



Clause 19.3.1 of the General Industrial Zone deals with Discretionary uses and potential impacts from industrial activities on adjacent uses. For any proposed future discretionary use on a future lot, this standard will need to be met.

**Issue 4: Noise**

*Whilst this maybe a consideration for each lot developers, what limits do the council have the powers to enforce. There is no mention to limiting noise during the construction process, i.e. daylight hours only. The representor/s request to be notified if any blasting occurs. i.e. frightening horses in adjoining paddocks.*

**6ty° Response**

Noise and other emissions during construction is dealt with under the *Environmental Management and Pollution Control Act 1994*.

**Issue 5: Buffer Zone**

*During the development application for the Statewide Distribution Centre a buffer zone with a tree line was included. The representor/s would like to see this included in the application for the Southern boundary to assist in the scenic protection area adjacent.*

**6ty° Response**

Clause NOR-S1.7.10 Buffer Areas sets out a requirement for sites which are close to the Devon Hills residential area to incorporate a landscaped area along the rear boundary and also to provide effective screening measures for all outside storage areas. Future development of the lots will need to comply with the applicable standards in the Planning Scheme.

**Issue 6: Potential Relics – Convict Residences**

*Several years ago the representor/s viewed a convict built settlement for which we believe to be the residences for convicts building the roads in the area. This contained old foundations, bricks, bottles, a well etc. It would be good to view any possible relics of significance before excavation occurred. This is situated in the far North West corner of block 10.*

**6ty° Response**

The site is not listed on the Tasmanian Heritage Register, nor is it a locally listed heritage place in the Northern Midlands Council – Local Provisions Schedule. Notwithstanding, our clients are willing to take further professional advice on the potential convict settlement relics which may be present on the site and are content for an appropriate advisory note to be included on the planning permit.

**Issue 7: Building Height**

*The representor/s understand the height limit of 12m is on all developments as per the planning scheme for this area. They would like the limit of buildings on blocks 5 – 10 inclusive to have a limit of 6m to protect our view of the mountains.*

Our Ref: 21.292

Measured form and function



### **6ty° Response**

The development application does not include construction of buildings and is for subdivision only. Future use and development will be subject to the applicable use and development standards of the Planning Scheme.

Clause NOR-S1.7.1 of the Translink Specific Area Plan deals with Building Height in substitution for the General Industrial Zone – clause 19.4.1 Building height and Agriculture Zone – clause 21.4.1 Building height and in addition to clause C16.6.1 Buildings and works within an airport obstacle limitation area. The acceptable solution for building height is 12m with the ability to vary this in the performance criteria.

Notwithstanding, the topography dictates that some excavation will be required on lots 5-10 to provide a level development area with reasonable driveway gradients from the new road. The likely effect of this will be to reduce the apparent height of future buildings.

It is noted that impacts upon views is generally not something which is managed by the Planning Scheme.

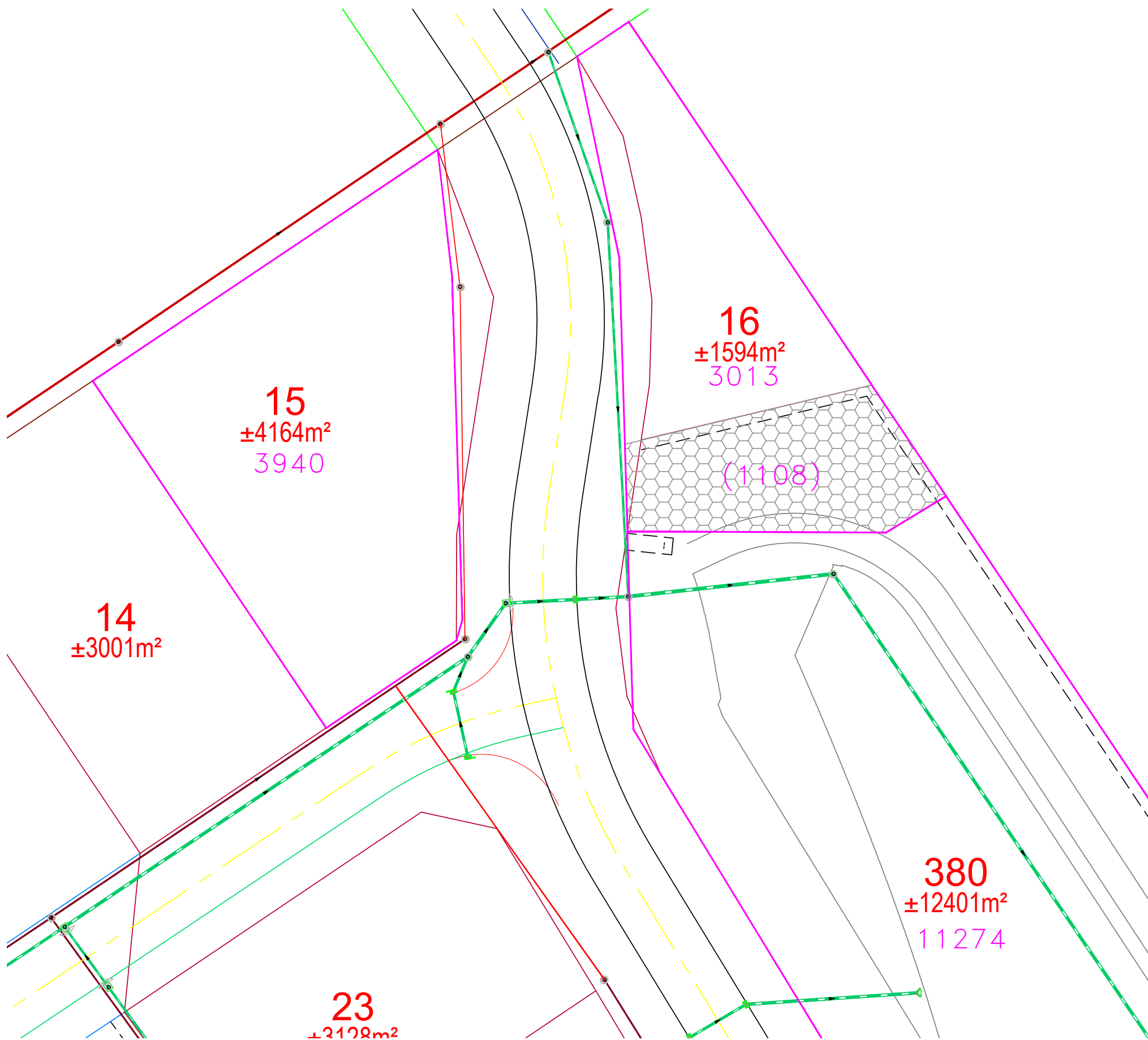
Please do not hesitate to contact me should you have any further queries relating to this application.

