


Exhibited

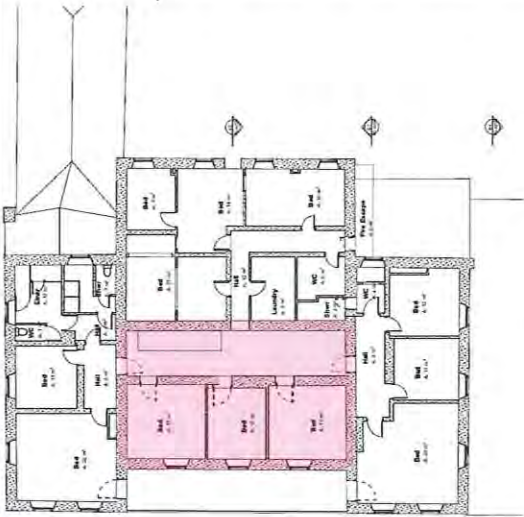
Retain (significant elements)	Modify (lower significance elements)	Remove (non-significant/intrusive elements)
<ul style="list-style-type: none"> • General exterior form. • Ideally retain painted brick internally. • Ideally retain timber boarded ceiling. 	<ul style="list-style-type: none"> • All linings, floorcoverings and surface finishes. • This area offers potential for adaptation either for services or for a use more conducive to this as an ancillary heritage structure. 	<ul style="list-style-type: none"> • All existing fitout may be modified as desired. • Concrete floor appears to be detrimental to the brick. • Coolroom and associated infrastructure. • Cement renders.

Exhibited

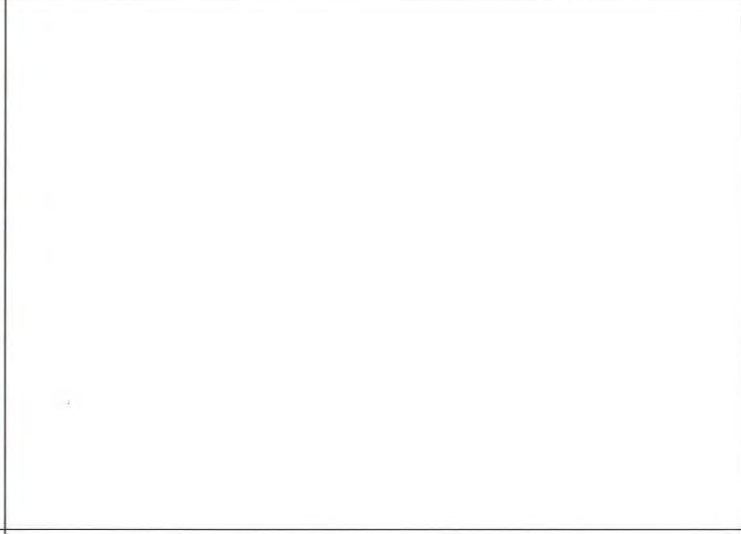
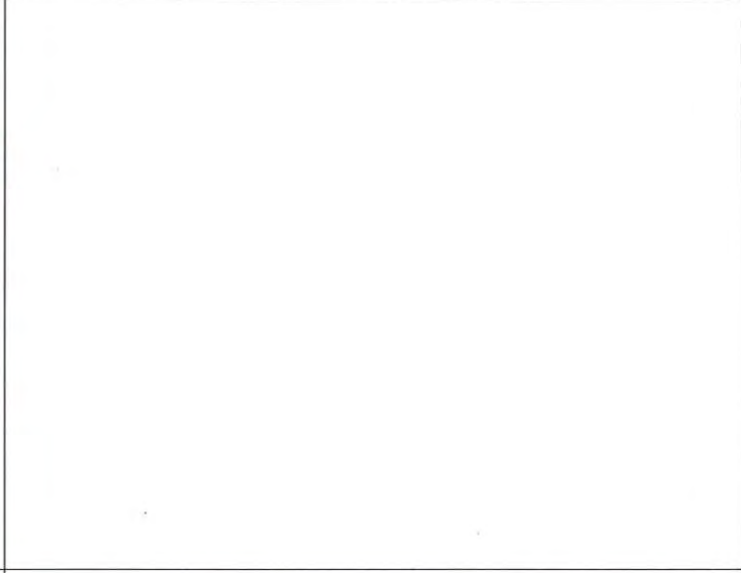
Service areas, southern and south-eastern areas	History of this area	Description and integrity
	<p>The southern area (bottle shop and pool room) is an infilled courtyard – which was added as a skillion garage/store prior to the mid c20th. The area was renovated in the later c20th and a bottle shop inserted into the street frontage in the early 2000s. The public toilets are an addition from the late c20th.</p>	<p>These are modern extensions of no particular architectural merit nor significance.</p>
<p>Retain (significant elements)</p> <ul style="list-style-type: none"> • Stone wall to boundary. 	<p>Modify (lower significance elements)</p> <ul style="list-style-type: none"> • Modify within existing envelope as desired. 	<p>Remove (non-significant/intrusive elements)</p> <ul style="list-style-type: none"> • Remove if desired. • Reconfiguration of this area to better link the bar and dining room and/or outdoor areas is likely to be a positive heritage outcome.

Exhibited

The first Floor

First floor of the front central section	History of this area	Description and integrity
	<p>This is part of the earliest area of the front portion of the hotel. As per above, it is possible that this is a more grand front addition to the earlier part of the hotel. It appears to largely retain its original form and some detailing.</p> <p>There is evidence on the eastern wall of the hallway of blocked windows, which demonstrates that this part of the building is not contemporary with the rear section, although there is some doubt as to sequencing (which further investigation of those blocked apertures could assist in answering).</p> <p>The wall between the hallway and the northern wing is distinctly thinner than that between the hallway and southern wing, which supports the theory that the southern wing is a later addition (i.e. that wall being an exterior wall previously).</p>	<p>The three bedrooms on the front of this area retain their original form and much of their original detailing, including windows reveals, some skirting boards, paneled door reveals and architraves and one room retains its original six-panel door.</p> <p>Although the floors were not inspected these are likely to be original boards.</p> <p>The hallway ceiling has been replaced and the roof form above that ceiling has also been modified. The bedrooms ceilings have also been replaced with plasterboard.</p>

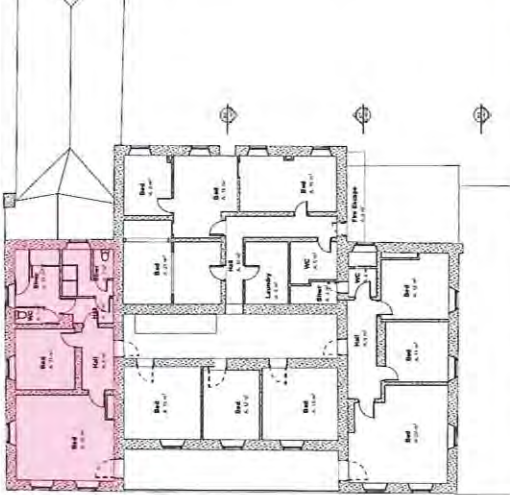
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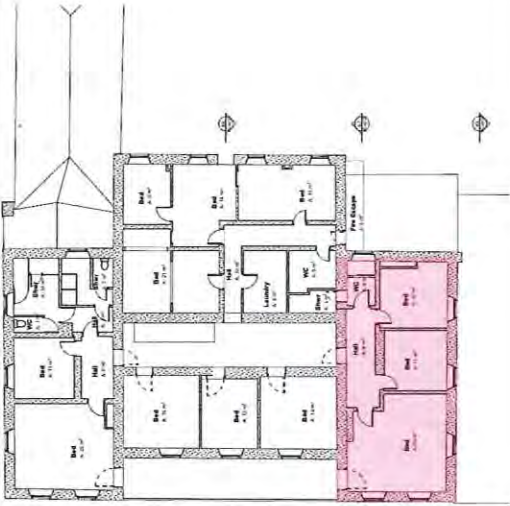
Exhibited

Retain (significant elements)	Modify (lower significance elements)	Remove (non-significant/intrusive elements)
<ul style="list-style-type: none"> • Form. • 6-panel doors and panels doorcases. • Original architraves, skirtings and window reveals. • Stairs railings (some modification may be possible for compliance). • Fireplaces and chimney breasts. 	<ul style="list-style-type: none"> • All linings, carpet and surface finishes. • Replace lost Georgian detailing if desired. • Ceilings and cornices. • More recent doors. • Dado • Minor modification of the form of bedrooms may be acceptable to provide viable accommodation. 	<ul style="list-style-type: none"> • The hallway ceiling is intrusive and its replacement with a better resolved ceiling may have potential to increase solar access in the centre of the building.

Exhibited

First floor of the northern wing	History of this area	Description and integrity
	<p>This is part of the earliest area of the front portion of the hotel. As per above, it is possible that this is a later wraparound wing to the earlier part of the hotel. The original layout of this area is unclear – the wall which forms the hallway is thicker and appears to be original, however it is not aligned with any wall on the ground floor. Also, the fireplace in the front room is in an awkward position behind the door which suggests modification of walls in this area.</p>	<p>This area has been heavily modified with the insertion of bathrooms and the likely rearrangements of rooms. The detailing in that subdivision is probably late c19th representing an early adaptation. Very little original joinery remains, limited to some skirting boards in the larger room.</p>
<p>Retain (significant elements)</p> <ul style="list-style-type: none"> • Fireplaces and chimney breasts. • Remnant skirting boards. 	<p>Modify (lower significance elements)</p> <ul style="list-style-type: none"> • Bathrooms. • Replace lost Georgian detailing if desired. • Replaster walls and ceilings if desired. • Fireplace infills. 	<p>Remove (non-significant/intrusive elements)</p> <ul style="list-style-type: none"> • Block small toilet window.

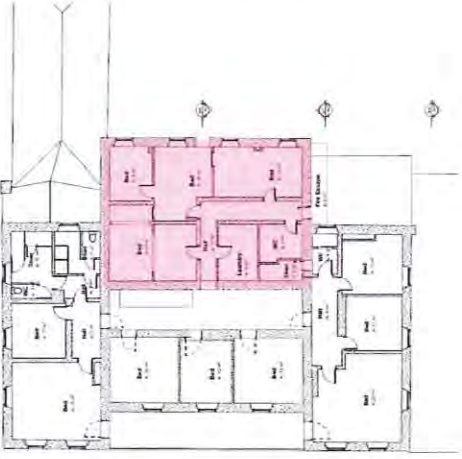
Exhibited

First floor of the southern wing	History of this area	Description and integrity
	<p>It is likely that this wing was added later than the central and northern wings of the front of the hotel (but probably not much later). The layout appears to have been substantially modified and is architecturally awkward. The original layout is not clear.</p>	<p>Original and significant detailing in this area appears limited to window reveals and architraves (less ornate than the central section). The lines of walls appear to have been modified, ceilings replaced, linings modified and doors replaced. Some skirting boards in the front and rear rooms appear original and may have survived the reconfiguration.</p>

Exhibited

		
<p>Retain (significant elements)</p> <ul style="list-style-type: none"> • Fireplace and chimney breast. • Window detailing. • Original skirting boards and architraves. 	<p>Modify (lower significance elements)</p> <ul style="list-style-type: none"> • This area is likely to be able to sustain substantial modification. • Bathrooms. • Replace lost Georgian detailing if desired. • Replaster walls and ceilings if desired. • Fireplace infills. 	<p>Remove (non-significant/intrusive elements)</p>

Exhibited



First floor of the rear portion of the building	History of this area	Description and integrity
	<p>As per the discussion on sequencing, it is <i>possible</i> that this is part of the earlier portion of the hotel. In any case, this was probably originally 4 rooms plus a hallway and has been very heavily renovated during the c20th (probably as part of the 1910s renovation, and further renovated later.</p> <p>The western wall of this area appears to have evidence of filled windows – further investigation of these would assist in sequencing the building.</p>	<p>It is likely that little or none of the existing layout reflects the earlier form of this part of the building, although there may be some sections of original internal walls in a heavily truncated/modified form (this would require further investigation). No early detailing remains, any early linings have been obscured or removed. The floor was not inspected due to carpet – there may be evidence of an earlier stair opening if the theory of this being an earlier building is correct.</p> <p>It is possible that modern linings obscure earlier detailing and that there may be evidence of earlier windows/door on the perimeter walls which could give hints as to the evolution of the building.</p>

Exhibited

		
<p>Retain (significant elements)</p>	<p>Modify (lower significance elements)</p>	<p>Remove (non-significant/intrusive elements)</p>
<ul style="list-style-type: none"> Ideally retain any remnants of original internal walls – this would need to be informed by a soft stripout. 	<ul style="list-style-type: none"> All linings, floorcoverings and surface finishes. Refitting this area with reproduction Georgian detailing may be a policy decision taken in tandem with decisions on the ‘Federation’ style exterior. Otherwise a modern refit is likely to be acceptable. Replaster walls and ceilings if desired. There may be scope for additional openings for connection to other parts of the building – this might be informed by the possibility of earlier filled openings. 	<ul style="list-style-type: none"> All existing fitout and layout may be modified as desired.

Exhibited

6.1.3. Site features

Image		Description
<p style="text-align: center;">Stone Walling</p>		<p>The Bridge Street frontage includes sandstone walls running almost the length of that boundary (with two vehicular openings). The wall closest to Church Street appears to be an early, but not original garden wall (i.e. it is not pictured in the 1860s sketch, but appears to be c19th). The wall further eastward appears to be a shortened wall the was probably part of the rear wall of the stables building.</p>
<p style="text-align: center;">Plantings</p>		<p>The plantings in the northern garden area are all relatively recent – being from the last 2-3 decades (see aerial imagery in Section 4). The only tree on site which appears to be of some age is a conifer in the courtyard area, approximately 8+ metres high. A tree in this area is evident on the 1946 aerial photograph – it is not clear if it is this particular tree. An arborist's report should be sought on the age, health and likely significance of the tree. Other trees in the courtyard appear to be post-c1980 (see aerial imagery in Section 4).</p>

Exhibited

<p>Archaeology</p>	 <p>Refer to the 2009 Praxis report for a statement of historical archaeological potential for the site. Note that the courtyard is likely to have potential to yield remains of and cultural deposits associated with the original/early stables in that area.</p> <p>The 2009 document provided an archaeological zoning plan for the site – further research and analysis as part of the current document has revised that zoning plan as per the figure top the left here:</p>
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Exhibited

7. The significance of individual elements

Based on the overall statements of significance outlined in Section 6, as informed by the statements of significance and key heritage themes of that section, and the analysis of the evolution of the place as detailed in Section 4, individual and collective elements, and other possible heritage values (e.g. intangible values) of the place will be assessed here, in order to assign or rank specific levels of significance, upon which heritage management policies will be formulated in Section 8.

For the purposes of this section the following scale will be used to assign degrees of significance to individual elements of the fabric and form of the place:

High – Elements, forms or spaces which readily demonstrate important aspects of the significance of the place or related important historic theme.

Medium – Elements, forms or spaces which less-readily demonstrate important aspects of the history of the place, or readily demonstrate aspects of lower significance (or related important historic theme).

Low – Elements, forms or spaces which less demonstrate less important aspects of the history of the place.

Neutral – Elements, forms or spaces which neither contribute to, nor detract from, the significance of the place.

Intrusive – Elements, forms or spaces which obscure the significance or are likely to threaten the longevity/integrity of significant elements, forms or spaces.

Whilst it is noted that the significance of any place need not necessarily be solely embodied in original fabric (i.e. later modifications can contribute to significance through demonstrating the evolution of the place), it is relevant to consider the impact that later modifications may have had on the integrity of more significant elements and whether that has diminished the significance of such. Similarly, decay of significant elements may also have an impact on their ability to demonstrate significance. Accordingly, following scale will be used to rank levels of integrity of elements, forms or spaces within the context of the overall significance of the place:

High: Elements which are highly intact and readily demonstrate their respective significance.

