	26-<100m	14-<50m

Exhibited



3.3 Outbuildings

Not applicable – existing.

3.4 Road Access

Roads are to be constructed to provide vehicle access to the site to assist firefighting and emergency personnel to defend the building or evacuate occupants; and provide access at all times to the water supply for firefighting purposes on the building site.

Private access roads are to be maintained from the entrance to the property cross over with the public road through to the buildings on the site.

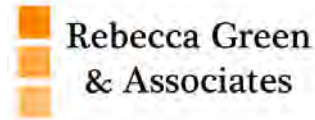
Lot 2 (new)	Private access driveways are to be <u>constructed / maintained</u> from the entrance of the property cross over at the public road through to any future habitable building and on-site dedicated firefighting water supply. Private access roads are to be maintained to a standard not less than specified in Table C13.2B.
Lot 1 (existing)	Private access driveways are to be <u>upgraded/maintained</u> from the entrance of the property cross over at the public road through to any future habitable building and on-site dedicated firefighting water supply. Private access roads are to be maintained to a standard not less than specified in Table C13.2B.

Table C13.2B: Standards for Property Access

The following design and construction requirements apply to property access length is 30 metres or greater or access for a fire appliance to a fire fighting point:

- (a) All weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3 degrees (1:20 or 5%);
- (g) Dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - i) A turning circle with a minimum inner radius of 10 metres;
 - ii) A property access encircling the building; or
 - iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.

Exhibited



3.5 Water Supply

A building that is constructed in a designated bushfire prone area must provide access at all times to a sufficient supply of water for firefighting purposes on the building site.

The exterior elements of a Habitable building in a designated Bushfire prone area must be within reach of a 120m long hose (lay) connected to –

- (i) A fire hydrant with a minimum flow rate of 600L per minute and pressure of 200kpa; or
- (ii) A stored water supply in a water tank, swimming pool, dam or lake available for firefighting at all times which has the capacity of at least 10,000L for each separate building.

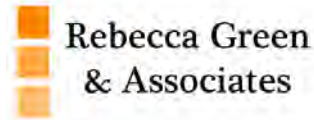
Lot 2 – Static Water Supply (new)	<p>On-site water supply is required for any new habitable building.</p> <p>A water tank of at least 10,000 litres per building area to be protected and above ground pipes and fittings used for a stored water supply must be of non-rusting, non-combustible, non-heat-deforming materials and must be situated more than 6m from a building area to be protected.</p>
Lot 1 – Static Water Supply (new)	<p>On-site water supply is required for the existing habitable building prior to Final Plan of Survey for subdivision to be signed off by Council. The existing tanks are poly and provide domestic water supply.</p> <p>A water tank of at least 10,000 litres per building area to be protected and above ground pipes and fittings used for a stored water supply must be of non-rusting, non-combustible, non-heat-deforming materials and must be situated more than 6m from a building area to be protected.</p>

It should be recognised that although water supply as specified above may be in compliance with the requirements of the Building Code of Australia, the supply may not be adequate for all firefighting situations.

Table C13.5: Static Water Supply for Fire Fighting

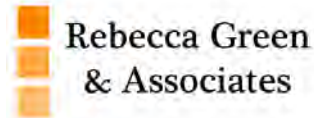
Column 1		Column 2
Element		Requirement
A.	Distance between building area to be protected and water supply	The following requirements apply: <ul style="list-style-type: none"> (a) The building area to be protected must be located within 90 metres of the fire fighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
B.	Static Water Supplies	A static water supply: <ul style="list-style-type: none"> (a) May have a remotely located offtake connected to the static water supply;

Exhibited



		<ul style="list-style-type: none"> (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018 the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by: <ul style="list-style-type: none"> (i) Metal; (ii) Non-combustible material; or (iii) Fibre-cement a minimum 6mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a fire fighting water point for a static water supply must:</p> <ul style="list-style-type: none"> (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) if buried, have a minimum depth of 300mm; (e) Provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (i) If a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (i) Visible; (ii) Accessible to allow connection by fire fighting equipment; (iii) At a working height of 450-600mm above ground level; and (iv) Protected from possible damage, including damage from vehicles.
D.	Signage for static water connections	<p>The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with:</p> <ul style="list-style-type: none"> (a) water tank signage requirements within AS 2304-2011 Water storage tanks for fire protection

Exhibited



		systems; or (b) <i>Water Supply Signage Guideline</i> , version 1.0, Tasmanian Fire Service, February 2017.
E.	Hardstand	A hardstand area for fire appliances must be provided: (1) No more than 3m from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (2) No closer than 6m from the building area to be protected; (3) a minimum width of 3m constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access.