Yours faithfully

**6ty° Pty Ltd**

A handwritten signature in black ink, appearing to read 'CFawdry', written over a light blue horizontal line.

Claire Fawdry  
Planning Consultant



## Exhibited

This planning application is open for  
public comment until  
26 June 2023

This application is being assessed under the Tasmanian  
Planning Scheme - Northern Midlands

Reference no	<b>PLN-23-0094</b>
Site	<b>1-3 BARCLAY STREET AND BARCLAY STREET ROAD RESERVATION EVANDALE</b>
Proposed Development	<b>Removal of hedge at Morven Park (Heritage Precinct)</b>
Zone	<b>28.0 Recreation - C6.0 Local Historic Heritage - Local Heritage Precinct</b>
Use class	<b>Sport &amp; Recreation</b>
Development Status	<b>Discretionary</b>

Written representations may be made during this time to the General Manager;  
mailed to PO Box 156, Longford, Tasmania 7301,  
delivered to Council offices or  
a pdf letter emailed to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

(no special form required)

Exhibited

PLANNING APPLICATION  
Proposal

Description of proposal: Removal of hedge at Morven park

.....  
.....  
.....  
.....  
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 1-3 Barclay St

.....

CT no: 155644/1

Estimated cost of project \$ 500 (include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No  
If yes – main building is used as sports club

If variation to Planning Scheme provisions requested, justification to be provided:

.....  
.....  
.....  
.....

(attach additional sheets if necessary)

Is any signage required? (if yes, provide details)



## RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



### Exhibited

#### SEARCH OF TORRENS TITLE

VOLUME 155644	FOLIO 1
EDITION 1	DATE OF ISSUE 25-Feb-2009

SEARCH DATE : 31-May-2023

SEARCH TIME : 08.43 AM

#### DESCRIPTION OF LAND

Parish of EVANDALE Land District of CORNWALL  
 Lot 1 on Plan 155644 (Section 27A of the Land Titles Act.)  
 Derivation : Whole of Lot 1 on Plan 155644 Gtd. to The Crown

#### SCHEDULE 1

C871164 TRANSFER to NORTHERN MIDLANDS COUNCIL Registered  
 25-Feb-2009 at 12.01 PM

#### SCHEDULE 2

C892299 Land is limited in depth to 15 metres, excludes  
 minerals and is subject to reservations relating to  
 drains sewers and waterways in favour of the Crown  
 C871164 FENCING PROVISION in Transfer  
 C871164 REVERSIONARY CONDITIONS set forth in Transfer

#### UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**FOLIO PLAN**

Exhibited

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



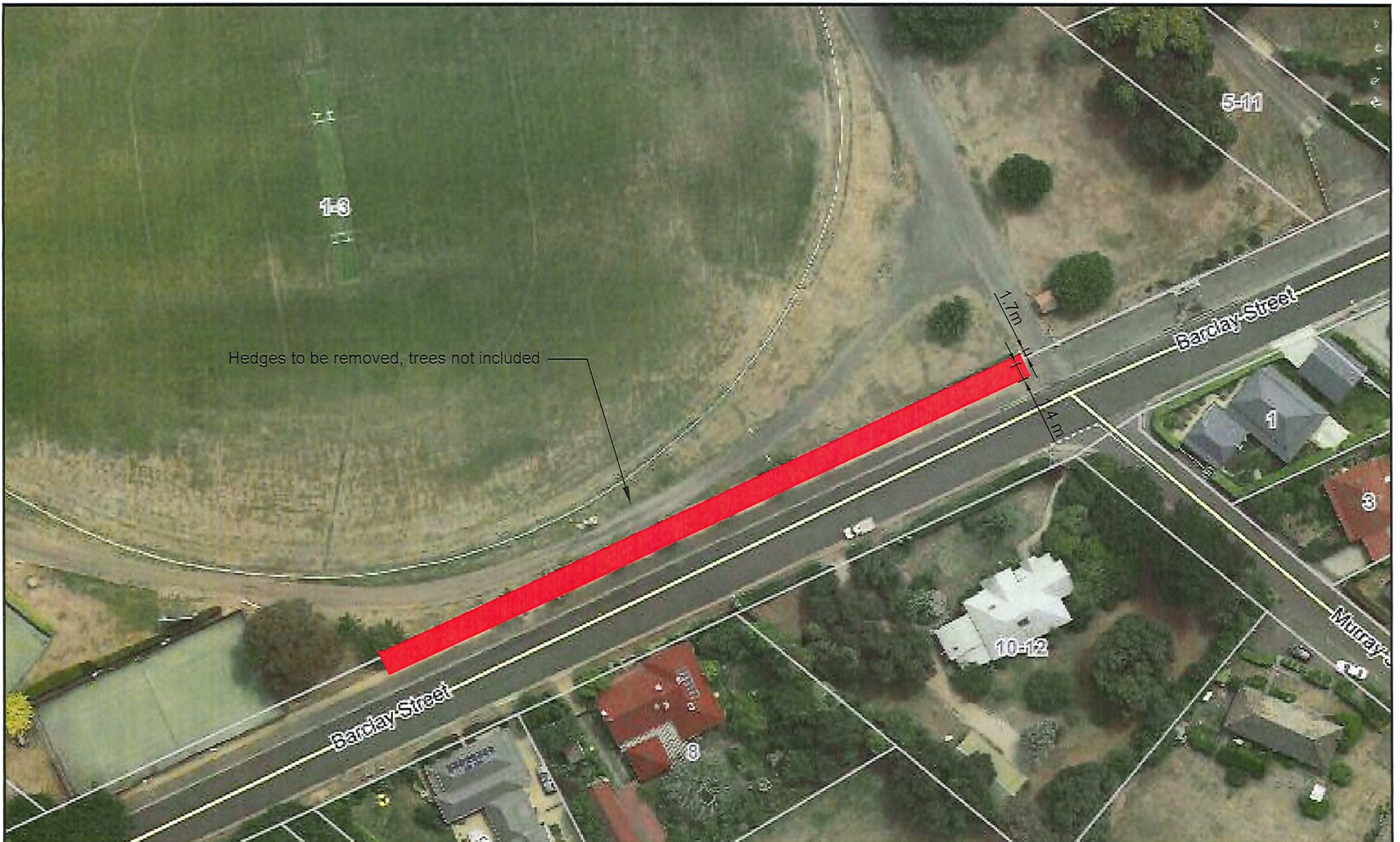
OWNER: The Crown  FOLIO REFERENCE: SECTION 27A APPL. (C892299)  GRANTEE: Whole of Lot 1 3-705ha The Crown.	<b>PLAN OF TITLE</b> LOCATION <b>TOWN OF EVANDALE</b> <del>LAND DISTRICT OF CORNWALL</del> <del>PARISH OF EVANDALE</del> <del>LOCALITY OF EVANDALE</del> FIRST SURVEY PLAN No 47/9 L.O. COMPILED BY OFFICE OF THE SURVEYOR-GENERAL SCALE 1:1500                      LENGTHS IN METRES	REGISTERED NUMBER <b>P155644</b>  APPROVED <del>EFFECTIVE</del> FROM 23 FEB 2009 <i>Alice Kawa</i> Recorder of Titles	
MAPSHEET MUNICIPAL (CODE No 123 (5239)-21)	LAST UPI No 4700592	LAST PLAN No 47/9 L.O.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

COMPILED PLAN

NOT EXAMINED

Compiled from 47/9 L.O.

N/A
COUNCIL DELEGATE                      DATE



Hedges to be removed, trees not included

Rev	Revision note	Date	Chkd
0		23/05/32	



PO Box 156  
13 Smith Street  
Longford 7301  
Ph: (03) 6397 7303  
Fax: (03) 6397 7331

REMOVAL OF HEDGE  
INSIDE MORVEN PARK

Exhibited

DRAWING NUMBER	
SCALE 1:200 @ A4	



## Exhibited

### Rebecca Green

---

**From:** Samuel Goss  
**Sent:** Tuesday, 30 May 2023 2:17 PM  
**To:** Rebecca Green  
**Cc:** Jonathan Galbraith  
**Subject:** RE: Removal of Hedge inside Morven Park

The cricket club has requested it be removed as it prickles them when they knock a ball in there and have to get it out

*Samuel Goss*



Trainee Engineering Officer | Northern Midlands Council  
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301  
T: (03) 6397 7303 | F: (03) 6397 7331  
E: [samuel.goss@nmc.tas.gov.au](mailto:samuel.goss@nmc.tas.gov.au) | W: [www.northernmidlands.tas.gov.au](http://www.northernmidlands.tas.gov.au)

Tasmania's Historic Heart

**employer  
of choice**

**From:** Rebecca Green <[rebecca.green@nmc.tas.gov.au](mailto:rebecca.green@nmc.tas.gov.au)>  
**Sent:** Tuesday, May 30, 2023 2:15 PM  
**To:** Samuel Goss <[samuel.goss@nmc.tas.gov.au](mailto:samuel.goss@nmc.tas.gov.au)>  
**Cc:** Jonathan Galbraith <[jonathan.galbraith@nmc.tas.gov.au](mailto:jonathan.galbraith@nmc.tas.gov.au)>  
**Subject:** Removal of Hedge inside Morven Park

Hello Sam,

I have an application here for removal of the hedge, I am trying to ascertain the reasons, is this for the erection of a new fence, or is the hedge a safety concern.