Exhibited

Medium: Elements which subsequent modification have obscured or reduced their ability to readily demonstrate their respective significance, however this may be retrievable through restoration without the need for introduction of substantial new fabric which may reduce or obscure significance.

Low: Elements which have lost the ability to demonstrate any significance and could not feasibly be restored without conjecture or substantial addition of new fabric.

The following matrix represents the interplay of integrity and significance and introduces colour coding as used in the following tables:

Significance	Integrity		
	High	Medium	Low
High	1	1	2
Medium	2	2	3
Low	3	3	4
Neutral	4	4	4
intrusive	5	5	5

Accordingly, the following colour code has been adopted to consider significance in-light of the integrity of that particular element:

- Red – High significance (Rank 1)
- Orange – Medium significance (Rank 2)
- Green – Low significance (Rank 3)
- Grey – Neutral (Rank 4)
- Blue – Intrusive (Rank 5)

For the sake of simplicity, a 'general significance' has been assigned to each particular element/attribute as a whole, noting that there is often a range of components comprising such which may have different degrees of significance. The tables below therefore identify attributes which may be of lower or higher significance.

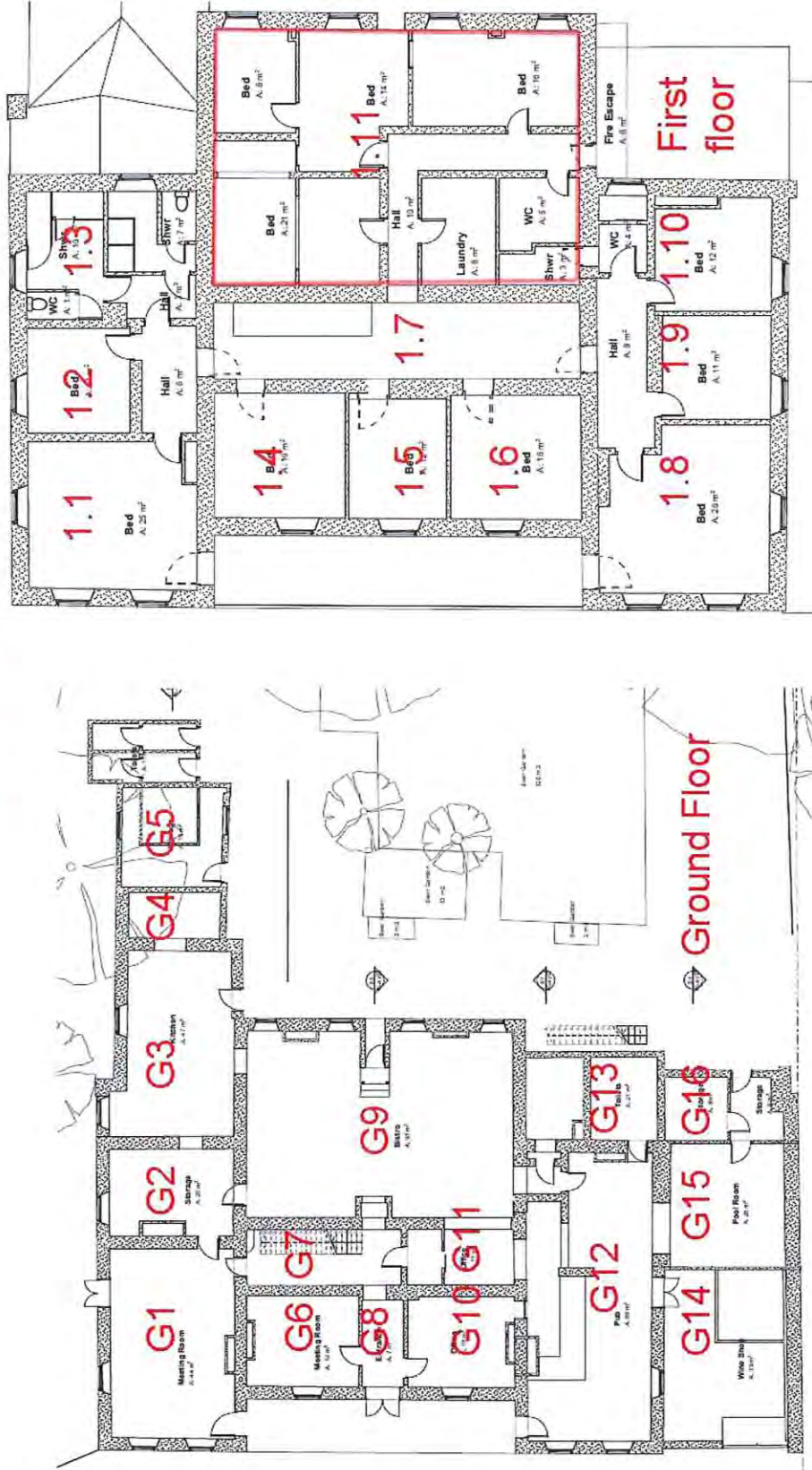
Exhibited

The building itself					
Element/Elevation/Room	Sub-element	General significance	Elements of higher significance	Elements of lower significance	Note
Exterior and general					
Northern elevation				Intrusive bathroom window added.	
Eastern elevation					
Southern elevation				Bottle shop extension. Modified apertures for access to bottle shop/store, fire escape etc.	
Western elevation				Added apertures for access to toilets etc.	
Rear wing				Interiors of this wing.	
Bottle shop extension					Whilst infill in this area is acceptable – a better resolved solution would be preferable.
Toilet extensions					
Windows	Pattern of fenestration				
	Window joinery				These are all sympathetic replacements.
Doors	Door openings			Back door (i.e. from dining room) and alcove.	
	Door joinery				All replacements – not generally sympathetic.
Eaves, fascias etc.					
Roof	Form			1910s adaptations and infill above upstairs hallway.	
	Cladding				

Exhibited

	Rainwater goods				
	Chimneys				
Plantings			Tree in courtyard probably significant – refer to arborist advice.		Tree in courtyard probably significant – refer to arborist advice.
Toilet block off rear wing					
Fire escape					

Exhibited



Exhibited

Room	Form	Floor	Ceiling	Skirtings	Architraves	Chimney breast	Fire surround	Door(s)	Wall linings	Notes
Ground floor										
G1		Presumed original and significant (TBC)								Dado neutral.
G2										Tiles and dado neutral.
G3										All fitout neutral.
G4										
G5										Cool room intrusive.
G6		Presumed original and significant (TBC)								Door architraves neutral
G7										
G8										Dado of low significance.
G9										
G10										Dado of low significance.
G11										All fitout neutral.
G12										All fitout neutral.
G13										
G14										
G15										
G16										
First floor										
1.1	Check	Presumed original and significant (TBC)								Generally low, however there may be evidence of earlier colour scheme which might inform future decoration.
1.2	Check									
1.3	Check									
1.4										
1.5										
1.6										
1.7										Dado neutral.
1.8										
1.9										
1.10										
1.11		May reveal evidence of earlier layout?								

Exhibited



8. Consideration of the setting and curtilage of the place

8.1. Detailed description of the setting of the place

The following considers the setting of the place within the wider streetscape and the significant viewlines to the hotel building and surrounds, as well as considering what may be an appropriate curtilage for the building in order to maintain streetscape and other heritage values.



Exhibited

Point	Image	Importance in maintaining setting	Recommendation
1		<p>The hotel has a high degree of streetscape presence from these vantage points – particularly upon the southern entry to Ross where it dominates a wide viewfield. The rear gardens backdrop the building, although are not largely prominent due to the sandstone walls.</p> <p>The bottle shop extension is somewhat intrusive as it is an oddly-scaled extension, and although has made an attempt to emulate the 1910s detailing, is of a form that is not particularly compatible with the hotel building. Note that the low-scale of this extension is in its favour.</p>	<p>The hotel is to remain the dominant element from this vantage point, which is likely to occur naturally given the positioning of the building close to the street – i.e. any development at the rear which does not exceed the height of the existing building will be subservient. Scope for improving the form and detailing of the bottle shop extension – preferably making it more recessed/subservient to highlight the corner of the main hotel building.</p>
2			<p>Any development at the rear of the hotel would be visible from this vantage point and needs to appear subservient to the building – read as a more ephemeral extension or subservient outbuilding. Scope for improving the form and detailing of the bottle shop extension – preferably making it more recessed/subservient to highlight the corner of the main hotel building.</p>

Exhibited

3		<p>The approach from the south along Bridge Street from the bridge does not include the hotel as a prominent element, although as the bottle shop extension comes into view this is somewhat of an entry statement into Ross, with the hotel soon becoming a prominent element.</p> <p>This view allows the 'four corners' to be readily discerned together.</p>	<p>Careful consideration of what adaptation of the bottle shop area may occur is required to ensure that this does not become any more intrusive and noting that this is the 'first view' of the hotel site as one enters from the south.</p>
4		<p>The prominence of the hotel increases as one heads southward along Church Street and forms a cohesive grouping with the sandstone town hall on the opposite corner</p>	<p>No major development should occur forward of the rear building line of the main hotel building so as to maintain these views. Any development at the rear of the hotel building would have no impact upon these viewlines.</p>
5		<p>Whilst the hotel has a low prominence in the streetscape from this vantage point, glimpses of the northern wall rely on the lack of development in the northern garden area.</p>	

Exhibited

6		<p>Closer views of the northern wall reveal this as an ancillary entrance with the pedimented central door. The added gable end diminishes the Georgian symmetry of this elevation. The building is discerned within a soft garden setting from this vantage point, as opposed to the hard landscaped frontage.</p>	<p>No major development should occur forward of the rear building line of the main hotel building so as to maintain this view. Any development at the rear of the hotel building would have no impact upon this viewline.</p>
7		<p>The side elevation of the hotel is prominent from southward along Church Street as well as from close environs in Bridge Street - with the building discerned as part of the 'four corners'. The poorly resolved bottle shop extension inhibits the view of the southern elevation of the building.</p> <p>Any development at the rear of the building would be most prominent from these vantage points.</p>	<p>Opportunity should be taken to better resolve the bottle shop extension so as to be more complimentary to the southern elevation of the hotel (whilst retaining the stone wall).</p> <p>It is of critical importance that any development at the rear of the hotel is subservient to the existing building and reads as a more ephemeral extension or a subservient outbuilding.</p>
8			

Exhibited

9		<p>The hotel itself is not prominent from eastward along Bridge Street, however the hard-to-street construction of the adjacent house and sandstone wall of the hotel yard provide a cohesive materiality to the street edge.</p>	<p>The stone wall must be retained. Any development at the rear of the hotel must be subservient to the existing building and reads as a more ephemeral extension or a subservient outbuilding.</p>
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Exhibited

9. To address statutory heritage requirements

As per the statutory heritage requirements in Section 2, the following statutory heritage requirements apply to the subject site:

9.1. Historic Cultural Heritage Act 1995

Whilst the HCHA provides no specific detail as to how particular proposals are considered, nor does it provide any indicative thresholds of what may be considered to have *no or negligible* heritage impact, the THC/Tasmanian Government publication *Works Guidelines for Historic Heritage Places* (November 2015)⁸ provides further detail on the application process, guiding principles and the basis for decisions made by the THC. In addition, the THC has a series of practice notes and technical guides, available via www.heritage.tas.gov.au which provide useful guiding principles for how the THC are expected to assess and determine applications for heritage works.

This document is expected to be used by Heritage Tasmania and the Tasmanian Heritage Council to assist their consideration of any future proposed development.

9.2. Consideration of the Performance Criteria – Ross Specific Area Plan

Note:

- Under the Tasmanian Planning Scheme – Northern Midlands, no Local Heritage Precincts are included in Table C6.2.
- The site is included on Table C6.1 (Local Heritage places) – however by virtue of listing on the Tasmanian Heritage Register, Clause C6.2.2 exempts the application of the Local Historic Heritage Code to places also listed on the THR – nonetheless the place is not exempted from the Specific Area Plan provisions.
- However, the Acceptable Solutions and Performance Criteria for the Ross Specific Area Plan exclude application to places listed on Table C6.1 and the (non-existent) Table C6.2 – therefore are not applicable to the subject site (by virtue of inclusion on Table C6.1).

Nonetheless, although the historic heritage objectives of the Ross Specific Area Plan **have no statutory standing** in their application to the subject site, specific site recommendations are made here as a means of guiding any future design process in a best-practice manner:

⁸ http://heritage.tas.gov.au/Documents/Works_Guidelines_FINAL_Nov2015.pdf

Exhibited

NOR- S8.7.2. Roof Form and Materials		
Objective: That roof form and materials are designed to be compatible with, and not detract from, the existing character of the streetscape or townscape.		
Acceptable Solution	Performance Criteria	Specific site recommendations
<p>A1 Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with, and not detract from, the existing streetscape or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) the design and period of construction of the existing buildings in the street; (b) the design and period of construction of the existing buildings or rural village character; and (c) visibility from any road or public open space. <p>S8.7.2, with the roof pitch being within a range of 22.5 – 40 degrees.</p>	<p>Roof form for new buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with, and not detract from, the existing streetscape or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) the design and period of construction of the existing buildings in the street; (b) the design and period of construction of the existing buildings or rural village character; and (c) visibility from any road or public open space. 	<p>The roof form for new buildings and extensions should ideally take a traditional form, being hipped (preferable) or gabled, with a pitch of at least 30-degrees.</p> <p>Near-flat roofs may be acceptable in instances where overall bulk of a particular building or extension is desired to be reduced, and/or to act to 'hide' any particular building or extension so as to promote the subservience of such.</p> <p>Any new roofing or replacement roofing should be short-sheet corrugated galvanised iron (not zincalume or colourbond) with traditionally profiled rainwater goods.</p>

Exhibited

NOR- S8.7.3. Wall Materials		
Objective: That wall materials used are compatible with the existing streetscape or rural village character.		
Acceptable Solution	Performance Criteria	Specific site recommendations
<p>A1 Wall materials, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be of a form and material that matches the existing building or not be visible from any road or public open space adjoining the site.</p>	<p>P1 Wall materials of buildings, excluding outbuildings, places listed in Table C6.1, and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings on the site and in the street, and be compatible with the design and period of construction of the existing buildings or rural village character, having regard to:</p> <ul style="list-style-type: none"> (a) use of bull-nosed timber weatherboards, or materials that have the appearance of bull-nosed timber weatherboards; or (b) use of brickwork with mortar of a neutral earth colour and struck flush with the brickwork; or (c) use of concrete blocks specifically chosen to: <ul style="list-style-type: none"> (i) blend with dressed sandstone; or (ii) rendered with coloured finishes in neutral earth tones. 	<p>Wall materials should utilise a traditional materials palette of sandstone, rendered masonry, face-brick in a traditional bond or weatherboard (either vertical or horizontal). The hierarchy of buildings and locations of buildings should be a key factor in deciding materiality – e.g. ancillary buildings, subservient extensions etc. should use less robust materials and/or finishes (e.g. finely tooled sandstone should not be used on such).</p> <p>Wall materials need not necessarily emulate historic use – traditional materials may be used in a more contemporary way and/or with a contemporary finish in some cases.</p> <p>Materials such as tilt-up concrete, unpainted/unrendered concrete block, manufactured board etc. should not be used.</p>

Exhibited

NOR- 58.7.4. Windows		
Objective: That window form and details are consistent with the streetscape or rural village character		
Acceptable Solution	Performance Criteria	Specific site recommendations
A1 Window heads in all buildings, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be a minimum of 300mm below the eaves line, or match existing the level of the window heads in the existing building.	No performance criterion.	Wall space above lintels, and the overall expanse of glazed area in any extension to the building or outbuilding that is visible from either street is desirable, however, this needs to be considered in an overall design approach – in some cases this may look tokenistic if inappropriately combined with a suitable architectural language that seeks to provide modern, subservient interpretations of heritage building forms. This needs to be taken on-merit with any particular development.
A2 Windows in a façade facing a frontage, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must have no greater than 30% of the total surface area consisting of windows.	P2 Windows in the front façade of a building, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of construction of the existing buildings in the street.	
A3 Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Evandale Historic Heritage Precinct listed in Table C6.2, must not be visible from public spaces.	Windows for new buildings and extensions to existing buildings, or alterations to existing buildings, excluding places listed in Table C6.1 and sites located within the Ross Historic Heritage Precinct listed in Table C6.2, must be compatible with the design and period of	Further to the above, a suitable outcome may be a more contemporary overall window form and detailing, however one which borrows design elements from this palette may provide an on-balance approach to non-emulation of historic forms/detailing – but to interpret such in a contemporary manner.