4.0 Bushfire-Prone Areas Code Assessment Criteria

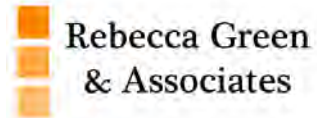
Assessment has been completed below to demonstrate the BAL and BHMP have been developed in compliance with the Acceptable Solutions and/or the Performance Criteria as specified in the Bushfire-Prone Areas Code.

C13.4 – Exemptions – Not applicable.

C13.6 Development Standards for Subdivision

C13.6.1 Provision of hazard management areas		
		Comments
<input checked="" type="checkbox"/>	A1 (a) & (b)	Specified distances for Hazard Management Areas for BAL 19 (Lot 1) and BAL 12.5 (Lot 2) as specified on the plan are in accordance with AS3959. The proposal complies.
<input type="checkbox"/>	P1	
C13.6.2 Public and fire fighting access		
		Comments
<input type="checkbox"/>	A1 (a)	Not applicable.
<input checked="" type="checkbox"/>	A1 (b)	The private driveway to Lot 1 will need to be upgraded (to ensure minimum width) prior to the Final Plan of Survey being signed off by Council in accordance with Table C13.2B. The property access is less than 200 metres, but greater than 30m. The private driveway to Lot 2 will be constructed in accordance with Table C13.2B. The property access is likely to be less than 200 metres, but greater than 30m.
<input type="checkbox"/>	P1	
<input checked="" type="checkbox"/>	A2	Not applicable.
<input type="checkbox"/>	P2	No PC
C13.6.3 Provision of water supply for fire fighting purposes		
		Comments
<input type="checkbox"/>	A1 (a)	Not applicable

Exhibited



	(b)	Not applicable.
<input type="checkbox"/> P1	No PC	
<input checked="" type="checkbox"/> A2	(a) (b)	Not applicable. Any new habitable building on Lot 2, at building application stage provided with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table C13.5 shall be considered. The existing dwelling on Lot 1, although provided with existing tanks, this is not to be dedicated for fire fighting purposes as these are poly, therefore a new tank is to be provided with a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table C13.5 be provided to Lot 1 prior to the Final Plan of Survey being signed off by Council.
<input type="checkbox"/> A2	(c)	Not applicable.
<input type="checkbox"/> P2	No PC	

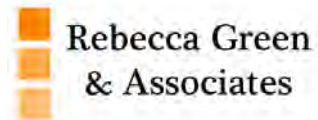
5.0 Layout Options

Not relevant to this proposal.

6.0 Other Planning Provisions

Not relevant to this proposal.

Exhibited



7.0 Conclusions and Recommendations

Mitigation from bushfire is dependent on the careful management of the site by maintaining reduced fuel loads within the hazard management areas and within the site generally and to provide sources of water supply dedicated for firefighting purposes and the construction and maintenance of a safe egress route.

The site has been assessed as demonstrating a building area that have the dimensions equal to or greater than the separation distance required for BAL 19 (Lot 1) BAL 12.5 (Lot 2) in Table 2.6 of AS 3959 – 2018 Construction of Buildings in Bushfire Prone Areas.

Access

The existing private driveway to Lot 1 will be upgraded (to ensure min. 4m width of carriageway) in accordance with Table C13.2B prior to the final plan of survey being sealed by Council

The private driveway to Lot 2 will be constructed in accordance with Table C13.2B at the time of future habitable building.

Water Supplies

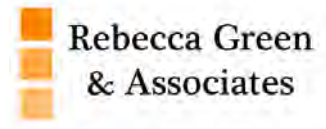
Any new habitable building on Lot 2 at building application stage provided with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table C13.5 shall be considered.

The existing dwelling on Lot 1, prior to the final plan of survey being sealed by Council, shall be provided with a stored water supply in a water supply tank at least 10,000 litres per building area to be protected, with a fitting suitable for TFS access in accordance with Table C13.5.