I am wondering if the removal may meet an exemption from requiring a planning permit under Table 4.4.1 but need further details before I can categorise the application.

I would appreciate more information please if you can.

Regards,

*Rebecca Green*



Planning Consultant | Northern Midlands Council  
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301  
T: (03) 6397 7303 | F: (03) 6397 7331  
E: [rebecca.green@nmc.tas.gov.au](mailto:rebecca.green@nmc.tas.gov.au) | W: [www.northernmidlands.tas.gov.au](http://www.northernmidlands.tas.gov.au)

Tasmania's Historic Heart

**employer  
of choice**

**Ref no:** PLN-23-0094  
**Site:** 1-3 BARCLAY STREET AND BARCLAY STREET ROAD RESERVATION, EVANDALE  
**Proposal:** Removal of hedge at Morven Park (Heritage Precinct)

The Morven Park Management Committee is strongly in support of removal of this hedge, more correctly termed as bushes and shrubs. Many of these bushes are in poor condition and it is effectively impossible to remove the weeds and blackberries growing under them. Apart from the straggly appearance of most of them, their removal would greatly assist our cricketers who have lost several cricket balls each season which were unable to be found amongst the undergrowth. These balls are expensive to replace at ca\$100 each.

Please note that it is only these bushes which need removal and not the small trees along this boundary which do need to be retained.

Additionally, the wire mesh fence in this section of Morven Park is breaking up in places and will need replacement with a more aesthetic type to enhance the Morven Park precinct. The removal of the bushes would be regarded as stage 1 of this upgrade and a budgetary request to Council has also been made for this to occur.

Yours faithfully,

***David Houghton.***  
*Chairman*  
*Morven Park Management Committee*  
*c/o 6 Glover Court*  
*Evandale Tas 7212*  
*[Ph 03 6391 8486 & 0425 141 261]*

11 June 2023

The General Manager  
Northern Midlands Council  
P O Box 156  
Longford, TAS 7301

**Planning Application Ref: PLN-23-0094 Removal of hedge at Morven Park (Heritage Precinct)**

I wish to object to this planning application on the following grounds:

1. The reason for the application is ridiculous. The cricket season is not long and play is not weekly.
2. The Heritage Precinct of Evandale is defined by its' architecture, gardens and hedges. The hedges most particularly.
3. This hedge is home to many animals and particularly birds – I regularly walk in the village and the birds are always in the hedge – at the present, they're enjoying the berries. Last week I saw a parrot.

I feel certain the cricket club could come up with a better solution for ball retrieval without having to remove living plants.

Yours sincerely,

Carol Potter  
1 Murray Street  
Evandale, TAS 7212  
0410 615 678

15 June, 2023

Dear Mayor and Councillors,

**Re: PLN-23-0094**

The hedge at Morven Park should not be removed. It forms part of an important heritage streetscape in Barclay St, Evandale.

Being “prickled” while retrieving a cricket ball is not adequate justification for removal of this hedge.

The hedge is predominately cotoneaster with a few gaps where plants have obviously died. Council should consider replacing the missing sections rather than removing the hedge.

The Council is already responsible for the destruction of an important Huon Pine grand stand from this site; please insist that the hedge is protected to stop further erosion of the heritage precinct.

Yours sincerely,

Robert Henley  
198 Evandale Road  
Western Junction 7212

13 June 2023

Barry Lawson  
21 Cambock Lane West  
Evandale TAS 7212

Mr Des Jennings  
General Manager  
Northern Midlands Council  
13 Smith Street  
Longford, Tasmania 7301

Dear Sir

**PLN-23-0094 - Morven Park, 1-3 Barclay St  
Removal of hedge at Morven Park (Heritage Precinct)**

I am writing to submit my objection to the proposed removal of a hedge along the Barclay Street Boundary of Morven Park.

The proposal is, in my opinion, laughable - it prickles the arms of players retrieving a ball! A ball being stuck under a prickly hedge would happen very few times a game and is nothing that a pair of long gloves would not fix. I suspect that there are three very simple solutions to this rare occurrence. These are:

1. Trim the bottom of the hedge to say 30 centimetres from the ground so that a ball can be easily reached
2. Reduce the width of the hedge, and
3. Install a garden edge to stop the ball from rolling under the hedge in the first place. (The garden edge could, for example, be constructed from wood from pallets at negligible cost.)

More important, is the question, what remains if the hedge is removed? An ugly wire fence!

Apart from the clearing of a hedge being a nuclear fix to a less than significant problem, there are other reasons I think this application should be refused. These relate to the Council's Strategic Plan.

The Council's own Strategic Plan seeks to

- 1.4 Improve community assets responsibly and sustainably
- 3.1 Sympathetic design respects historical architecture
- 3.2 Developments enhance existing cultural amenity
- 3.3 Public assets meet future lifestyle challenges

- 3.4 Towns are enviable places to visit, live and work
- 4.1 Cherish and sustain our landscape
- 4.2 Meet environmental challenges
- 4.3 Eco-tourism strongly showcases our natural beauties
- 4.4 Our heritage villages and towns are high value assets

A decision to allow the hedge to be removed would in no way work to achieve the outcomes of the strategic plan. Would it improve the asset that is Morven Park? Does having an ugly wire fence remaining improve the look from Barclay Street or indeed towards Barclay Street? Is a wire fence sympathetic to historical landscape architecture? Does it enhance cultural amenity? Does the ugly fence make Evandale more enviable a place to visit, live or work? Does removing a hedge cherish and sustain our landscape or showcase natural beauty? Does it treat our village as a high value asset or does it cheapen it?