Exhibited

	<p>construction of the existing buildings in the street, having regard to</p> <ul style="list-style-type: none">(a) the period and style of the building;(b) the use of multi-pane sashes conforming to the patterns per sash with size and profile glazing bars as shown in Figure NOR-S5.7.4 (b);(c) the use of projecting brick or stone sills that match the existing if in a brick or masonry building;(d) the use clear glass; and(e) the division of large areas of glass panelling with vertical mullions to achieve a vertical orientation of glazing.	
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Exhibited

10. Conservation Policies

10.1. Purpose of policy and role of statement of significance

The following conservation policies form the basis of all future decisions regarding the maintenance of historic heritage values of the place into the future. These policies must be used to guide the planning process for any works, change of use, maintenance (etc.) on the place.

It is expected that any administrators and professionals planning and undertaking physical works on site will first familiarise themselves with all general conservation policies, then the specific implementation recommendation (based on these policies) relating to the particular element on which works are being planned.

Any conservation policy strongly favours the conservation of elements of primary significance, and the removal of elements which may be of detriment to the conservation or interpretation of elements of a higher significance. A thorough understanding of the statement of significance, and the specific significance of individual items, is therefore essential in appreciating how specific policies have been developed, and how these should be applied to the physical attributes of the place.

The statement of significance has defined and ranked the periods and themes which that place represents, and the analysis of the physical attributes has detailed exactly what has survived to represent such. Each element of the physical fabric has been assigned its own significance level, based on its ability to demonstrate the significance of the place, and thresholds for assignment of this significance have been kept consistent in the assessment of all elements.

The policies below, therefore, broadly guide how this fabric should be treated in order to allow it to better conserve and demonstrate the statement of significance.

10.2. Development of policy

Having ascertained the ability for fabric to demonstrate the statement of significance, constraints, opportunities and requirements are considered, alongside stakeholder requirements, to develop the broad conservation policies below. Whilst conservation policies may be contrary to the constraints, opportunities or requirements, the policies aim to best address these whilst still maintaining appropriate conservation practice. Any unresolved conflict is then specifically debated in the implementation strategy.

Exhibited

10.3. Policies

The underlying principle, by which all conservation practices should be guided, is the ICOMOS Australia *Burra Charter*. The statement of significance has defined the attributes of the site of which greatest significance is assigned, thereby the priority of conserving attributes associated with such should be considered paramount compared to those of lesser significance. This, however, must be balanced with retention of elements of lesser significance where guided by the conservation policies. With the statement of significance in mind and with the adoption of Burra Charter principles this section will introduce the conservation policies developed specifically for the subject site.

1	General Policies	
	Policy	Objective
1.1	Approach to works: The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> . ⁹	To ensure that the historic heritage values of the place are retained into the future.
1.2	Use/development: Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place. Some concession for heritage impact may be made to ensure the ongoing viable use of the building as a hotel,	To recognise that the overarching significance of the place is embodied in its continued use as a hotel and to acknowledge that change is necessary to sustain such feasibly.
1.3	Supervision: All works to the significant elements of the place, and planning for such works, must be guided by a conservation architect, heritage consultant or other person(s) qualified and experienced in the conservation of historic heritage places.	To ensure the effective implementation of the conservation policies and to manage any unexpected or unforeseen heritage issues during any works process.

⁹ <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

Exhibited

2	The exterior of the building	
	Policy	Objective
2.1	<p>Roof form: The current form of the roof should be maintained, with the exception of:</p> <ul style="list-style-type: none"> • Rationalisation of altered areas such as above the upstairs hallway and junction of the kitchen wing to the body of the hotel. • Possible reinstatement of the Georgian front hips. 	To recognise the significance of the roof form but to also potentially alter areas that have previously been modified and/or of lower significance.
2.2	<p>Footprint: The footprint of the body of the hotel and rear wing should remain legible. Any additions should be limited to non-principal elevations and/or be comparatively lightweight and opportunity for better rationalizing existing extensions should be explored.</p>	To maintain the legibility of the historic hotel form, but to allow for the possibility of well resolved extensions.
2.3	<p>Fenestration: There is limited scope for alteration of existing windows, doors etc. Addition of new openings should be avoided. Added/altered openings may be blocked as desired.</p>	To maintain the original and significant fenestrative pattern of the building.

3	Interior layout and form	
	Policy	Objective
3.1	<p>Ground floor: The existing ground floor layout should generally be retained, however some modifications to sustain viable public areas of the hotel are likely to be acceptable (noting that modification of the existing dining room and bar is likely to have greater scope due to previous modifications).</p>	To recognise the significance and legibility of the original building form in most of the ground floor but to allow for some modification to maintain the continuity of use as a viable hotel.

Exhibited

3.2	First floor (front and north/south wings): The general arrangement of the central area of the first floor should remain largely as existing, particularly the transverse hallway. There is scope for modification of the northern and southern wings.	To recognise the significance of the unaltered remains of the original plan form and to allow for further change in areas previously altered.
3.3	First floor (rear section): The interior form of this area may be altered as desired. Investigation of any evidence of earlier form and detailing should occur with any stripout of this area.	To recognise that this area has been very heavily modified and the internal form is of no significance.
3.4	Kitchen and service wing: the interior of the existing kitchen may be modified as desired. It may also be possible to extend into the rear wing if desired.	To recognise this as a significant area of the building but to allow for continuity of use of this area as a service area for the hotel.

4	Style and tenor of new work	
	Policy	Objective
4.1	Like for like fabric replacement: Replacement of deteriorated significant fabric should be like-for-like with original.	To ensure a sympathetic approach to building repairs.
4.2	Georgian style: Maintenance and restoration of a Georgian style to the building is the preferred means of conservation, although noting that there is a strong overarching Inter-War/Federation styling. That later style may be maintained if desired, however if desired the earlier form and detailing may be restored.	To recognise the Georgian heritage of the building and the contribution it makes to the Georgian theme of Ross.
4.3	Federation/Edwardian Style: If desired, the later form and styling of the hotel may be maintained, however new work should not emulate this style.	To recognise that this contributes to the recognisable character of the hotel, but that it is

Exhibited

	Alternatively, this styling may be removed in favour of reinstating Georgian character.	not of the highest significance and should not be added to.
4.4	Later c20th fabric and forms: Although in most cases sympathetic, these interventions are not of any significance and may be retained, removed or altered as desired.	To recognise that these works were a good attempt at presenting the hotel as a heritage building but are not necessarily significant.
4.5	New work: New work to the building (e.g. services and hotel fitout) may be clearly modern if desired, but be as sympathetic, reversible and unobtrusive as practicable. If desired, new fitout may emulate Georgian character but be recognisable as modern upon close inspection.	To acknowledge that new work will be required in any ongoing use/adaptive reuse of the building and to ensure that this is appropriate to the heritage context.
4.6	New buildings: Any new buildings on the site need not emulate any particular architectural style, however their overall form and siting should follow Georgian design principles.	To avoid imitating heritage but to promote a sympathetic approach to the site and townscape through overall form and siting.

5	Services and National Construction Code compliance	
	Policy	Objective
5.1	Service installations: The installation of plumbing, electrical, fire detection/protection, security, acoustics and environmental (etc.) services are likely to be acceptable however these should be installed in an unobtrusive manner as possible and in as reversible manner as possible.	To allow for a range of necessary services and upgrades but to seek to minimise any possible heritage impact arising from such.
5.2	Kitchen and bathroom installations: Installation of necessary kitchens and bathrooms is likely to be acceptable (subject to compliance with other policies). These should be discretely located and as reversible as possible.	

Exhibited

5.3	<p>Building surveyor and NCC compliance: Where substantial adverse heritage impact would arise from meeting NCC compliance (particularly for any commercial use of the building), detailed dialogue must occur between the building surveyor, heritage consultant, client and permit authorities to balance heritage impact and compliance and to consider feasible alternatives, performance-based solutions and a pragmatic balanced outcome.</p>	<p>To acknowledge that NCC compliance may be more difficult within a heritage building and that the NCC has provisions for a relaxation of requirements based on a satisfactory performance solution where adverse heritage impact may arise.</p>

6	Setting and other policies	
	Policy	Objective
6.1	<p>Maintenance of significant viewlines: Significant viewlines to the building as defined in Section 8.1 must be maintained.</p>	<p>To retain the setting of the hotel as a historical rural building.</p>
6.2	<p>Maintenance of curtilage: Further to maintenance of significant viewlines, the curtilage of the building must be maintained, avoiding any direct extensions to the building (except restrained additions where precedent has been set and where required for established functional purposes). Playing on the 'courtyard' idea is encouraged for any future buildings – noting that the courtyard was original much more enclosed by buildings.</p>	
6.3	<p>Subdivision: Ideally, subdivision should be avoided.</p>	<p>Although the building is on a generous allotment, further erosion of the size of that allotment could</p>

Exhibited

		<p>have the potential for promoting development which could impeded the curtilage of the building and its setting.</p>
<p>6.4</p>	<p>Archaeology: The approach to archaeology must follow the recommendations of the 2009 Praxis statement of archaeological potential and the tenor of the associated archaeological method statement. Note that the current document has reviewed that previous document, and with further research and analysis here has provided the following revised archaeological zoning plan (green shading being the area of high archaeological potential – i.e. the two different historical depictions of the stables site). Note that the area of archaeological potential is unlikely to be this large in reality – owing to the unknown rate of error of historical surveys, as well as the unknown extent/depth of any later disturbance. This is to be refined on-ground in the event of any excavations at the discretion of a historical archaeologist.</p> <p>Ideally archaeological remains should be avoided if feasible, however if this inhibits development of the site and its ongoing significant use as a hotel, then excavation to yield archaeological potential ahead of removal is likely to be acceptable. Any possibility of in-situ interpretation of archaeological remains is desirable.</p>	<p>To ensure that the archaeological values of the site are appropriately managed.</p>

Exhibited



Exhibited

11. The proposed development and heritage impact assessment

11.1. The proposed development

A proposal has been formulated by Cumulus on behalf of the owner for the redevelopment of the hotel.

This would involve:

- Reconfiguration of the existing bar and bistro area.
- Refurbishment and alterations to the kitchen.
- Replacement of the existing bottle shop, cool room, pool room and toilets with a better-resolved extension on a similar footprint.
- Removal of the 1910s accretions to the façade of the building (i.e. veranda, balcony and gable roof forms) to reinstate the Georgian form and character of the building.
- Major refurbishment of the first-floor accommodation suites.
- Installation of a new primary stair and lift (retention of existing stair).
- Construction of an outdoor eating pavilion and large function centre at the rear of the hotel.
- Redevelopment of the beer garden.

The following heritage impact assessment is based on the following documents to be submitted as part of the forthcoming development application to Northern Midland Council (and Works Application to the Tasmanian Heritage Council):

J22106 – The Ross Hotel Alterations and Additions, Cumulus.

DRAWING LIST

No	REV	ISSUE DATE
A000 COVER PAGE	DA-01	24/1/2023, 12:12 pm
A001 DESIGN INTENT	DA-01	24/1/2023, 12:12 pm
A002 GEORGIAN AND FEDERATION FACADES	DA-01	24/1/2023, 12:12 pm
A004 PROPOSED SITE PLAN	DA-01	24/1/2023, 12:12 pm
A005 DEMOLITION PLAN GROUND FLOOR	DA-01	24/1/2023, 12:12 pm
A006 DEMOLITION PLAN LEVEL 01	DA-01	24/1/2023, 12:12 pm
A007 DEMOLITION ROOF	DA-01	24/1/2023, 12:12 pm
A100 PROPOSED PLAN GROUND FLOOR	DA-01	24/1/2023, 12:12 pm
A101 PROPOSED PLAN LEVEL 01	DA-01	24/1/2023, 12:12 pm
A102 PROPOSED ROOF	DA-01	24/1/2023, 12:12 pm
A300 NORTH ELEVATIONS	DA-01	24/1/2023, 12:12 pm
A301 EAST ELEVATIONS	DA-01	24/1/2023, 12:12 pm
A302 SOUTH ELEVATIONS	DA-01	24/1/2023, 12:12 pm
A303 WEST ELEVATIONS	DA-01	24/1/2023, 12:12 pm
A500 PROPOSED SECTION DETAILS	DA-01	24/1/2023, 12:12 pm
A501 PROPOSED SECTION DETAILS	DA-01	24/1/2023, 12:12 pm
A502 PROPOSED SECTION DETAILS	DA-01	24/1/2023, 12:12 pm

Exhibited

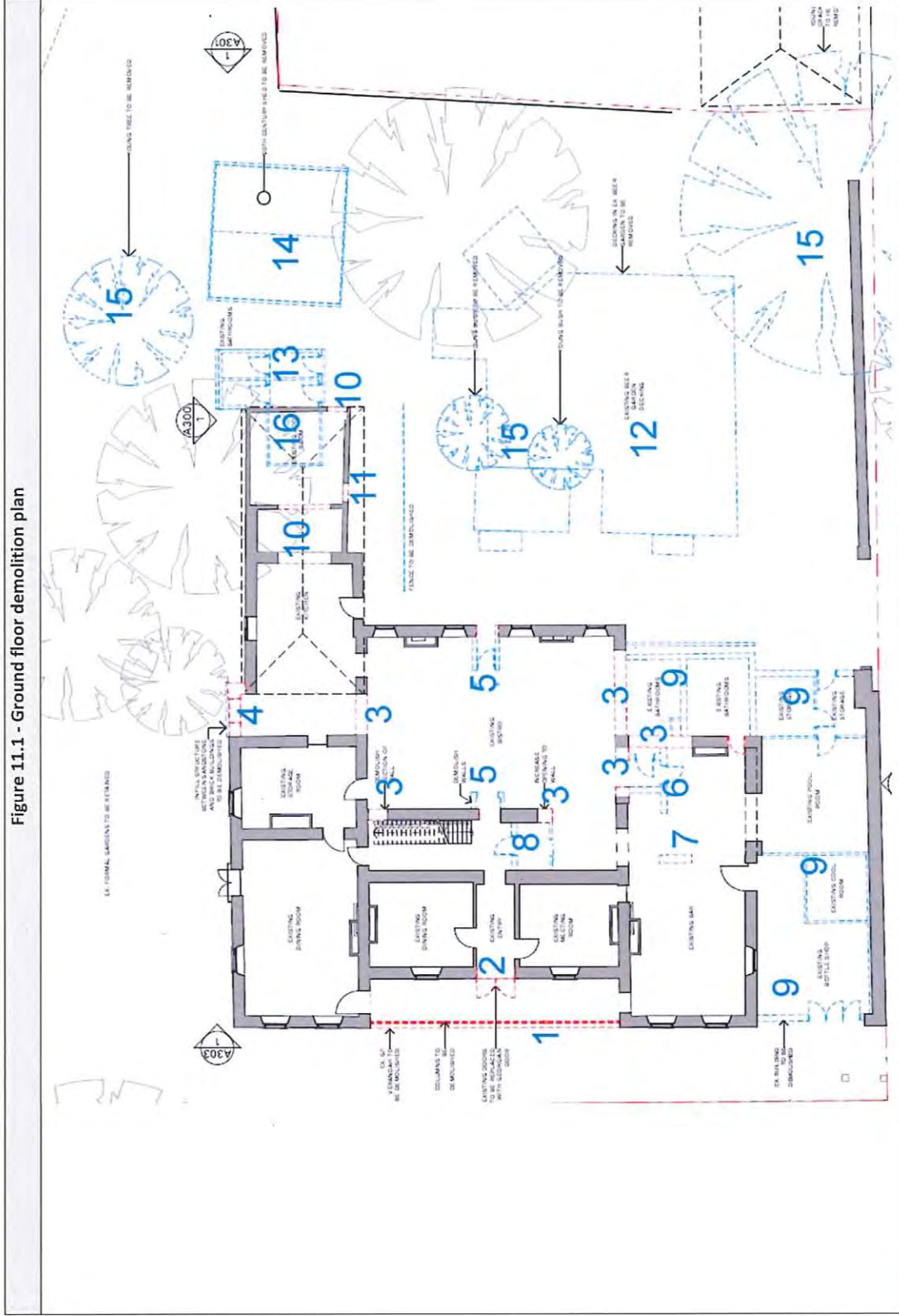
11.2. Consideration of impact upon individual elements

This section will consider the proposal against the recommendations of Section 7 of the current document in terms of the individual elements of the building. Firstly an annotated commentary on the plans will be provided, which will then be considered against the table of recommendations from Section 7 and the conservation policies of Section 8 will be considered. Consideration will also be given as to the design criteria/conservation policy (non-statutory) of the heritage precinct, culminating in an assessment against the specific statutory heritage provisions of the scheme.