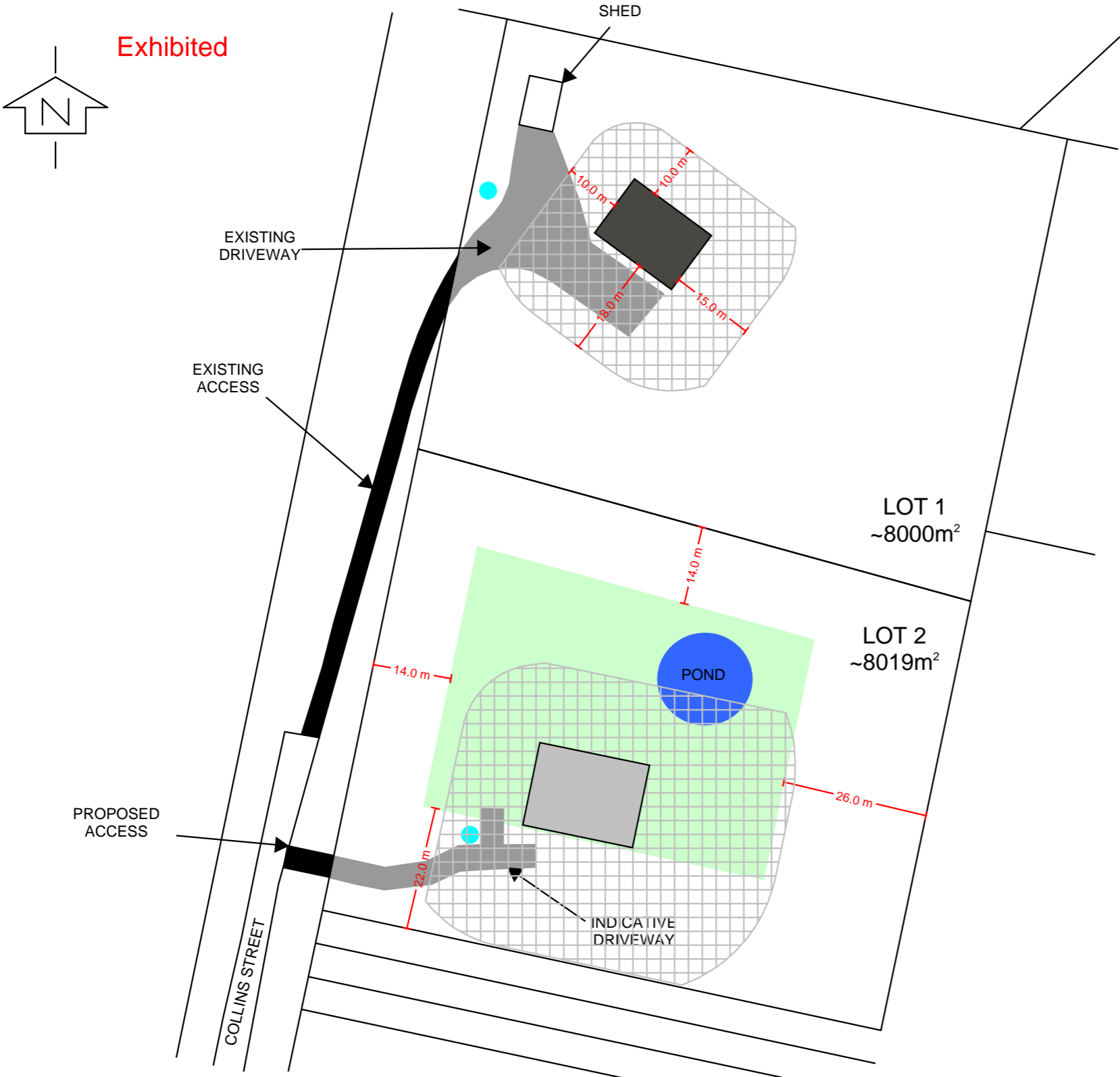
Fuel Managed Areas

Hazard Management Areas as detailed within the plan shall be constructed and maintained as detailed in Schedule 2. For Lot 2, Hazard Management Area to be established and maintained prior to the construction of any habitable building on the lot and managed into perpetuity. For Lot 1, Hazard Management Area is existing and must be managed prior to the final plan of survey being sealed by Council and be managed into perpetuity.