I think it is obvious that a decision to remove the hedge would be contrary to the Council’s Strategic Plan and I draw your attention to the fact that this is a heritage area under the Council’s plan. As such, the application should not be approved. The hedge needs to be protected – indeed it needs to be nurtured and improved.

Some people may see this matter as a small thing – it is only a hedge and indeed, in Winter, it is not even in great condition. But one should not be lulled into a false sense and allow our heritage, our environment, our amenity etc to die by a thousand cuts. It may only be a hedge to some, but Morven Park has already lost most of the Jubilee Hedge, the heritage grandstand, and well-established trees for cricket nets.

The site of this hedge was part of the original Jubilee Hedge that was planted in 1951 to celebrate 50 years since Australia’s Federation and 85 years since the establishment of Evandale Council. The hedge once encircled the “Recreation Ground”.

The Examiner (Launceston, Tas. : 1900 - 1954)  
Sat 18 Aug 1951 Page 4 has the following text:

*“TWO hundred and fifty trees were planted in the Jubilee hedge at Morven Park, Evandale, yesterday morning. Councillors, residents and schoolchildren combined in the planting.*

*The Warden (Cr. Cheek, YM.L.C.) spoke of the significance of trees in the national economy*



*and urged children to care for the trees they planted.*

*Cr. A. D. Mackinnon, under whose guidance the scheme was effected, also addressed the planters.*

*Members of the Parents und Friends' Association provided morning tea, and Mr. Cheek gave sweets to the children."*

One of Evandale History Society members was one of the school children who planted and cared for the Jubilee Hedge, and he has told the Society where the Hedge was located. Sadly, only a few trees remain from this original planting. While the current hedge was not part of the original Jubilee Hedge plantings, it does replace some of the original Jubilee Hedge and therefore, I believe, retains heritage value.

The application seeks to remove the hedge from along the road. It does not seek to do the same for the hedges along the tennis courts. Surely the problem raised as a reason for the application would equally apply to these hedges as well. Given the arc from the cricket pitch in which balls may be struck, much of the hedge along Barclay Street will be unnecessarily cleared as it would get few if any balls hit into it, and the hedges along the tennis courts which are more likely to have cricket balls struck into them, will not.

The overall strategic direction for Evandale should be, and is, according to the Strategic Plan, to preserve that which makes it a jewel in this State. It is a Georgian and Victorian country village with a country recreation ground in Morven Park. Anything which seeks to diminish this look and feel needs to be resisted. But if the hedge is allowed to be removed, it should be replaced with a timber fence (e.g. white pickets) which is in keeping with the heritage village recreation ground.

Yours sincerely

Barry Lawson  
Ph: 0437 498 842

9 Honeysuckle Grove  
Evandale TAS 7212

24<sup>th</sup> June 2023

General Manager  
Northern Midlands Council  
PO Box 156  
Longford Tas 7301

Dear Sir

Ref. No. PLN-23-0094  
Removal of Hedge at Morven Park  
Site: 1-3 Barclay Street, Evandale

To quote Samuel Goss to Rebecca Green "The cricket club has requested it be removed as it prickles them when they knock a ball in there and have to get it out". What are they - men or babies! I may add here that apparently most of the cricket club players don't even live in Evandale, yet feel they have the right to dictate what happens in our park - not theirs.

Firstly, the practise nets had to be moved at great expense because the big bad oak tree dropped its leaves & acorns which hurt their feet. Now they want hedges removed because they're out to get them! Come on! Maybe they should join the football club for a couple of years and learn how to 'man up'!

May I suggest as an alternative, that some wire mesh is attached to the existing oval perimeter fence, just on the Barclay Street side, as highlighted in the attached photo. That way, any ball heading in that direction would be stopped at the oval fence and therefore not go anywhere near the hedges. I'm assuming that these players aren't strong enough to hit a six that would come over the oval fence. If they were I'd be more concerned that with the hedges removed, such a ball could easily hit a car travelling Barclay Street, or worse still, a person walking by, which is where I walk with my dog most days. I can assure the cricket club that if a car or person were hit by a cricket ball, they would have more to worry about than prickles on their arms!

With a fence on the oval perimeter, the hedge could remain and provide the habitat it currently does to birds, insects & wildlife. I would actually like to see the hedge filled in with more plants so it matches the hedge along Cambock Lane West.

I trust you will give this serious thought and look at alternatives before you jump at ripping out the hedges on the whim of a few weak cricket players.