The following colour coding has been used to identify where impact is likely/possible:

	No impact and accords with recommendations and/or conservation policy. The project architect is invited to provide any points of clarification on such items, however this is not considered necessary or mandatory.
	Minor impact, but justifiable as a means of promoting a feasible use/ adaptive reuse and generally accord with recommendations and/or conservation policy. The project architect is to provide brief comment on other factors which need to be considered in justifying heritage impact on these items – which are considered as acceptable.
	Major impact and does not accord with recommendations and conservation policy. Refer to the architect’s statement and/or comments against these items for a more balanced consideration against non-heritage factors affecting the development proposal and considerations against ‘prudent and feasible’ alternatives which may justify the impact.

Exhibited



Exhibited

Item	Proposal	Comment on possible heritage impact	Architect's comment ¹⁰
1	Demolition of the 1910s balcony and veranda.	Whilst it is acknowledged that the veranda and balcony has some significance in demonstrating a major renovation phase of the hotel, and that it is somewhat of an iconic and well-recognised feature of the hotel, the rationale for its removal is to return the façade of the hotel to its original, and more significant earlier Georgian form. As per Article 15.4 of the <i>Burra Charter</i> , the removal of the veranda and balcony which is of slight significance, will allow the restoration and greater appreciation of the Georgian heritage values of the building which are of greater significance, both to the site and the general tenor of the township of Ross. The conservation policy promoted an 'all or nothing' approach to removal of major 1910s elements, to avoid a pastiche of some retention and some removal which could act to confuse the evolution of the building. Together with the removal of the front gable forms (see below) and a restrained approach to the exterior of the building promoting that stark Georgian tenor, this is considered to be an acceptable outcome.	Architects are in agreement with Praxis Environment's comments. Architects would like to add, the overall township of Ross is one of early Tasmanian Georgian architecture. This proposed demolition will increase the legibility of town's Georgian character.
2	Removal of existing front doors.	These are part of late c20th renovations and their removal in favour of more sympathetic doors is encouraged.	
3	Removal of some sections of original wall to improve circulation patterns within the building.	Whilst removal of original fabric is discouraged, this is desired to improve the circulation patterns within the hotel to assist in maintaining the ongoing and significant use of the building as a hotel. A minimal approach is recommended – however it is noted that these	Where practicable, demolished masonry elements will be stored on site for future use. Removal of fabric will be minimal with the bulkhead above the door retained for a clear reading of the original wall's extent. Proposed

¹⁰ Provided by Olivia Potter, Cumulus Architects, 02/03/2023.

Exhibited

		sections of wall are plain wall with no significant detailing – that form could be reinstated in future if desired without the loss of significant detailing. It is recommended that any viable masonry removed be reused in repairs and/or stored in site for future restoration work. It is essential that bulkheads remain in all instances to maintain some legibility of earlier room forms.	demolition works can be reversed through reconstruction in the future if required.
4	Removal on weatherboard infill wall.	This is a later added wall and is architecturally awkward. Its removal has no appreciable impact.	
5	Removal of nib walls and doors.	These are later insertions. Their removal will have no impact.	
6	Removal of bar and passage.	These are later insertions. Their removal will have no impact.	
7	Removal of column in bar.	It is possible that this is a remnant of an original wall, which assists in understanding the earlier layout of the bar area. This should be further investigated. If found to be original wall, retention is encouraged. If this is a later insertion, then removal is acceptable.	Architects are in agreement with Praxis Environment's comments. If column is found to be original, architects will work to integrate column into bar design.
8	Removal of bar door and joinery.	These are later insertions. Their removal will have no impact.	
9	Demolition of bottle shop, cool room, toilets, pool	All of these are either heavily adapted mid-c20th infill or later c20th additions of no significance. Note that the significant sandstone boundary wall is to be retained, and no further removal of the existing	

Exhibited

	room, store and rear entry alcove.	southern wall of the hotel is proposed. This is considered to be an acceptable outcome to make room for a better-resolved area.	
10	Widening of doorway and removal of section of wall in service areas to enlarge kitchen area.	Whilst removal of original fabric is discouraged, this is desired to improve the circulation patterns within the service areas of the hotel to assist in maintaining the ongoing and significant use of the building as a hotel. A minimal approach is recommended – however it is noted that these sections of wall are plain wall with no significant detailing – that form could be reinstated in future if desired without the loss of significant detailing. No internal connection is currently available to the early outbuilding – therefore this connection will encourage its ongoing use and maintenance. It is recommended that any viable masonry removed be reused in repairs and/or stored in site for future restoration work. It is essential that bulkheads remain to maintain some legibility of earlier room forms.	Nib walls and bulkheads will be retained to allow for legibility of the original wall. For the kitchen to function, the proposed demolition of existing fabric is required. Proposed demolition works can be reversed through reconstruction in the future if required.
11	Removal of door to outbuilding.	This is a later insertion. Its removal will have no impact.	
12	Removal of decking, beer garden infrastructure etc.	These are later additions (early 2000s). Their removal will have no impact.	
13	Removal of toilet block.	These are later additions (c1960s). Their removal will have no impact.	
14	Removal of modern colourbond garage.	Built in the 1990s. Its removal will have no impact.	

Exhibited

15	Removal of three trees.	These trees are not considered to be of historic heritage value – the largest of these (that closest to Church Street, is not evident on the 1981 aerial photograph, therefore their age is likely to be 40yrs or less. Although providing some amenity, these are not of heritage value and their removal will have no adverse heritage impact.	
16	Removal of cool room.	This is a later insertion. Its removal will have no impact.	

Exhibited

Item	Proposal	Comment on possible heritage impact	Architect's comment
1	Demolition of the 1910s balcony and veranda.	<p>Whilst it is acknowledged that the veranda and balcony has some significance in demonstrating a major renovation phase of the hotel, and that it is somewhat of an iconic and well-recognised feature of the hotel, the rationale for its removal is to return the façade of the hotel to its original, and more significant earlier Georgian form. As per Article 15.4 of the <i>Burra Charter</i>, the removal of the veranda and balcony which is of slight significance, will allow the restoration and greater appreciation of the Georgian heritage values of the building which are of greater significance, both to the site and the general tenor of the township of Ross. The conservation policy promoted an 'all or nothing' approach to removal of major 1910s elements, to avoid a pastiche of some retention and some removal which could act to confuse the evolution of the building. Together with the removal of the front gable forms (see below) and a restrained approach to the exterior of the building promoting that stark Georgian tenor, this is considered to be an acceptable outcome.</p>	<p>In addition to Praxis Environment's justifying the return of the hotel to its simple Georgian form, it is noted the existing veranda is in poor working condition.</p>
2	Removal of some sections of original wall to provide for ensuite bathrooms in a reconfigured central section.	<p>Whilst removal of original fabric and alteration of original plan form is discouraged (noting that these rooms are the only clearly legible original rooms on the first floor) this is desired to provide for amenities to assist in maintaining the ongoing and significant use of the building as a hotel. A minimal approach is recommended – and finer-detail resolution of retention/reuse of significant detailing is required (e.g. skirting boards – although noting the central room appears to have already been stripped of much detailing). It is recommended that any viable masonry removed be reused in repairs and/or stored in site for future restoration work. It is</p>	<p>Where practicable, demolished masonry elements will be stored on site for future use.</p>

Exhibited

		essential that bulkheads remain to maintain some legibility of earlier room forms.	
3	Removal of wall and door	It is unclear if this is an original wall, as it intersects awkwardly with the fireplace in the larger room. The door is a later insertion. All detailing appears to be later added. This is considered acceptable.	
4	Removal of 1990s bathrooms.	These are later insertions. Their removal/ reconfiguration will have no impact.	
5	Removal of internal walls.	The original plan form of this area is not clear – however the walls proposed for removal are almost certainly not original. The more substantial walls to be retained <i>may</i> be original. The removal of these walls to allow the reconfiguration of this area for more viable hotel operations is not considered to have any adverse heritage impact. It is recommended that after a soft stripout that this area be inspected for evidence of earlier layouts which would assist in understanding the evolution of the hotel buildings.	
6	Removal of doors and door frames.	These are later insertions. Their removal/ reconfiguration will have no impact.	
7	Removal of doors and sections of wall.	It is considered unlikely that these are original walls, owing to odd alignments and these being more lightweight than walls elsewhere and providing an awkward junction with the fireplace. In some cases timber lining has been used which further suggests that these are not original. Some joinery may have been recycled in these walls, therefore finer-detail planning is recommended to retain/reuse this joinery on the site.	

Exhibited

8	Opening in wall for new lift landing.	<p>Whilst new openings are discouraged, there has been a long and iterative process of how essential lift access can be gained to the first floor. The location proposed is considered to be the most feasible with least heritage impact, therefore it is considered that the loss of some original fabric is acceptable to allow for this necessary infrastructure. It is recommended that any viable masonry removed be reused in repairs and/or stored in site for future restoration work.</p> <p>With the stripping of linings on this wall, it is recommended that it be inspected for evidence of earlier windows – as this would assist in understanding the sequencing of the evolution of the building – noting that this is a wall where two separate periods of hotel buildings join and is expected that the earlier section would have had windows in this location.</p>	<p>For equitable access and for luggage movements to the level 1 hotel suites, a lift is required within the two-storey footprint of the hotel building. After testing many iterations, it was decided locating the proposed lift within the hotel building proper was the visually least disruptive and the most functional to daily hotel operations. The lift overrun will sit within the existing roof cavity. There will be no visual impact on the streetscape. The existing staircase in the building is both non-compliant and unsafe (number of treads, orientation, and short landing at top) and therefore should only be used as a fire exit. To meet emergency and fire safety requirements, an additional staircase is required. Pairing the lift and stair as a 'services core' is both logical and efficient. The stairs and the lift will be developed to be clearly legible as new fabric within the heritage building.</p>
9	Demolition of bottle shop, cool room, toilets, pool room, store and rear entry alcove.	<p>All of these are either heavily adapted mid-c20th infill or later c20th additions of no significance. Note that the significant sandstone boundary wall is to be retained, and no further removal of the existing southern wall of the hotel is proposed. This is considered to be an acceptable outcome to make room for a better-resolved area.</p>	
10	Removal of kitchen infill.	<p>This is a later added wall and is architecturally awkward. Its removal has no appreciable impact.</p>	
11	Removal of toilet block.	<p>These are later additions (c1960s). Their removal will have no impact.</p>	

Exhibited

12	Removal of modern colourbond garage.	Built in the 1990s. Its removal will have no impact.	
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Exhibited

Item	Proposal	Comment on possible heritage impact	Architect's comment
1	Demolition of the 1910s balcony and veranda.	Whilst it is acknowledged that the veranda and balcony has some significance in demonstrating a major renovation phase of the hotel, and that it is somewhat of an iconic and well-recognised feature of the hotel, the rationale for its removal is to return the façade of the hotel to its original, and more significant earlier Georgian form. As per Article 15.4 of the <i>Burra Charter</i> , the removal of the veranda and balcony which is of slight significance, will allow the restoration and greater appreciation of the Georgian heritage values of the building which are of greater significance, both to the site and the general tenor of the township of Ross. The removal of the gable ends and associated decorative infill will allow the more austere and stark Georgian form of the roof and façade to be apparent. This is considered to be a good heritage outcome.	Architects are in agreement with Praxis Environment's comments. Architects would like to add, the overall township of Ross is one of early Tasmanian Georgian architecture. This proposed demolition will increase the legibility of town's Georgian character.
2	Demolition of portions of the front of these roof sections to remove the gable form but to reinstate the hipped form. It is expected that only post-1910 material will need to be removed to achieve this.	Note that the success of the reinstatement of the Georgian tenor of the building relies on both the roof reconfiguration and the removal of the balcony and veranda - the conservation policy promoted an 'all or nothing' approach to removal of major 1910s elements, to avoid a pastiche of some retention and some removal which could act to confuse the evolution of the building.	
3	Removal of kitchen infill.	This is a later added wall and is architecturally awkward. Its removal has no appreciable impact.	
4	Demolition of bottle shop, cool room, toilets, pool room, store and rear entry alcove.	All of these are either heavily adapted mid-c20th infill or later c20th additions of no significance. Note that the significant sandstone boundary wall is to be retained, and no further removal of the existing southern wall of the hotel is proposed. This is considered to be an acceptable outcome to make room for a better-resolved area.	

Exhibited

5	Removal of toilet block.	These are later additions (c1960s). Their removal will have no impact.	
6	Removal of modern colourbond garage.	Built in the 1990s. Its removal will have no impact.	
7	Replacement of colourbond roofing with short-sheet corrugated galvanised iron.	A positive heritage outcome in reinstating a more traditional roofing material.	