Exhibited



Schedule 2 – Bushfire Hazard Management Plan



LEGEND

-  INDICATIVE 15m X 20m DWELLING
-  HAZARD MANAGEMENT AREA
-  BAL 12.5 BUILDABLE AREA
-  PROPOSED STATIC WATER SUPPLY (SUGGESTED LOCATION)
-  EXISTING DWELLING

NOTES

- PROPERTY ACCESS & ROAD REQUIREMENTS TO BE IN ACCORDANCE WITH TABLE C13.2B - REFER TO SECTION 3.4 OF BUSHFIRE HAZARD ASSESSMENT REPORT
- FIREFIGHTING WATER SUPPLY TO BE IN ACCORDANCE WITH TABLE C13.5 - REFER TO SECTION 3.5 OF BUSHFIRE HAZARD ASSESSMENT REPORT
- HAZARD MANAGEMENT AREA TO BE MAINTAINED IN A MINIMUM FUEL CONDITION - REFER TO SECTION 3.2 OF BUSHFIRE HAZARD ASSESSMENT REPORT
- THIS BHMP MUST BE READ IN CONJUNCTION WITH BUSHFIRE HAZARD ASSESSMENT REPORT REF: RGA-B2174, R.GREEN, 9 NOVEMBER 2022
- THIS BHMP HAS BEEN PREPARED TO SATISFY THE REQUIREMENTS OF C13.0 BUSHFIRE - PRONE AREAS CODE OF TASMANIAN PLANNING SCHEME - NORTHERN MIDLANDS (EFFECTIVE 9 NOVEMBER 2022)

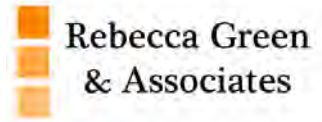
BUSHFIRE HAZARD MANAGEMENT PLAN
 BUSHFIRE ATTACK LEVEL (BAL) - 19 (LOT 1),
 BAL - 12.5 (LOT 2)
 2 LOT SUBDIVISION

1 COLLINS STREET, PERTH
 VOLUME 17456 FOLIO 2
 PROPERTY ID 1810451

DATE: 9 NOVEMBER 2022
 VERSION: 1
 DRAWN: REBECCA GREEN
 PHONE: 0409 284 422
 EMAIL: ADMIN@RGASSOCIATES.COM.AU
 BFP - 116, SCOPE - 1, 2, 3A, 3B, 3C



Exhibited



Form 55

Exhibited

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM		Section 321
To:	<input style="width: 95%;" type="text" value="D.J. McCulloch Surveying"/> <small>Owner /Agent</small> <input style="width: 95%;" type="text" value="PO Box 725"/> <small>Address</small> <input style="width: 45%;" type="text" value="RIVERSIDE TAS"/> <input style="width: 10%;" type="text" value="7250"/> <small>Suburb/postcode</small>	Form 55
Qualified person details:		
Qualified person:	<input style="width: 95%;" type="text" value="Rebecca Green"/>	
Address:	<input style="width: 95%;" type="text" value="PO Box 2108"/> <small>Phone No:</small> <input style="width: 15%;" type="text" value="0409 284 422"/> <input style="width: 45%;" type="text" value="Launceston"/> <input style="width: 10%;" type="text" value="7250"/> <small>Fax No:</small> <input style="width: 15%;" type="text"/>	
Licence No:	<input style="width: 45%;" type="text" value="BFP-116"/>	Email address: <input style="width: 95%;" type="text" value="admin@rgassociates.com.au"/>
Qualifications and Insurance details:	<input style="width: 95%;" type="text" value="Accredited to report on bushfire hazards under Part IVA of the Fire Services Act 1979"/>	
Speciality area of expertise:	<input style="width: 95%;" type="text" value="Analysis of hazards in bushfire prone areas"/>	
Details of work:		
Address:	<input style="width: 95%;" type="text" value="1 Collins Street"/> <small>Lot No:</small> <input style="width: 10%;" type="text" value="2"/> <input style="width: 45%;" type="text" value="PERTH"/> <input style="width: 10%;" type="text" value="7300"/> <small>Certificate of title No:</small> <input style="width: 15%;" type="text" value="17456"/>	
The assessable item related to this certificate:	<input style="width: 95%;" type="text" value="2 Lot Subdivision"/>	
<small>(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)</small> <small>(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)</small> <small>(description of the assessable item being certified)</small> <small>Assessable item includes –</small> <ul style="list-style-type: none"> - a material; - a design - a form of construction - a document - testing of a component, building system or plumbing system - an inspection, or assessment, performed 		
Certificate details:		
Certificate type:	<input style="width: 95%;" type="text" value="Bushfire Hazard"/>	
<small>(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)</small>		
This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)		
building work, plumbing work or plumbing installation or demolition work:		<input checked="" type="checkbox"/>
or		
a building, temporary structure or plumbing installation:		<input type="checkbox"/>