Yours faithfully



Maureen Coady  
maureencoady1@gmail.com



12:29 pm Thu 22 Jun 61%

northernmidlands.tas.gov.au

5 of 6

Revision note	Date	Chkd	 PO Box 156 13 Smith Street Longford 7301	REMOVAL OF HEDGE INSIDE MORVEN PARK	Exhibited	DRAWING NUMBER
	23/06/22			NORTHERN		

## Exhibited

This planning application is open for  
public comment until  
26 June 2023

This application is being assessed under the Tasmanian  
Planning Scheme - Northern Midlands

Reference no	<b>PLN-23-0065</b>
Site	<b>3A MACQUARIE STREET EVANDALE</b>
Proposed Development	<b>Dwelling &amp; Shipping Container (S5.0 Evandale Specific Area Plan, Vary Driveway Surface Material)</b>
Zone	<b>8.0 General Residential - S5.0 Evandale Specific Area Plan</b>
Use class	<b>Residential Single Dwelling</b>
Development Status	<b>Discretionary</b>

Written representations may be made during this time to the General Manager;  
mailed to PO Box 156, Longford, Tasmania 7301,  
delivered to Council offices or  
a pdf letter emailed to [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

(no special form required)

Exhibited

# PLANNING APPLICATION Proposal

Description of proposal: .... NEW RESIDENCE .....

.....  
.....  
.....  
.....  
.....

*(attach additional sheets if necessary)*

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 3A MACQUARIE STREET, EVANDALE TAS 7212 .....

.....

CT no: 183600/2 .....

Estimated cost of project \$ 150,000 ..... *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes / **No** x  
If yes – main building is used as .....

If variation to Planning Scheme provisions requested, justification to be provided:

.....  
.....  
.....  
.....  
.....

*(attach additional sheets if necessary)*

Is any signage required? NO .....

*(if yes, provide details)*

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980***Exhibited**

## SEARCH OF TORRENS TITLE

VOLUME 183600	FOLIO 2
EDITION 2	DATE OF ISSUE 21-Dec-2022

SEARCH DATE : 18-Apr-2023

SEARCH TIME : 02.55 PM

DESCRIPTION OF LAND

Town of EVANDALE

Lot 2 on Sealed Plan 183600

Derivation : Part of 55A-2R-33P Gtd. to Kennedy Murray

Prior CTs 20435/1 and 20850/1

SCHEDULE 1

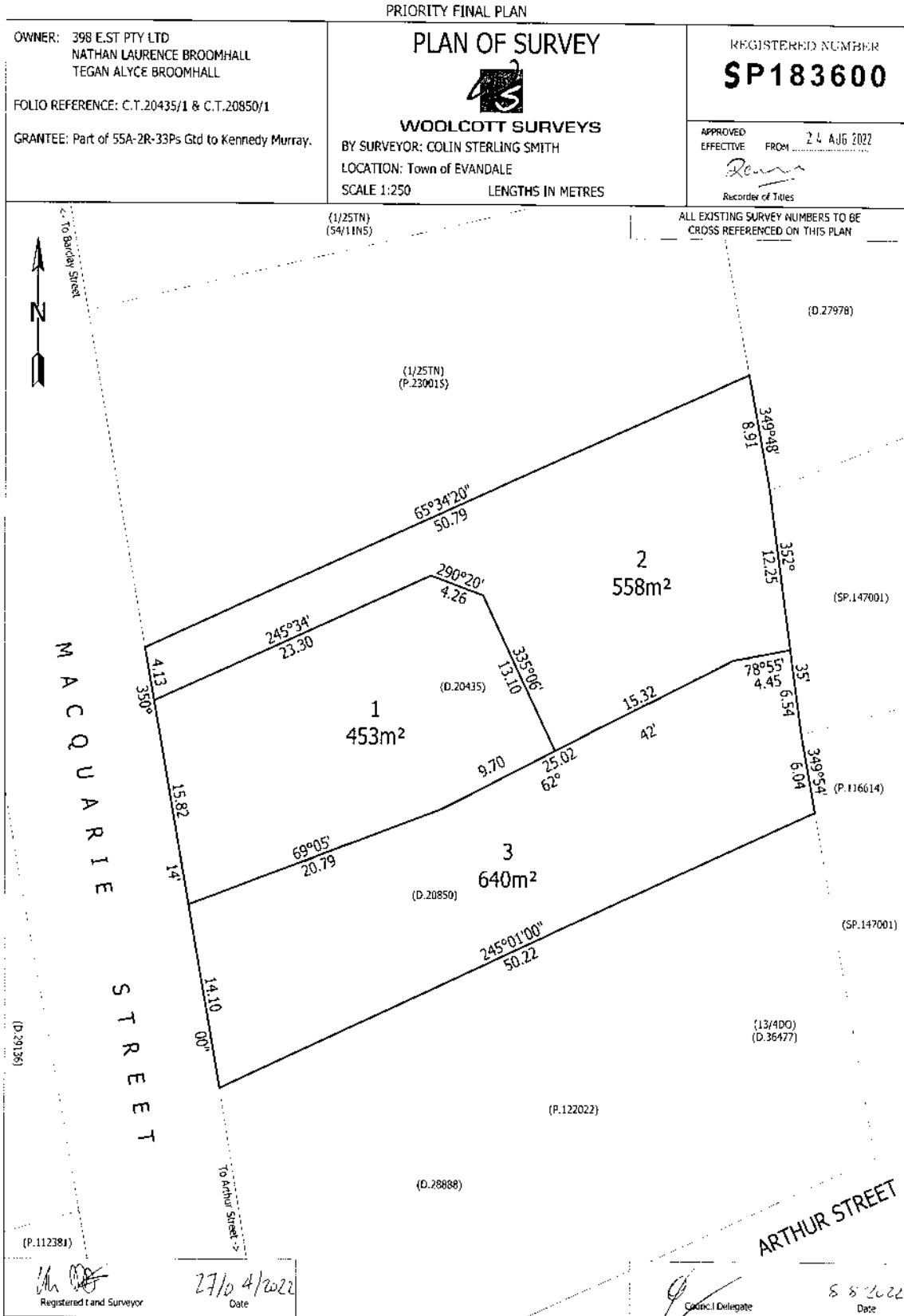
N106391 TRANSFER to KATRINA MARY FRENCH Registered  
21-Dec-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
E273688 AGREEMENT pursuant to Section 78 of the Land Use  
Planning and Approvals Act 1993 Registered  
24-Aug-2022 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**Received**