Exhibited

Figure 11.4 - Elevation demolition



Item	Proposal	Comment on possible heritage impact	Architect's comment
1	Demolition of the 1910s balcony and veranda.	Whilst it is acknowledged that the veranda and balcony has some significance in demonstrating a major renovation phase of the hotel, and that it is somewhat of an iconic and well-recognised feature of the hotel, the rationale for its removal is to return the façade of the hotel to its original, and more significant earlier Georgian form. As per Article 15.4 of the <i>Burra Charter</i> , the removal of the veranda and balcony which is of slight significance, will allow the restoration and greater appreciation of	Architects are in agreement with Praxis Environment's comments. Architects would like to add, the overall township of Ross is one of early Tasmanian Georgian architecture. This proposed demolition will increase the legibility of town's Georgian character.
2	Demolition of portions of the front of these roof sections to remove the		

Exhibited

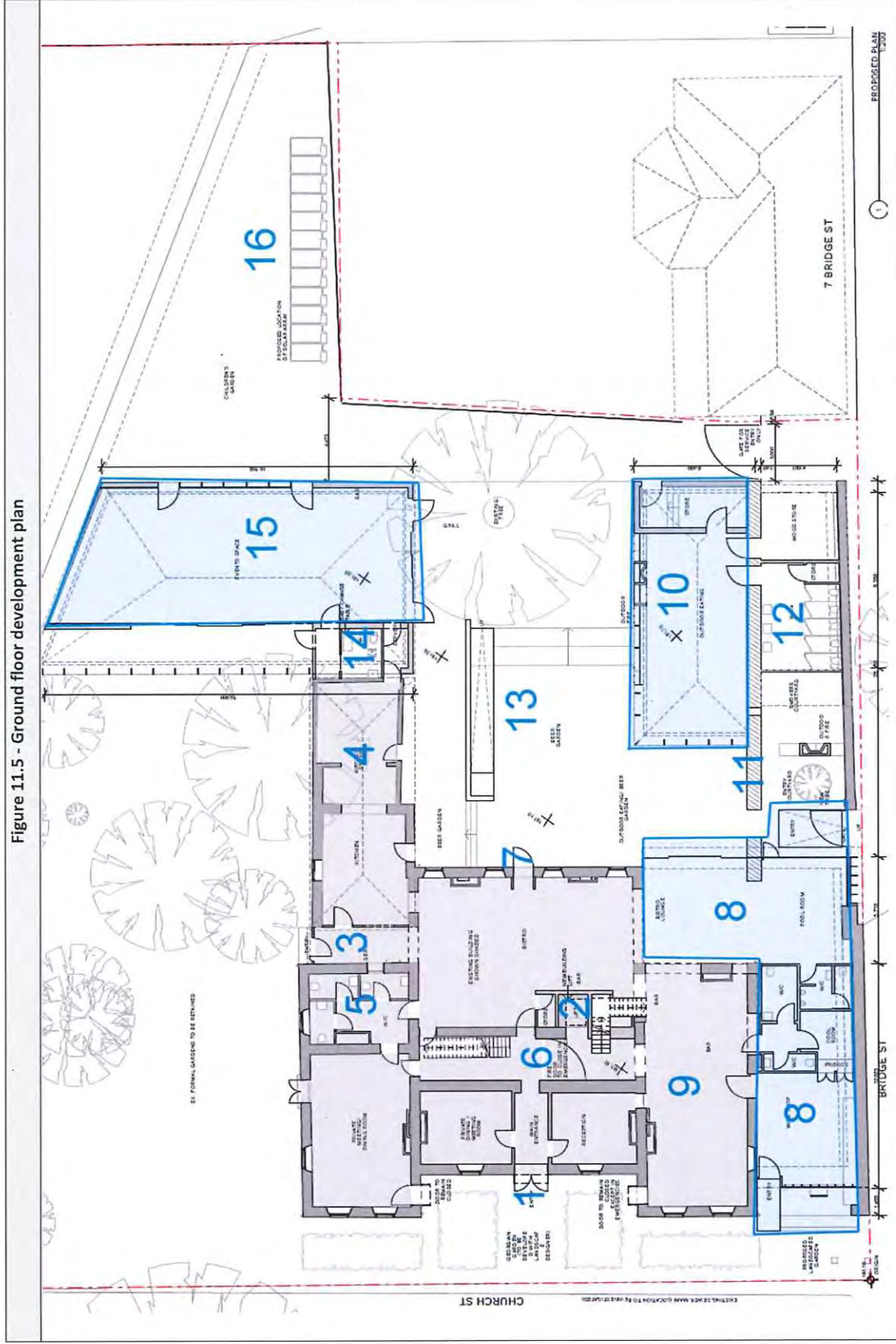
	<p>gable form but to reinstate the hipped form. It is expected that only post-1910 material will need to be removed to achieve this.</p>	<p>the Georgian heritage values of the building which are of greater significance, both to the site and the general tenor of the township of Ross. The removal of the gable ends and associated decorative infill will allow the more austere and stark Georgian form of the roof and façade to be apparent. This is considered to be a good heritage outcome. Note that the success of the reinstatement of the Georgian tenor of the building relies on both the roof reconfiguration and the removal of the balcony and veranda - the conservation policy promoted an 'all or nothing' approach to removal of major 1910s elements, to avoid a pastiche of some retention and some removal which could act to confuse the evolution of the building.</p>	
3	<p>Removal of flagpole.</p>	<p>No impact – this is a later c20th addition.</p>	
4	<p>Removal of existing front doors.</p>	<p>These are part of late c20th renovations and their removal in favour of more sympathetic doors is encouraged.</p>	
5	<p>Demolition of bottle shop, cool room, toilets, pool room, store and rear entry alcove.</p>	<p>All of these are either heavily adapted mid-c20th infill or later c20th additions of no significance. Note that the significant sandstone boundary wall is to be retained, and no further removal of the existing southern wall of the hotel is proposed. This is considered to be an acceptable outcome to make room for a better-resolved area.</p>	
6	<p>Removal of kitchen infill.</p>	<p>This is a later added wall and is architecturally awkward. Its removal has no appreciable impact.</p>	
7	<p>Removal of toilet block.</p>	<p>These are later additions (c.1960s). Their removal will have no impact.</p>	

Exhibited

8	Removal of modern colourbond garage.	Built in the 1990s. Its removal will have no impact.	
9	Removal of later added fire door, landing and fire stairs.	These are later additions (c1960s). Their removal will have no impact.	
10	Removal of screen/fencing.	A later addition. It is also recommended that all concrete paving in this screened area be removed, as it is exacerbating damp in the back wing.	
11	Removal of modern door insertion.	No impact. This is a later insertion. Note that no sandstone will be removed in association with this demolition – the blockwork in the alcove is modern.	
X	Erroneous notation for alteration of these roof planes.	These remain as the original hipped roof forms and will not be altered (apart from re-cladding in short-sheet CGI).	This was a drafting error which has been rectified in the final DA drawing set.

Exhibited

Figure 11.5 - Ground floor development plan



Exhibited

Item	Proposal	Comment on possible heritage impact	Architect's comment
1	New Georgian style doors	More sympathetic doors (possibly a single door and side lights) and a top-light would improve the entrance, with the existing late-c20th doors not particularly sympathetic. Further research on detail design should be undertaken from contemporary country hotels to inform the fine detail design.	
2	Installation of lift and primary stairs.	An iterative process of discussing options between the architects and heritage consultant tested a number of lift options, and it was concluded that this location was the most desirable on-balance with least heritage and visual impact. Whilst it is inevitable that heritage impact will arise with the installation of compliant and fit-for-purpose vertical circulation infrastructure, this is considered acceptable in promoting the ongoing significant use of the building as a viable hotel. Installation in this area will result in the loss of some significant structural fabric. It will only have minimal impact upon detailing, and it is considered that this area of the building is more conducive to such infrastructure than the more formal front rooms/bar areas etc.	For equitable access and for luggage movements to the level 1 hotel suites, a lift is required within the two-storey footprint of the hotel building. After testing many iterations, it was decided locating the proposed lift within the hotel building proper was the visually least disruptive and the most functional to daily hotel operations. The lift overrun will sit within the existing roof cavity. There will be no visual impact on the streetscape. The existing staircase in the building is both non-compliant and unsafe (number of treads, orientation, and short landing at top) and therefore should only be used as a fire exit. To meet emergency and fire safety requirements, an additional staircase is required. Pairing the lift and stair as a 'services core' is both logical and efficient. The stairs and the lift will be developed to be clearly legible as new fabric within the heritage building.
3	Passage and servery	The insertion of a throughfare and servery in this area is considered to be an acceptable outcome as it enhances the feasibility of the kitchen which assists in promoting the ongoing significant use of the building and also allows opportunity for a more direct linkage to the northern garden area which will assist in the appreciation of that area of the	

Exhibited

		heritage site. This area is currently an architecturally awkward infill – the proposal offers a better resolved solution.	
4	Extension of kitchen into current pantry and outbuilding.	This is a positive outcome in reinstalling a use into a currently underutilised (but significant) service area of the building. It will promote the restoration of the outbuilding (in particular it is recommended that the concrete floor be removed, and a more suitable flooring system be installed which will discourage damp ingress into the walls).	
5	Insertion of toilets into current servery room.	This is an acceptable outcome given the low integrity of this room. Finer details specifications will need to demonstrate how waterproofing will not impact upon any significant fabric (it appears that this room has a concrete floor, so the proposal may have the opportunity to improve the current situation).	
6	New fire door.	This is likely to be acceptable – however a sympathetic design will need to be detailed.	
7	New back door.	This is not an original door opening. Whilst no detail has been provided on the design of this door – a modern (but subtle) styling would be appropriate (i.e. not faux Georgian).	
8	New wine shop, bistro lounge, pool room, toilets and cool room.	The location of these items is precededented by the current situation, and the proposal offers a better resolved solution to providing these in support of the ongoing significant use as a hotel. In terms of location, the extension will be low-set, largely concealed behind the	

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		<p>existing sandstone wall. The front setback will be greater than the current front setback of that part of the building, therefore better emphasising the original corner of the hotel. The better resolved floor plan will allow a better flow to the rear of the hotel/beer garden. The exterior form and detailing of this will be discussed in the proposed elevations below.</p>	
9	Refurbishment of bar.	<p>The retention of the bar in the area traditionally used as the bar is a positive demonstration of continuity. The significant detailing around windows will be retained – noting that this area is otherwise devoid of significant detailing. Further detailing is required, however it is unlikely to result in any adverse heritage impact.</p>	
10	New undercover outdoor area and store.	<p>This area will provide functional undercover area within the area traditionally used as a beer garden in an appropriately designed and sited building. This area has a precedent of lightweight structures for shelter and entertainment and the proposal continues that use in a better-resolved manner.</p> <p>The exterior form and detailing of this will be discussed in the proposed elevations below.</p>	
11	Hempcrete wall	<p>This is considered to be an appropriate response to providing a hard wall for the insertion of the toilets (between this and the historic boundary wall) – using a natural material but in a modern way. The axis of this wall is in-line with the southern wall of the hotel, which provides some geometric cohesion to the site and also continues the</p>	

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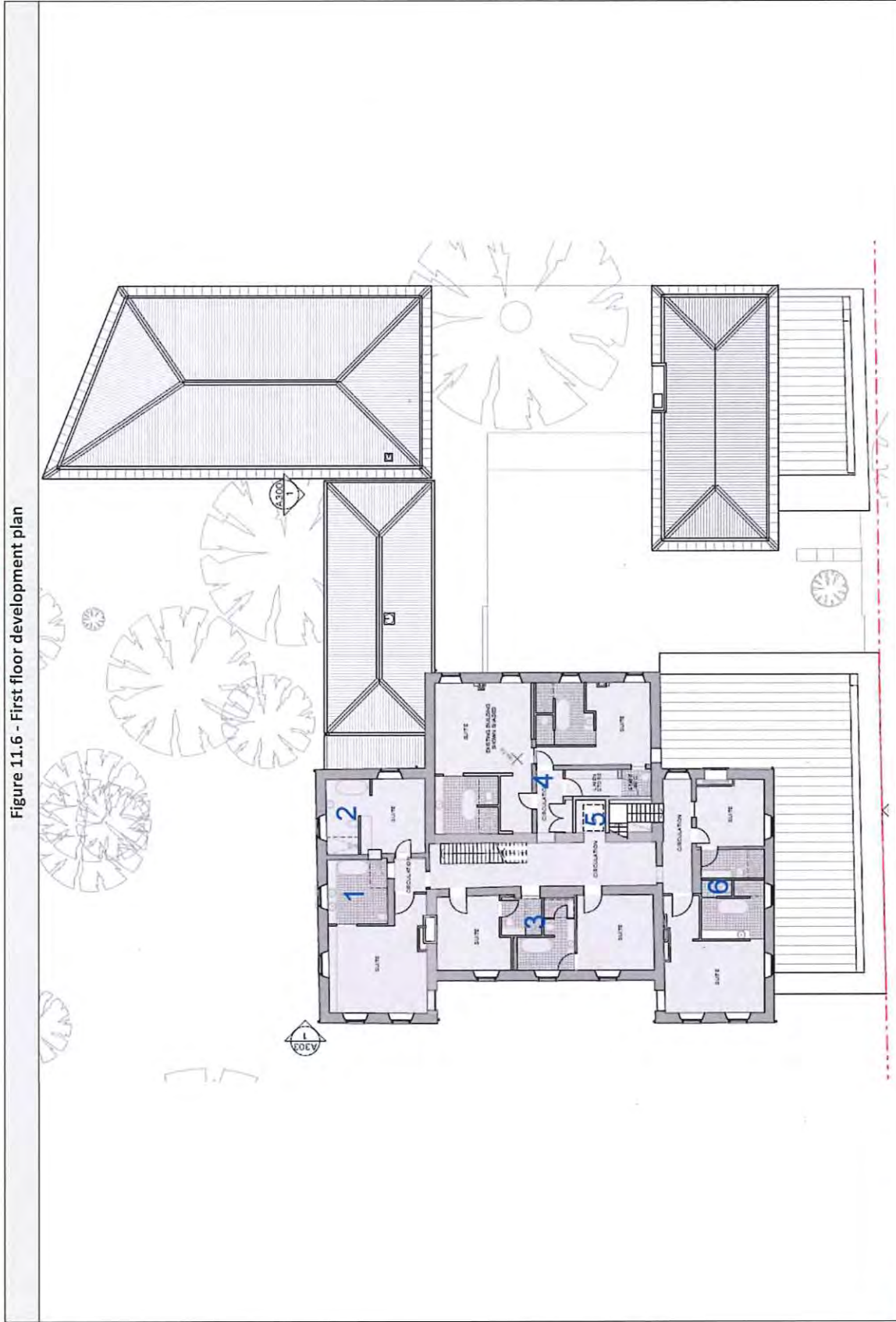
		tradition of ancillary structures tucked behind the historic boundary wall and the wall of buildings within the site.	
12	New toilets, smoking courtyard and outdoor fireplace.	Subtly tucked behind the historic boundary wall and the proposed hemcrete back wall of the proposed undercover outdoor area, the siting of these facilities is considered appropriate in that they will be easily accessible but low-set and non-obtrusive.	
13	New beer garden area and ramp.	This will continue to utilise the area as a beer garden consistent with the traditional use. See below for the archaeological considerations for this area, as alterations to ground level will be necessary. With sufficient archaeological input, this is not considered to have any adverse heritage impact.	
14	New toilets baby change and servery.	This will replace a less-well resolved toilet building in this location and is not considered to have any adverse heritage impact.	
15	New events space.	This building provides an acceptable solution for a large event space that takes pressure of the larger rooms in the hotel building. The siting of the building rearward of the hotel and out of the rear courtyard is considered appropriate. The exterior form and detailing of this will be discussed in the proposed elevations below.	

Exhibited

16	Solar array.	This is considered an acceptable and discrete location for the installation of the array.	
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Exhibited

Figure 11.6 - First floor development plan



Exhibited

Item	Proposal	Comment on possible heritage impact	Architect's comment
1	New bathroom	This proposed bathroom occupies an ancillary room in this wing and can be installed with minimal structural modification to a room which appears to be devoid of original detailing. This is considered an acceptable outcome.	
2	New bathroom and suite	This area is currently a poorly resolved bathroom area. The proposal will provide for a positive heritage outcome by a better resolved suite, and also allow for the blocking of intrusive window insertions and surface run exterior services.	
3	Two new bathrooms.	Some impact will arise from the reconfiguration of this area, given that it is the only clearly legible original layout on the first floor. Nonetheless, the central room has the lowest integrity of all three rooms, so its division as two bathrooms to serve the more intact rooms either side is considered to be the most acceptable outcome. It is necessary to provide bathrooms for these rooms to allow their viable use as hotel accommodation which contributes to the ongoing significant use of the building, therefore this is considered acceptable. Detail of methods for waterproofing etc. which seeks to maintain significant fabric will be required in the BA process. Note that the door to this room is not original, however the doorframe is – this should be blocked in a reversible manner (the door may be discarded).	Original fabric will only be removed where necessary. Refer to architectural drawing A503 for architectural intent. Nib walls and bulk heads will be retained for future reversibility of proposed works.