Exhibited

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan (Rebecca Green & Associates, 9 November 2022, Version 1, Job No. RGA-B2174)
Relevant	N/A
References:	<i>Tasmanian Planning Scheme – Northern Midlands, Bushfire-Prone Areas Code Australian Standard 3959-2018</i>


Substance of Certificate: (what it is that is being certified)

1. Assessment of the site Bushfire Attack Level (to Australian Standard 3959-2018)
2. Bushfire Hazard Management Plan showing BAL-19 (Lot 1) and BAL-12.5 (Lot 2) solutions.

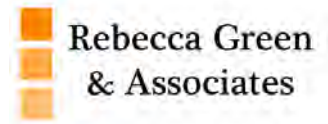
Scope and/or Limitations

<p>Scope</p> <p>This report and certification was commissioned to identify the Bushfire Attack Level for the existing property. <u>All</u> comment, advice and fire suppression measures are in relation to compliance with <i>Tasmanian Planning Scheme – Northern Midlands, Bushfire-Prone Areas Code C13.0</i>, the <i>Building Act 2016 & Regulations 2016</i>, <i>Building Code of Australia</i> and <i>Australian Standard 3959-2018, Construction of buildings in bushfire-prone areas</i>.</p> <p>Limitations</p> <p>The assessment has been undertaken and report provided on the understanding that:-</p> <ol style="list-style-type: none"> 1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this certificate. 2. The report only identifies the size, volume and status of vegetation at the time the inspection was undertaken and cannot be relied upon for any future development. 3. Impacts of future development and vegetation growth have not been considered. 4. No assurance is given or inferred for the health, safety or amenity of the general public, individuals or occupants in the event of a Bushfire. 5. No warranty is offered or inferred for any buildings constructed on the property in the event of a Bushfire. <p>No action or reliance is to be placed on this certificate or report; other than for which it was commissioned.</p>

I certify the matters described in this certificate.

	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
Qualified person:		RG-225/2022	9 November 2022

Exhibited



Attachment 1 – Certificate of Compliance to the Bushfire-prone Area Code

Exhibited

BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

1 Collins Street, Perth

Certificate of Title / PID:

CT17456/2, PID1810451

2. Proposed Use or Development

Description of proposed Use and Development:

2 Lot Subdivision

Applicable Planning Scheme:

Tasmanian Planning Scheme – Northern Midlands

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Subdivision Plan Job No: 1826-2237, Plan No: 3722-01 DA	D.J. McCulloch Surveying	04/11/2022	-
Bushfire Hazard Assessment Report	Rebecca Green	9 November 2022	1
Bushfire Hazard Management Plan	Rebecca Green	9 November 2022	1

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

Exhibited

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/>	E1.4 / C13.4 – Use or development exempt from this Code	
	Compliance test	Compliance Requirement
<input type="checkbox"/>	E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/>	E1.5.1 / C13.5.1 – Vulnerable Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/>	E1.5.2 / C13.5.2 – Hazardous Uses	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/>	E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance') <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by</i>

Exhibited

		<i>Rebecca Green & Associates, 9 November 2022 demonstrating BAL 19 for Lot 1, BAL 12.5 for Lot 2.</i>
<input type="checkbox"/>	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green & Associates, 9 November 2022.</i>

<input checked="" type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table <i>Refer to Bushfire Hazard Assessment Report & Bushfire Hazard Management Plan, prepared by Rebecca Green & Associates, 9 November 2022.</i>
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

Exhibited

5. Bushfire Hazard Practitioner

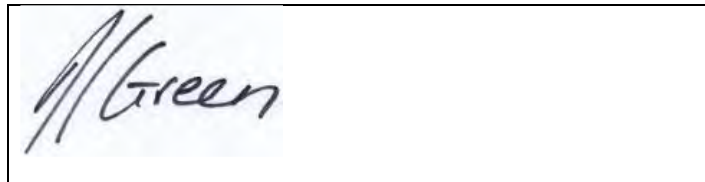
Name:	Rebecca Green	Phone No:	0409 284 422
Postal Address:	PO Box 2108 Launceston, Tas 7250	Email Address:	admin@rgassociates.com.au
Accreditation No:	BFP – 116	Scope:	1, 2, 3A, 3B, 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier

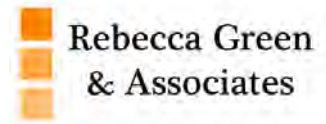


Name: Rebecca Green **Date:** 9 November 2022

Certificate Number: RGA-057/2022

(for Practitioner Use only)

Exhibited



Attachment 2 – AS3959-2018 Construction Requirements



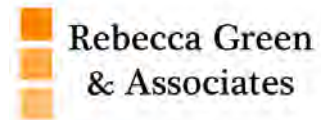
BAL Assessments

Revised for 2018 edition

	BAL—LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL—FZ (FLAMEZONE)
SUBFLOOR SUPPORTS	No special construction requirements	No special construction requirements	Enclosure by external wall or by steel, bronze or aluminium mesh	Enclosure by external wall or by steel, bronze of aluminium mesh. Non-combustible or naturally fire resistant timber supports where the subfloor is unenclosed	If enclosed by external wall refer below "External Walls" section in table or non-combustible sub-floor supports, or tested for bushfire resistance to AS1530.8.1	Enclosure by external wall or non-combustible with an FRL of 30/- or to be tested for bushfire resistance to AS1530.8.2
FLOORS	No special construction requirements	No special construction requirements	Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation	Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation	Concrete slab on ground or enclosure by external wall or protection of underside with a non-combustible material such as fibre cement sheet or be non-combustible or to be tested for bushfire resistance to AS1530.8.1	Concrete slab on ground or enclosure by external wall or an FRL of 30/30/30 or protection of underside 30 minute incipient spread of fire system or to be tested for bushfire resistance to AS1530.8.2
EXTERNAL WALLS	No special construction requirements	As for BAL-19	Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant/ naturally fire resistant timber	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) or timber framed, or steel framed walls sarked on the outside and clad with 6mm fibre cement sheeting or steel sheeting or bushfire resistant timber	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) or timber framed, or steel framed walls sarked on the outside and clad with 9mm fibre cement sheeting or steel or to be tested for bushfire resistance to AS1530.8.1	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) with a minimum thickness of 90mm or a FRL of -/30/30 when tested from outside or to be tested for bushfire resistance to AS1530.8.2
EXTERNAL WINDOWS	No special construction requirements	4mm grade A Safety Glass of glass blocks within 400m of ground, deck etc with Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber	5mm toughened glass or glass bricks within 400mm of the ground, deck etc with openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Above 400mm annealed glass can be used with all glass screened	5mm toughened glass with openable portion screened and frame of metal or metal reinforced PVC-U, or bushfire resistant timber and portion within 400mm of ground, deck, screen etc screened	6mm toughened glass. Fixed and openable portion screened with steel or bronze mesh	Protected by bushfire shutter or FRL of -/30/- and openable portion screened with steel or bronze mesh or be tested for bushfire resistance to AS1530.8.2
EXTERNAL DOORS	No special construction requirements	As for BAL-19 except that door framing can be naturally fire resistant (high density) timber	Screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resistant timber framed for 400mm above ground, decking etc. tight-fitting with weather strips at base	Screened with steel, bronze or aluminium mesh or non-combustible, or 35mm solid timber for 400mm above threshold. Metal or bushfire resistant timber framed tight-fitting with weather strips at base	Non-combustible or 35mm solid timber, screened with steel or bronze mesh, metal framed, tight-fitting with weather strips at base	Protected by bushfire shutter or tight-fitting with weather strips at base and a FRL of -/30/-
ROOFS	No special construction requirements	As for BAL-19 (including roof to be fully sarked)	Non-combustible covering, roof/wall junctions sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked.	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked and no roof mounted evaporative coolers	Roof with FRL of 30/30/30 or tested for bushfire resistance to AS1530.8.2. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. No roof mounted evaporative coolers
VERANDAS DECKS ETC.	No special construction requirements	As for BAL-19	Enclosed sub floor space—no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from a glazed element	Enclosed sub floor space or non-combustible or bushfire resistant timber supports. Decking to be non-combustible or bushfire resistant timbers	Enclosed sub-floor space or non-combustible supports. Decking to be non-combustible	Enclosed sub floor space or non-combustible supports. Decking to have no gaps and be non-combustible

Please note: The information in the table is a summary of the construction requirements in the AS3959-2018 standard and is not intended as a design or construction guide. You should consult the standard for the full technical details.

Exhibited



Attachment 3 – Proposal Plan

D.J. McCulloch Surveying