02.06.2023

**Exhibited**

155 Fergusson Road, Brighton TAS 7030



03 6268 0063



0409 537 337 or 0434 147 747



duodesign@bigpond.com or mday.duodesign@gmail.com

Response to Request for Additional information

ref: PLN-23-0065

**Client Katrina French - Statement supporting the design approach**

3A Macquarie Street is a 558m<sup>2</sup> internal residential building block, It was subdivided in 2021/2022, having originally been part of the property at 5 Macquarie Street. The block is, for all intents and purposes flat, and contains two large mature Oak Trees, which, as part of the subdivision process were protected under a covenant registered 24 August 2022.

Surrounding properties consist of a mix of cottages, an unoccupied take away store, with brick/weathered timber street facing frontage, and considerably more recently constructed dwellings to the right, and the rear.

The proposed dwelling is positioned such that it is hardly visible from Macquarie Street, as it lies beyond the natural line of sight created by the driveway and fence, and behind the Oak trees. There is limited visibility of the top portion of the southern wall from Arthur Street.

**Driveway**

- *Provide a written submission demonstrating how the proposal meets P1 of Clause C2.6.1 Construction of Parking Areas of the Tasmanian Planning Scheme – Northern Midlands (the Scheme), as the driveway surface material proposed is gravel.*

Driveway to be constructed of locally sourced crushed granite. When the product dries, it presents as a sandstone colour.

Base will be a minimum of 100mm thickness, levelled, compacted and surrounded by solid timber edging. The material will be contained within the property and serve to minimise dust.

There will be space for at least two vehicles to park and manoeuvre within the designated parking area.

Rainwater runoff will be contained within the property.

Very similar product is used elsewhere in the village for driveways of this nature, the closest examples being 20 Macquarie Street and between 22 and 20 Russell Street. Many footpaths within the village, for example the one in Arthur Street around the corner from Macquarie Street is also comprised of crushed material of this nature.

**Roof**

- *Provide amended elevations demonstrating compliance with NOR-S5.7.2 Roof Form and Materials A1 of the Scheme, or the provision of a written submission*

**Received**

02.06.2023

**Exhibited**

*demonstrating how the proposal otherwise would achieve compliance with the corresponding performance criteria.*

Amended drawings showing Gable roof at 23deg nominal pitch in keeping with residences in the immediate area.

**Wall Materials**

*•Provide amended elevations and provision of a written submission demonstrating compliance with NOR-S5.7.3 Wall Materials P1 of the Scheme.*

We propose vinyl weatherboards, painted in manufacturer Snow White, for the end wall of the bedroom and conservatory, left hand wall section beside linkway roller door as well as where the top section of the southern container walls are visible from Arthur Street, that they be clad with the same vinyl weatherboard cladding.

Wall sections not shown clad in Vinyl weatherboards shall be painted with Colorbond Basalt.

Surrounding properties are clad with a mix of colours and materials, including red/brown tone bricks, weatherboards painted peach/pink, orange bricks circa 1970s and badly weathered painted timber.

**Windows**

*•Provide amended elevations and provision of a written submission demonstrating compliance with NOR-S5.7.4 Windows P3 of the Scheme.*

Windows in the conservatory Aluminium Colourbond Monument.

Style in keeping with the style of others in the street. (Refer to revised windows shown on elevations)