Exhibited

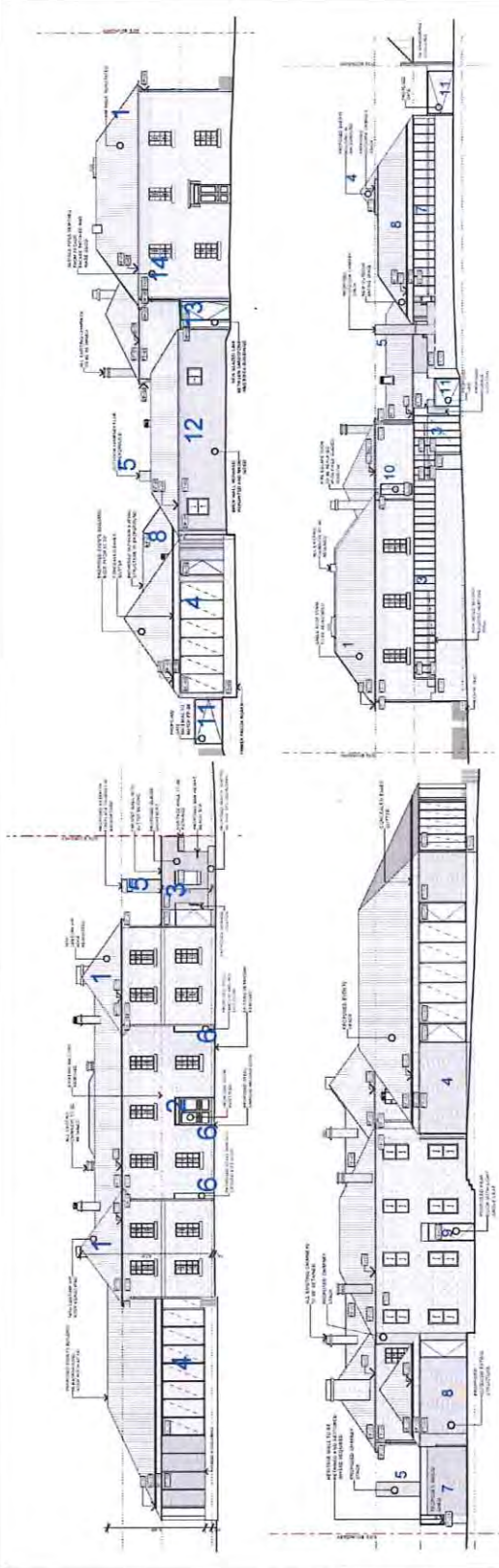
4	Reconfiguration of first floor of rear portion of building.	As per comments above, this area has a very low degree of integrity insofar as original fabric and form. The proposed reconfiguration is considered to be an acceptable heritage outcome as it provides for more viable suites in support of the significant ongoing use of the building (note that there is a north-facing window in this area which is omitted from the plans – this is to be retained).	
5	Installation of lift and primary stairs.	An iterative process of discussing options between the architects and heritage consultant tested a number of lift options, and it was concluded that this location was the most desirable on-balance with least heritage and visual impact. Whilst it is inevitable that heritage impact will arise with the installation of compliant and fit-for-purpose vertical circulation infrastructure, this is considered acceptable in promoting the ongoing significant use of the building as a viable hotel. Installation in this area will result in the loss of some significant structural fabric. It will only have minimal impact upon detailing, and it is considered that this area of the building is more conducive to such infrastructure than the more formal front rooms/bar areas etc.	For equitable access and for luggage movements to the level 1 hotel suites, a lift is required within the two-storey footprint of the hotel building. After testing many iterations, it was decided locating the proposed lift within the hotel building proper was the visually least disruptive and the most functional to daily hotel operations. The lift overrun will sit within the existing roof cavity. There will be no visual impact on the streetscape. The existing staircase in the building is both non-compliant and unsafe (number of treads, orientation, and short landing at top) and therefore should only be used as a fire exit. To meet emergency and fire safety requirements, an additional staircase is required. Pairing the lift and stair as a 'services core' is both logical and efficient. The stairs and the lift will be developed to be clearly legible as new fabric within the heritage building.
6	New bathrooms.	These bathrooms are proposed for an area of the building which has a lower integrity – having been previously modified. Noting however that this area does have some joinery which appears to be original (some may have been relocated from elsewhere in the rooms/building when the form was reconfigured. Finer-detail design is required to ensure that this detailing is retained in-situ if	

Exhibited

			possible, or otherwise reused in this area. Note that what appears to be the original cross-wall is to be retained.	
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Exhibited

Figure 11.7 - Elevation development



Item	Proposal	Comment on possible heritage impact	Architect's comment
1	Reinstate original hipped roof form.	This is a positive heritage outcome as part of the suite of works intended to reinstate the original Georgian form of the building.	
2	Reproduction Georgian style doors.	More sympathetic doors (possibly a single door and side lights) and a top-light would improve the entrance, with the existing late-c20th doors not particularly sympathetic. Further research on detail design should be undertaken from contemporary country hotels to inform the fine detail design.	
3	New bottle shop, entry, toilets, store etc.	Whilst a more ideal situation would be for no development on this side of the hotel, and for the formerly open section to be re-opened, there is a	

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		<p>precedent of low building in this area as infill, and operation of the hotel has become reliant on this as service space. The proposed infill is considered to be a much more appropriate infill of this area, remaining low and subservient to the original building, and this proposal pushes the street frontage of that infill back to emphasise the original corner of the hotel. The street elevation is glazed to promote an ephemeral look to the extension and to also be an inviting main entrance. The existing stone boundary wall will be retained which will hide much of this structure. The overall height of the roof will be lower than what exists which will assist in revealing more of the southern wall of the hotel building. Overall, this is considered to be a good design approach which results in an overall positive heritage outcome in providing a more serviceable and well-resolved infill than currently exists.</p>	
4	New function centre.	<p>Although a comparatively large building, this is considered to be an acceptable outcome in providing function space in an area which does not have the heritage sensitivities of the original building. The building will be set well back from the street frontage so as to maintain the dominance of the original building – that setback also buffered by existing plantings which promote some subservience of the building. It will be sited so as to not interrupt the courtyard and to be lightly attached to the existing rear wing. The form is traditional with a hipped roof of comparable pitch to the existing buildings, with an axial relationship to the proposed outdoor eating structure that promotes visual cohesion and reinforcing the courtyard feel of the rear of the site. The detailing will be modern, but within that traditional form this is considered to be an appropriate design response. The splayed end of the building does break from traditional forms, however this is a necessary response to the service easement running through the site. Whilst the</p>	

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		western elevation suggests that this building will have a high degree of visual impact, the reality will be that it is recessive in the streetscape owing to the setback and the presence of established plantings. Overall, this building is considered to be acceptable.	
5	Chimney in courtyard	This is in the tenor of the original design which has a number of chimneys providing vertical interest. This is an acceptable addition.	
6	Steel shrouds around exterior doors.	Whilst any sort of awning or door shroud was unlikely to have been part of the original design intent (and may have been why a veranda was desired) it is understood that these are necessary for protecting the entrances from the elements. It is proposed that these be flat folded steel, painted black and it is recommended that a small (even <10mm) standoff from the sandstone façade be included (i.e. and that these be freestanding). These are designed to be as subtle and recessive as practicable and are considered an acceptable outcome. To install 'faux-Georgian' awnings, or any other 'heritage style' awning would not be desirable, nor would something overly articulated and modern.	
7	Wood shed and toilets in infill behind boundary wall.	Subtly tucked behind the historic boundary wall and the proposed hempcrete back wall of the proposed undercover outdoor area, the siting of these facilities is considered appropriate in that they will be easily accessible but low-set and non-obtrusive.	
8	Outdoor eating structure.	There is a precedent of lightweight structures in this area used for outdoor dining and functions, and the proposed building is a better-resolved approach to continuing this tradition. With the adjacent toilets and store	

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		<p>room, this structure is considered to be a suitable means of providing additional entertainment space for the hotel.</p> <p>The design utilises a roof pitch similar to that of existing buildings, and that of the proposed function centre. The location of the building promotes the enclosure and inward-facing nature of the courtyard. Whilst the materials palette is modern, the form of the building will sit neatly with the complex of buildings and is not considered to have any adverse heritage impact.</p>	
9	New back door.	<p>This is not an original door opening. Whilst no detail has been provided on the design of this door – a modern (but subtle) styling would be appropriate (i.e. not faux Georgian).</p>	
10	Fire escape door to be infilled with glazing.	<p>This is an acceptable outcome given the redundancy of that door with the new vertical circulation system in the building. A better outcome would be for this to be infilled with like-for-like masonry, however the proposal is acceptable in any case.</p>	
11	Gates	<p>These gates are intended to be black stained (or charred) timber which is considered to be an appropriate material.</p>	
12	Repair of masonry.	<p>A positive outcome, as the sandstone and brick in this wall is suffering from severe damp, caused by the concrete floor inside, failed rainwater goods and ground/garden accumulation on the outside. Repair of this wall is necessary, and must be undertaken by a qualified stonemason/bricklayer using lime based mortars (no cement). Engineering opinion may be required to rectify any structural issues (e.g. roof thrust).</p>	

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13	Glazed link to bistro.	This being a modern heavily glazed element is positive in reinforcing the distinction between the body of the hotel building and the kitchen wing – which is a much better arrangement than currently exists.	
14	Removal of later cut-in window and removal of surface run service pipes.	A positive outcome with the removal of intrusive elements.	

Exhibited

11.3. Consideration of streetscape impact

Point	Importance to the place	Current situation	Comment on proposed development
1 ¹¹	<p>The hotel has a high degree of streetscape presence from these vantage points – particularly upon the southern entry to Ross where it dominates a wide viewfield. The rear gardens backdrop the building, although are not largely prominent due to the sandstone walls.</p> <p>The bottle shop extension is somewhat intrusive as it is an oddly-scaled extension, and although has made an attempt to emulate the 1910s detailing, is of a form that is not particularly compatible with the hotel building. Note that the low-scale of this extension is in its favour.</p>		<p>The proposal will importantly reinstate the Georgian form of the building from these vantage points.</p> <p>The new entry, bottleshop etc. will be discernible in the location of the current bottle shop – see commentary on Vantage Points 7-8 below.</p>
2			

¹¹ Vantage point numbering relates to those points introduced as being of significance in Section 8.1 of the current document. [PraxisEnvironment](#) Heritage Impact Assessment February 2023

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<p>3</p>	<p>The approach from the south along Bridge Street from the bridge does not include the hotel as a prominent element, although as the bottle shop extension comes into view this is somewhat of an entry statement into Ross, with the hotel soon becoming a prominent element. This view allows the 'four corners' to be readily discerned together.</p>		<p>The proposed development will barely be discernible from this vantage point.</p>
<p>4</p>	<p>The prominence of the hotel increases as one heads southward along Church Street and forms a cohesive grouping with the sandstone town hall on the opposite corner .</p>		<p>The proposed rear pavilion will be visible from these points, however will be set back from the street and be buffered by the existing vegetation which is to be retained. The proposed form of that building is considered to be complimentary to the tenor of the form of Georgian buildings in the surrounding streetscape.</p>
<p>5</p>	<p>Whilst the hotel has a low prominence in the streetscape from this vantage point, glimpses of the northern wall rely on the lack of development in the northern garden area.</p>		

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6	<p>Closer views of the northern wall reveal this as an ancillary entrance with the pedimented central door. The added gable end diminishes the Georgian symmetry of this elevation. The building is discerned within a soft garden setting from this vantage point, as opposed to the hard landscaped frontage.</p>		<p>As per 4 and 5.</p>
7	<p>The side elevation of the hotel is prominent from southward along Church Street as well as from close environs in Bridge Street - with the building discerned as part of the 'four corners'. The poorly resolved bottle shop extension inhibits the view of the southern elevation of the building. Any development at the rear of the building would be most prominent from these vantage points.</p>		<p>The proposed outdoor dining pavilion will be discernible from these vantage points as a discrete backdropping element to the existing stone wall. This is predated by the former presence of the stables and is consistent with the pattern of evolution of such a site.</p> <p>The proposed bottleshop, entrance etc. behind the front portion of the Bridge Street wall will also be a discrete element, which will be largely tucked behind the wall with a timber top portion to promote subservience of the new insertion. This is a better resolved corm and detailing than existing and will not be an obtrusive element from these points.</p> <p>The proposed pavilion will barely be discernible and blend sympathetically into the pattern of roofscapes forming the rear courtyard enclosure.</p>
8			

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<p>9</p>	<p>The hotel itself is not prominent from eastward along Bridge Street, however the hard-to-street construction of the adjacent house and sandstone wall of the hotel yard provide a cohesive materiality to the street edge.</p>		<p>As per 7 and 8, although the new forms will be much less visible from this point.</p>
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Exhibited

11.4. Archaeological impact assessment

As cited above, Praxis Heritage Consultants formulated a statement of archaeological potential (SoHAP) for the Man O Ross Hotel in April 2009. Of relevance to the current project, that document defined that a large part of the courtyard area is likely to be of archaeological potential as the site of the original stables building (and possibly other early outbuildings and other features such as drains, well etc.). The SoHAP provides a detailed research design framework for the information likely to be yielded from archaeological investigation of the site.

The following figure is a refinement of that original archaeological zoning plan based on further research and consideration arising from the current project:



Figure 11.8 - Archaeological zoning plan – Ross Hotel. Green area being the area of high archaeological potential.

Exhibited

As per Section 4, there is no definitive depiction of the footprint of the original stables. It is also not historically conclusive as to whether there was only one generation of stables (i.e. the different depictions *may* be different buildings. To avoid doubt, the area of archaeological potential as defined in Figure 11.8 *might* be reduced with further on-site investigation.

The SoHAP concluded that the area of high archaeological potential has probably not been subject to extensive disturbance since the time of demolition of the earlier building(s) and therefore archaeological remains might be relatively intact. It is also not known (but highly likely) that the ground level has been built up across the area, particularly closer to the rear of the hotel.

As per the documentation for the proposed development cited in Section 11.1, the proposal includes the following elements which will require excavation in the rear courtyard area (i.e. within the area of high archaeological potential):

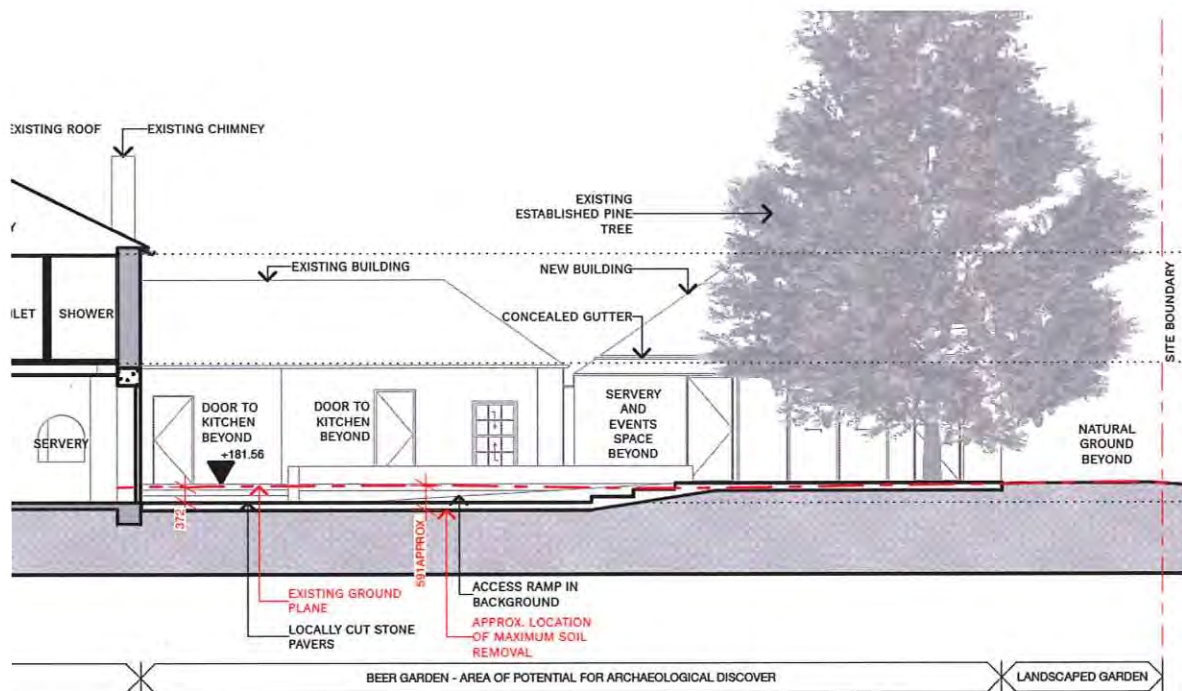


Figure 11.9 – Indicative ground level lowering, rear courtyard. Cumulus Architects.

Exhibited

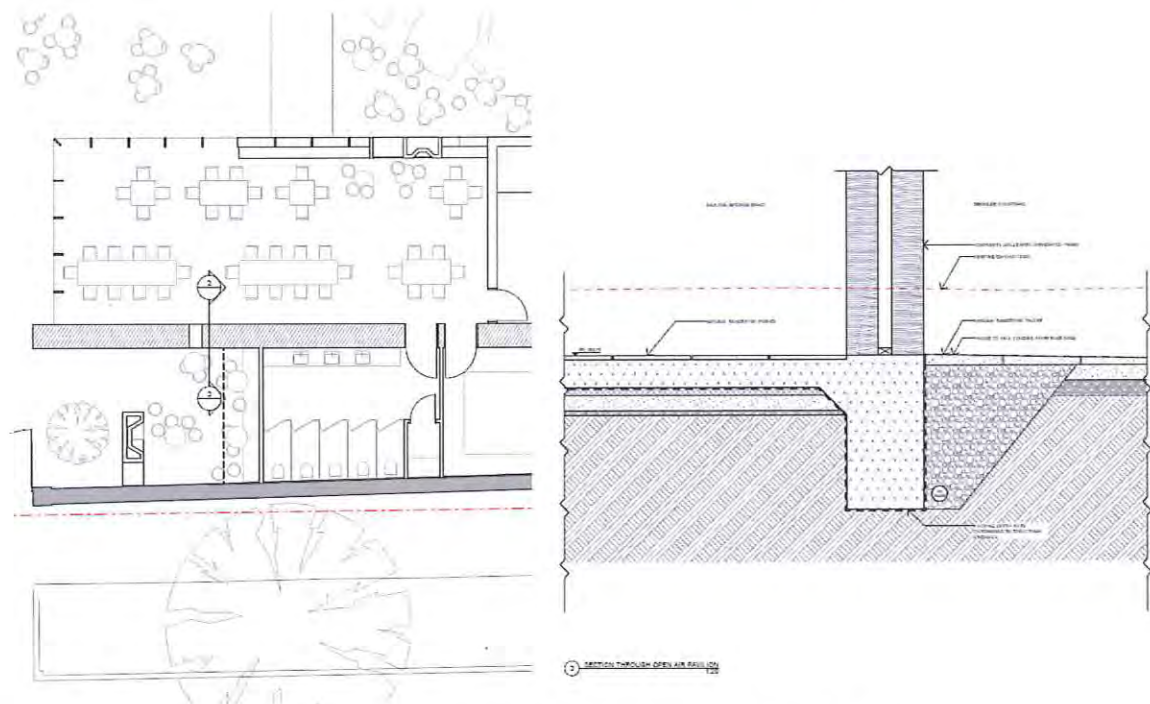


Figure 11.10 – Indicative foundation specifications, pavilion/toilets dividing wall.

- A general lowering of the ground level behind the rear section of the hotel to address damp and grading issues. This will be approximately 590mm in depth close to the rear of the hotel, (to also allow for new ground surfaces). As per above, it is not known (but possible) whether much of this area is later fill which may be on top of earlier archaeological remains.
- Strip foundations approximately 600mm below the lowered ground level for the foundations associated with the open pavilion and toilets.
- Excavations for services associated with the proposed new buildings.

Excavations to lower the ground level may have an impact if there are remains in this area that are not beneath later fill. Excavations for the foundations for the proposed buildings will certainly be deep enough to encounter the possibility of remains of the earlier buildings – therefore some impact will arise and the following archaeological method statement is proposed to mitigate that impact.

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11.5. Archaeological method statement

Implementation timeframe

The possibility of undertaking test excavations may be explored ahead of the works program, however given that much of the area is currently covered in decking, paving and other in-use hotel infrastructure, it is likely to be more expedient to undertake any desired test trenching as part of an early works package post-demolition of existing infrastructure, and ahead of the works program.

A test trench running N-S and E-W across the entire area of archaeological potential, to a depth where any significant structure is encountered, would assist in planning the overall implementation.

Subject to a refined archaeological method statement responding to any test trenching (if necessary), it is intended that the overall archaeological works program will occur wholly prior to the development process (although possibly as part of an early works package), so as to avoid any impacts upon any critical timelines of the project and to allow the entire archaeological program to be effectively rolled out uninhibited by works program deadlines. This would include the archaeologically controlled excavation of the entire area intended for lowering of ground level, and the lines of all required footings and services associated with the proposed buildings – as per the methodology below.

Approach to works – areas of high archaeological potential (both in the any testing and the overall broadscale phases).

Removal of non-significant overburden

Initially, an archaeologist will supervise the mechanical excavation of any non-significant overburden (e.g. turf and non-significant overburden) until such a point where any significant archaeological remains are encountered, then excavation will cease until an understanding of the nature of the remains is ascertained. If no significant archaeological remains are encountered (to a depth of sterile ground level) then the provisions of 'cessation of archaeological input' (below) will be implemented.

Where significant archaeological remains are encountered

In areas where significant archaeological remains are encountered, those areas will be gridded to the expected horizontal extent of the remains, and excavation will continue by hand (as per methodology below), to expose the remains in order to gain further understanding of their nature, and to thoroughly

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record them (as per methodology below). Mechanical excavation in those areas will only continue if the archaeologist is satisfied that this can occur without detriment, that required outcomes can be achieved and that excavation by hand is not necessary.

The general approach to excavation will be by gridding the area in units which are responsive to the nature of the remains (e.g. in horizontal control units no greater than 1000x1000mm in areas where remains appear to be complex or concentrated, or in larger control units where remains are not as complex or concentrated or for more uniform linear features) and removal of each contextual unit or spit (in depths as deemed appropriate by the archaeologist, according to the nature of the strata and/or remains). Apart from non-significant overburden, all spoil will be sieved through mesh of a gauge no greater than 12mm and any significant artifacts managed as per below.

It is expected that in areas of high archaeological potential the stratigraphic sequence will be relatively simple, that of post demolition (possibly including some disturbance and fill), demolition, occupation (which may include several distinct phases including habitation and construction and that of pre-construction). Excavation of remains within the defined contexts in reverse order of deposition will occur and each unit/context thoroughly recorded (as per below) prior to removal.

It is proposed that all depositional strata be removed initially, as per above, with the aim of exposing and retaining any/all structural remains in-situ for holistic recording. No structural remains will be removed during the test trenching program and no structural remains will be removed until such time as entire building footprints are exposed for holistic recording (unless obscuring underlying significant structural deposits).

Following the broadscale phase, consultation with the design team will occur to consider whether *any* of the exposed remains might be retained in-situ – either as preserved remains beneath the development footprint, or possibly as exposed and interpreted in-situ remains.. Removal of structural remains will only occur after that dialogue (and thorough recording as per below). Any salvageable building materials will be retained for use elsewhere at the discretion of the site owner (possibly in interpretive installations or contemporary recycled features).

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It is possible that the basements of the buildings will be encountered and if present there is a high likelihood that these may contain demolition rubble or fill in a secondary context. Depending on the nature of the fill and whether any significant depositional arrangement is evident, this will be removed by a means deemed pragmatic by the archaeologist in order to expose significant remains and yield as much information as is considered necessary from that fill.

Cessation of archaeological input

Archaeological input will cease only when the archaeologist is satisfied that all significant remains have been investigated and thoroughly recorded, as per this method statement and any conditions of statutory approvals, or if sterile ground is encountered, and that adequate consultation has been undertaken with Heritage Tasmania to verify that all on-site archaeological requirements have been met (and archaeological conditions satisfied).

Recording

Any structure or significant cultural deposit encountered will be thoroughly recorded (both photographically and sketched at a scale of no smaller than 1:20 and plotted on the site plan at a scale of a scale no smaller than 1:200). The first preference will be to keep structural remains in-situ (and covered in geo-fabric, unless removal is necessary to further investigate lower strata (which may bear archaeological remains), or if there is no prudent and feasible alternative to removal to allow the development to proceed – in which case remains will be removed after thorough recording.

Artifacts

Any significant artifacts found during excavations will be retained and have the required in-field conservation treatments and packaging undertaken. Artifacts will be bagged and tagged with spatial identification, and removed from the site (to a secure location) daily. Trench-notes will further detail the context and initial interpretation of artifacts.

Basic post-field curation of artifacts will be undertaken. Glass and ceramic items will be washed, whilst any organics or metals will be dry-brushed. Artifacts will be packaged in acid-free archive bags, tagged with appropriate tags, and boxed in archival quality boxes (with appropriate padding if required). Should any urgent conservation treatment be required, a professional Conservator will be consulted at the earliest possible instance. A detailed catalogue of artifacts will be included in the final report on works.

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After any required analysis, these will be archived (with a copy of relevant reports) on-site of the new development (upon completion) – however at the owner’s discretion and with the approval of the Tasmanian Heritage Council, alternative arrangements for storage and longer-term curation/display may be made with an appropriate repository.

Reporting requirements

Excavations and monitoring must be recorded to appropriate professional standards (for example Section 4.2 of the Tasmanian Heritage Council’s Practice Note 2). A final report must include (at a minimum):

- An executive summary of findings
- Details of the methodology employed
- Detailed interpretations of findings
- Relevant annotated photographs
- Site plans at a scale of no less than 1:200
- Trench plans at a scale of no less than 1:50
- Feature plans/sketches at a scale of no less than 1:20
- Photograph log
- Drone photographs and pointcloud survey

A copy of the final report, and project archive, will be deposited with the Tasmanian Heritage Council (and other repositories as listed below) within 6 months of completion of the excavations.

Public benefit

As the proposed development is on private land and will be a work site, public access to the archaeological program whilst occurring is not feasible. Subject to the exact nature and findings of the archaeological program, the following public benefit program will be implemented during and following the works:

- An interpretation plan will be developed which will consider options for the interpretation of the heritage values of the site in the new development (e.g. static/multimedia installations, curated objects, recycling of materials in contemporary installations etc.). This interpretation plan will be submitted to Heritage Tasmania ahead of the practical completion of the development and implemented within twelve months of occupancy.

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- The project report will be made publicly available, through appropriate repositories such as Heritage Tasmania, the State Library of Tasmania and the National Library of Australia (Trove).
- Archaeological results will be made freely available for future archaeological research.

Aboriginal heritage

As some excavation is likely to occur in ground below the historic layer, there may be the chance of encountering Aboriginal cultural heritage. There is also the possibility of encountering Aboriginal heritage in a secondary context (e.g. fill).

A search of the Aboriginal Heritage Register (search # 33730723) has not identified any registered Aboriginal relics or apparent risk of impacting Aboriginal relics – however this remains a possibility. Archaeological monitoring should be mindful of this possibility, and the Tasmanian Government's *Unanticipated Discovery Plan* must be implemented in the event that any item of Aboriginal Heritage is encountered.

Site contamination

It is the responsibility of the proponent of the development to investigate the possibility of site contaminants, and to either verify that no site contaminants are present, or to take required measures to deal with any known or likely contaminants during excavation works (noting that any necessary decontamination works may require archaeological input).

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11.6. Consideration of proposal against heritage management policies

1	General Policies	Commentary on proposal
1.1	<p>Approach to works: The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i>.¹²</p>	<p>This document has taken the principles of the ICOMOS Australia <i>Burra Charter</i> and followed conservation planning process to provide the basis for planning change to the place. There has been a long and iterative process between the heritage/archaeological consultant and designers to ensure that acceptable (and positive) heritage outcomes arise from the proposal.</p>
1.2	<p>Use/development: Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place. Some concession for heritage impact may be made to ensure the ongoing viable use of the building as a hotel.</p>	<p>The project seeks to provide a sustainable future for the site to continue to operate in the capacity of its traditional use – that of a hotel.</p>
1.3	<p>Supervision: All works to the significant elements of the place, and planning for such works, must be guided by a conservation architect, heritage consultant or other person(s) qualified and experienced in the conservation of historic heritage places.</p>	<p>It is expected that there will be ongoing heritage input into the detail design and implementation phase of the project.</p>

¹² <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>
PraxisEnvironment Heritage Impact Assessment February 2023

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2	The exterior of the building	Commentary on proposal
2.1	<p>Roof form: The current form of the roof should be maintained, with the exception of:</p> <ul style="list-style-type: none"> • Rationalisation of altered areas such as above the upstairs hallway and junction of the kitchen wing to the body of the hotel. • Possible reinstatement of the Georgian front hips. 	<p>The proposal seeks to reinstate the more significant original Georgian roof form of the body of the hotel.</p>
2.2	<p>Footprint: The footprint of the body of the hotel and rear wing should remain legible. Any additions should be limited to non-principal elevations and/or be comparatively lightweight and opportunity for better rationalizing existing extensions should be explored.</p>	<p>The proposal removes poorly resolved extensions, and although replaces them with new extensions, these are considered much better resolved and more sympathetic to the maintenance of the form of the building.</p>
2.3	<p>Fenestration: There is limited scope for alteration of existing windows, doors etc. Addition of new openings should be avoided. Added/altered openings may be blocked as desired.</p>	<p>The proposal retains the significant fenestrative pattern of the building and in some cases removes intrusive later insertions.</p>

Exhibited

3	Interior layout and form	Commentary on proposal
3.1	<p>Ground floor: The existing ground floor layout should generally be retained, however some modifications to sustain viable public areas of the hotel are likely to be acceptable (noting that modification of the existing dining room and bar is likely to have greater scope due to previous modifications).</p>	<p>The proposal largely retains the ground floor layout, with modifications only to walls where there is not significant detailing and retains nibs and bulkheads to ensure that earlier forms remain legible. These interventions are considered necessary for the ongoing feasible use of the hotel and are considered acceptable.</p>
3.2	<p>First floor (front and north/south wings): The general arrangement of the central area of the first floor should remain largely as existing, particularly the transverse hallway. There is scope for modification of the northern and southern wings.</p>	<p>The central area of the first floor will be modified, but only in a minor way which retains the legibility of the original form. Known original walls in the wings are largely retained.</p>
3.3	<p>First floor (rear section): The interior form of this area may be altered as desired. Investigation of any evidence of earlier form and detailing should occur with any stripout of this area.</p>	<p>Major modifications are proposed for this area to provide for a better resolved layout with the removal of non-significant forms.</p>
3.4	<p>Kitchen and service wing: the interior of the existing kitchen may be modified as desired. It may also be possible to extend into the rear wing if desired.</p>	<p>This wing will be modified for better efficiency and will make a more sustainable use of a currently underutilised part of the wing.</p>

Exhibited

4	Style and tenor of new work	Commentary on proposal
4.1	<p>Like for like fabric replacement: Replacement of deteriorated significant fabric should be like-for-like with original.</p>	<p>This will be further detailed in the detail design phase; however the intention is that any significant fabric will be repaired like-for-like.</p>
4.2	<p>Georgian style: Maintenance and restoration of a Georgian style to the building is the preferred means of conservation, although noting that there is a strong overarching Inter-War/Federation styling. That later style may be maintained if desired, however if desired the earlier form and detailing may be restored.</p>	<p>The proposal has a strong push to reinstate lost Georgian form and detailing, with the removal of much of the 1910s detailing and reinstatement of the Georgian roof form, front doors etc.</p>
4.3	<p>Federation/Edwardian Style: If desired, the later form and styling of the hotel may be maintained, however new work should not emulate this style. Alternatively, this styling may be removed in favour of reinstating Georgian character.</p>	<p>Much of this styling will be removed, however there will be some elements maintained internally as a representative sample of that era of renovation (subject to detail design).</p>
4.4	<p>Later c20th fabric and forms: Although in most cases sympathetic, these interventions are not of any significance and may be retained, removed or altered as desired.</p>	<p>Most of the poorly resolved later c20th work will be removed in favour of better-resolved solutions.</p>
4.5	<p>New work: New work to the building (e.g. services and hotel fitout) may be clearly modern if desired, but be as sympathetic, reversible and unobtrusive as practicable. If desired, new fitout may emulate Georgian character but be recognisable as modern upon close inspection.</p>	<p>The general character of new work will be of traditional forms, but with modern detailing. Materiality will utilise a traditional materials palette in a contemporary manner to give a nod to traditional materials but not be overtly imitative.</p>

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4.6	<p>New buildings: Any new buildings on the site need not emulate any particular architectural style, however their overall form and siting should follow Georgian design principles.</p>	<p>As per 4.5. Note also that the proposed new buildings will emulate the traditional courtyard form of the hotel which follows traditional Georgian siting principles.</p>
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5		Services and National Construction Code compliance	Commentary on proposal
5.1	Service installations: The installation of plumbing, electrical, fire detection/protection, security, acoustics and environmental (etc.) services are likely to be acceptable however these should be installed in an unobtrusive manner as possible and in as reversible manner as possible.		Detail on achieving this policy is to form part of the building permit application documentation. It is considered achievable that servicing the building can meet this policy.
5.2	Kitchen and bathroom installations: Installation of necessary kitchens and bathrooms is likely to be acceptable (subject to compliance with other policies). These should be discretely located and as reversible as possible.		Detail on achieving this policy is to form part of the building permit application documentation. It is considered achievable that servicing the building can meet this policy. Where possible, proposed new bathrooms have been designed to be located in less-sensitive parts of the building.
5.3	Building surveyor and NCC compliance: Where substantial adverse heritage impact would arise from meeting NCC compliance (particularly for any commercial use of the building), detailed dialogue must occur between the building surveyor, heritage consultant, client and permit authorities to balance heritage impact and compliance and to consider feasible alternatives, performance-based solutions and a pragmatic balanced outcome.		Detail on achieving this policy is to form part of the building permit application documentation. It is considered achievable that compliance for the building can meet the objectives of this policy – however this will require an iterative process during the final detail design phase.

6		Services and National Construction Code compliance	Commentary on proposal
6.1	Maintenance of significant viewlines: Significant viewlines to the building as defined in Section 8.1 must be maintained.		As detailed in Section 11.3, the proposal will maintain all significant viewlines to the hotel.
6.2	Maintenance of curtilage: Further to maintenance of significant viewlines, the curtilage of the building must be maintained, avoiding any direct extensions to		It is considered that the proposal has no adverse heritage impact upon the curtilage of the significant form of the building. The proposed extensions are

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	<p>the building (except restrained additions where precedent has been set and where required for established functional purposes).</p> <p>Playing on the 'courtyard' idea is encouraged for any future buildings – noting that the courtyard was original much more enclosed by buildings.</p>	<p>precedented by existing extensions and the proposal provides a far better resolved design outcome which is more sympathetic to the building. The proposed new buildings accentuate a traditional courtyard form at the rear of the hotel.</p>
6.3	<p>Subdivision: Ideally, subdivision should be avoided.</p>	<p>No subdivision is proposed.</p>
6.4	<p>Archaeology: The approach to archaeology must follow the recommendations of the 2009 Praxis statement of archaeological potential and the tenor of the associated archaeological method statement. Note that the current document has reviewed that previous document, and with further research and analysis here has provided the following revised archaeological zoning plan (green shading being the area of high archaeological potential – i.e. the two different historical depictions of the stables site). Note that the area of archaeological potential is unlikely to be this large in reality – owing to the unknown rate of error of historical surveys, as well as the unknown extent/depth of any later disturbance. This is to be refined on-ground in the event of any excavations at the discretion of a historical archaeologist.</p> <p>Ideally archaeological remains should be avoided if feasible, however if this inhibits development of the site and its ongoing significant use as a hotel, then excavation to yield archaeological potential ahead of removal is likely to be acceptable. Any possibility of in-situ interpretation of archaeological remains is desirable.</p>	<p>Refer to the archaeological impact assessment in Section 10.4.</p>



Filepath: Service Locating Tasmania
(SLTAS)/Teams/SLT

Template ID: SLT-UD-001
Template Version: 9
Form Version: 5

Utility Locating Report

Received

24.04.2023

Billy Walker
Created Mon, 17 Oct 2022, 7:12 PM (UTC+11)

Date Mon, 24 Oct 2022

SLT Job Number 220033

DBYD Reference Number N/A

Job Address Ross hotel

Assets Located

Assets	Located	Quality Level	Notes
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Yes/No Have you checked all DBYD plans? Yes

Yes/No Have you located the right area? Yes

Locator Name/Signature *B Walker* Billy Walker, SLTAS, Mon, 24 Oct 2022, 3:48 pm

Client Name/Signature Not signed yet.



See full page photos attached at end of PDF

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Disclaimer

- A risk was present prior to our engagement. You have engaged us to minimise that risk. Whilst every effort will be made to identify hazards the technology cannot necessarily identify all potential hazards.
- Ground penetrating radar and electronic cable locating, do not allow us to actually see into the ground or material. Any marking or positive results are a guide only and require further visual confirmation by potholing with non destructive digging (vacuum excavation truck or hand digging).
- To the extent permissible by law, you release us from any loss or damage caused by us not identifying and locating a potential hazard.
- Once you have read the above, please acknowledge your understanding of the risks and your acceptance that any loss or damage is not our responsibility. By employing us you also accept our work hours and additional costs.

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24.04.2023

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No GPS information available

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Captured on: Wed, 12 Oct 2022, 1:38 pm

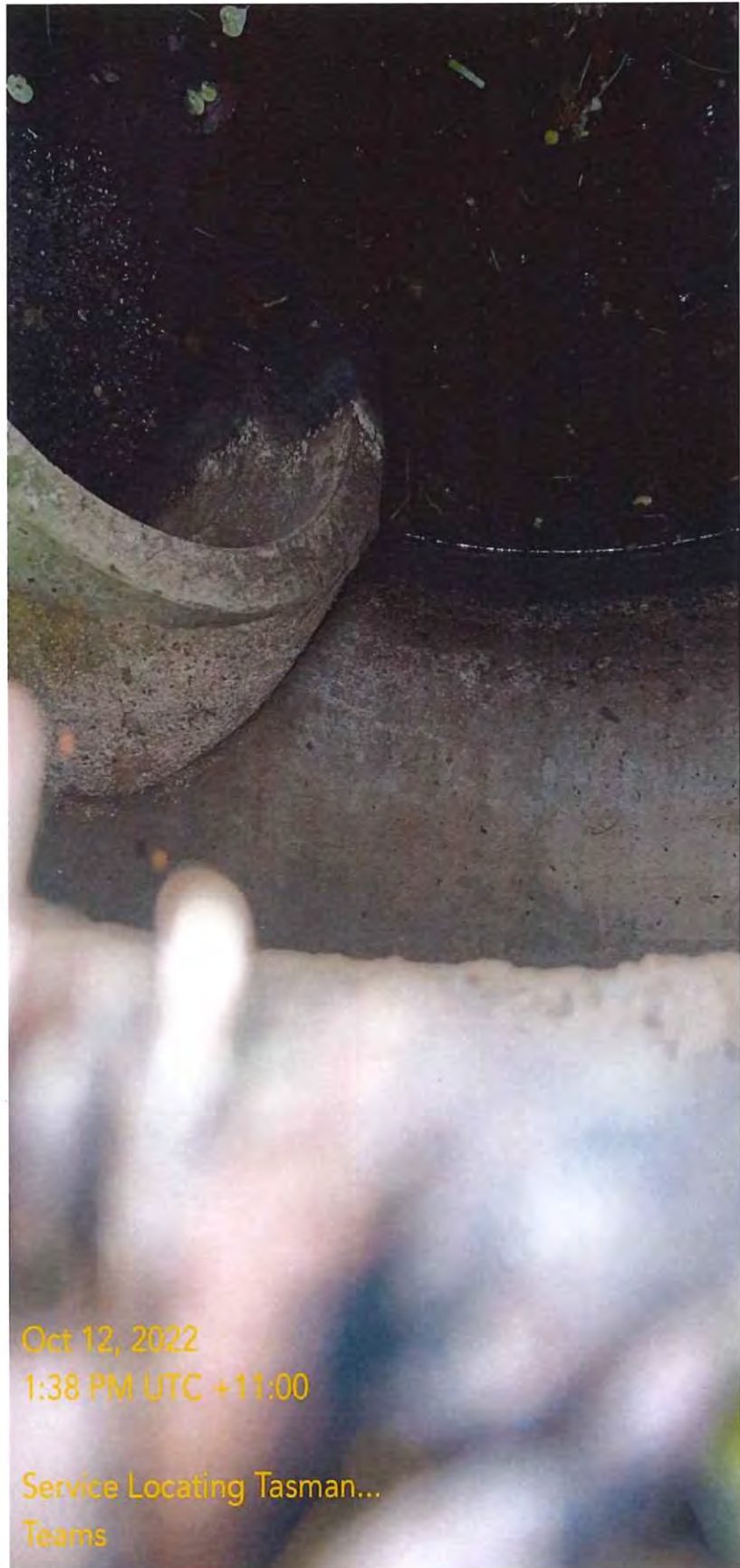
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Description:

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 Comments:

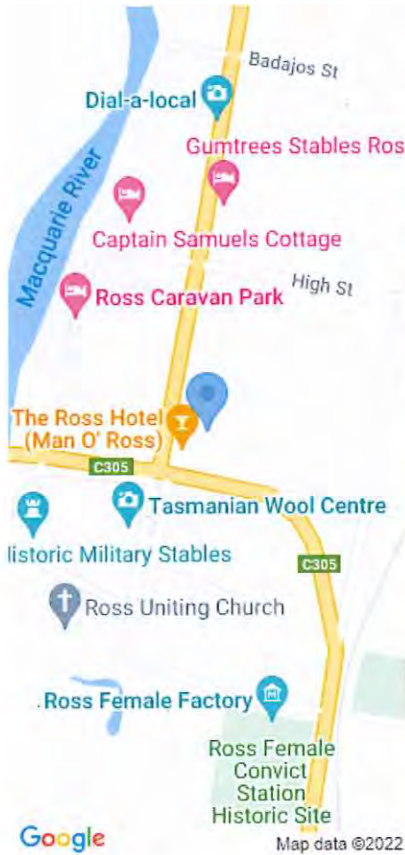
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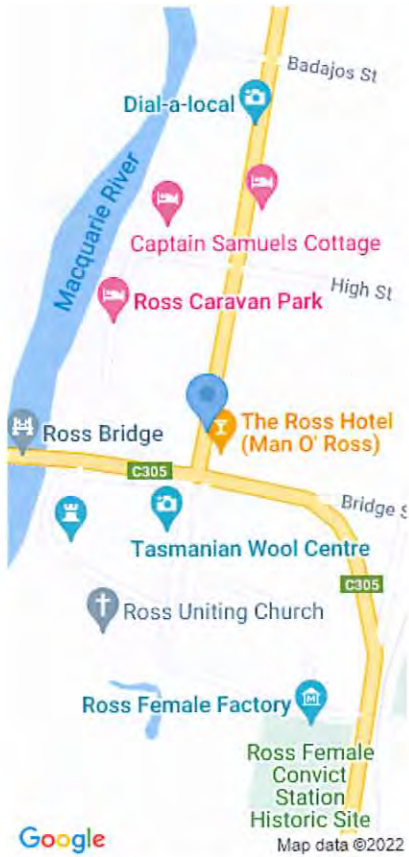


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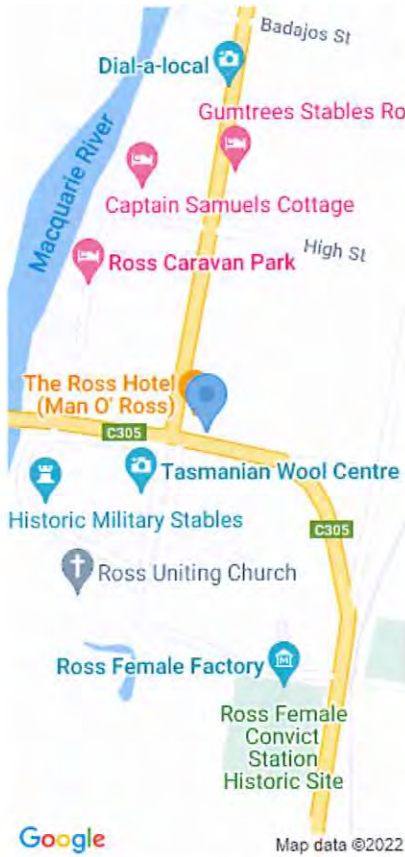
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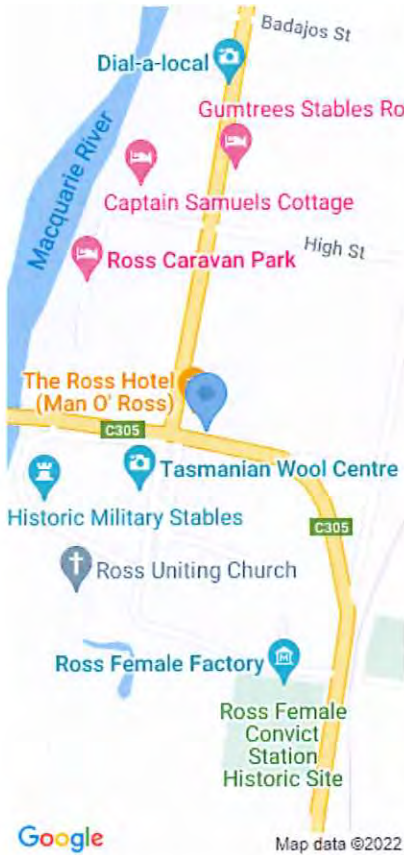


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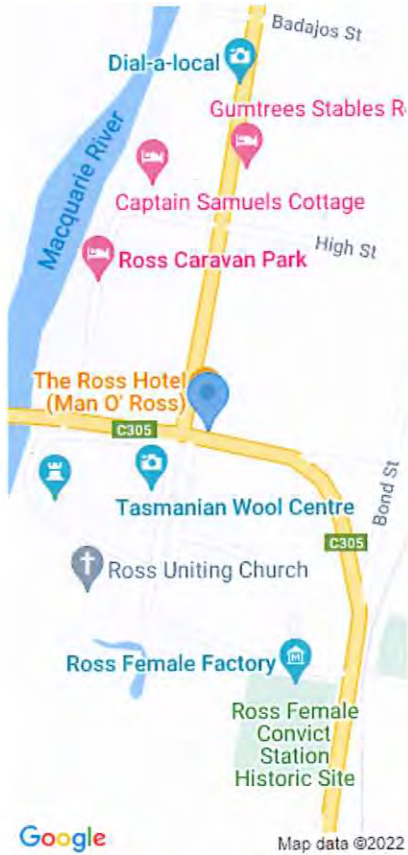
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pitt&sherry

Man O Ross Hotel
Traffic Impact Assessment

Prepared for
**Four Corners Land Group Pty Limited ATF
Tasmanian Pub Fund**
Client representative
Liz Walsh

Date
31 March 2023

Rev03