*ANY FURTHER QUESTIONS PLEASE DON'T HESITATE TO MAKE CONTACT WITH OUR OFFICE*

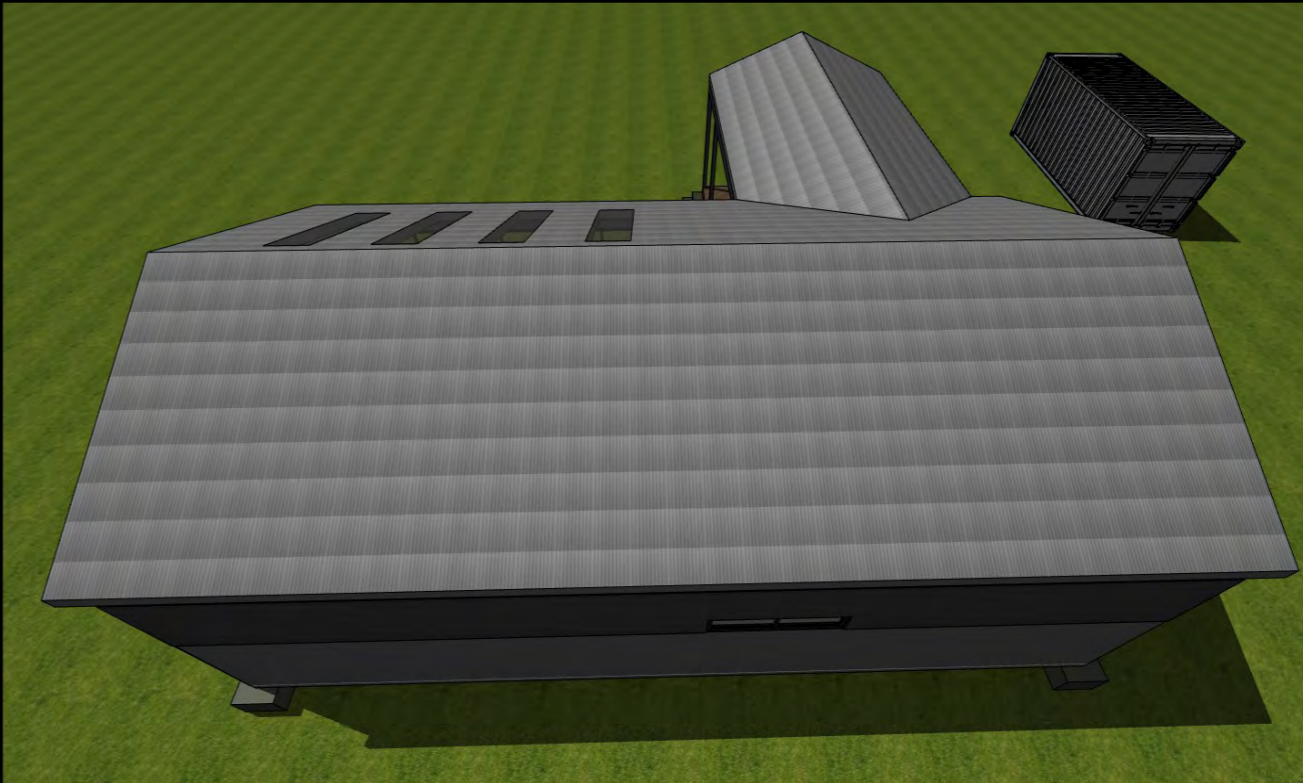
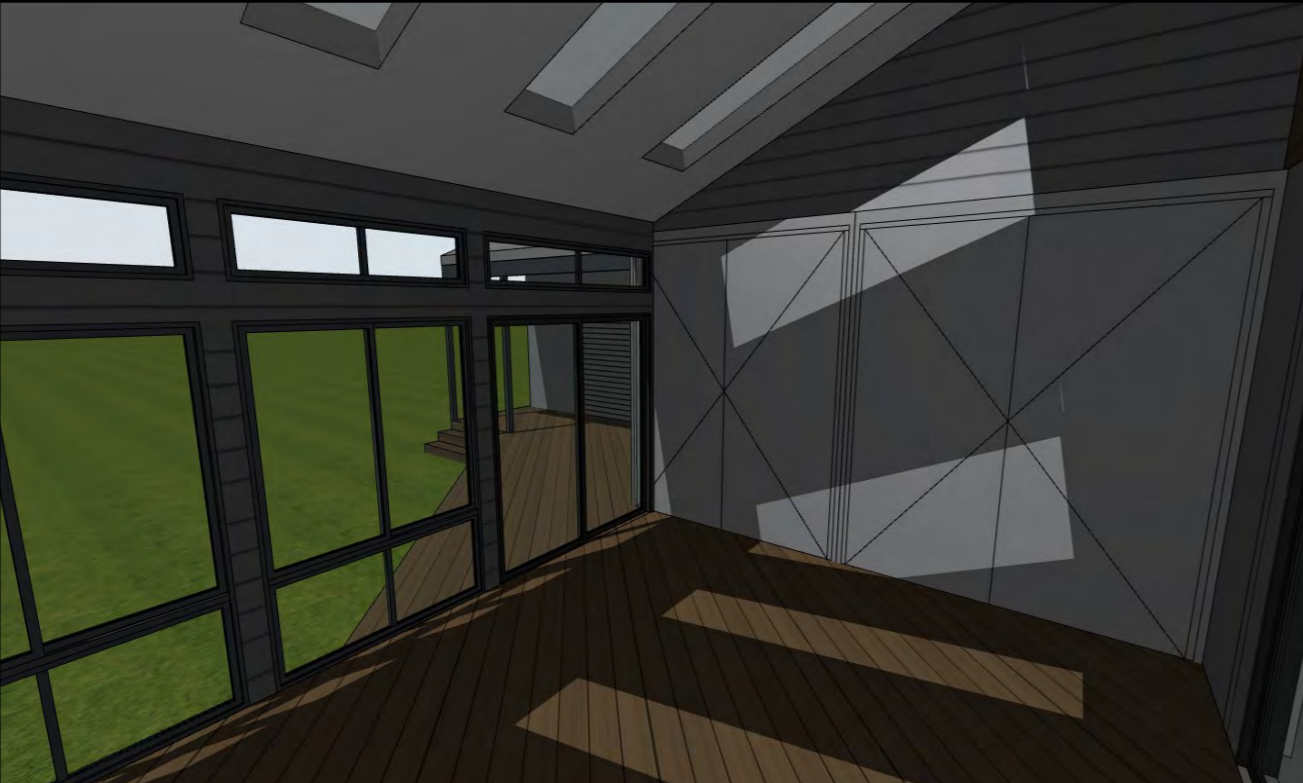
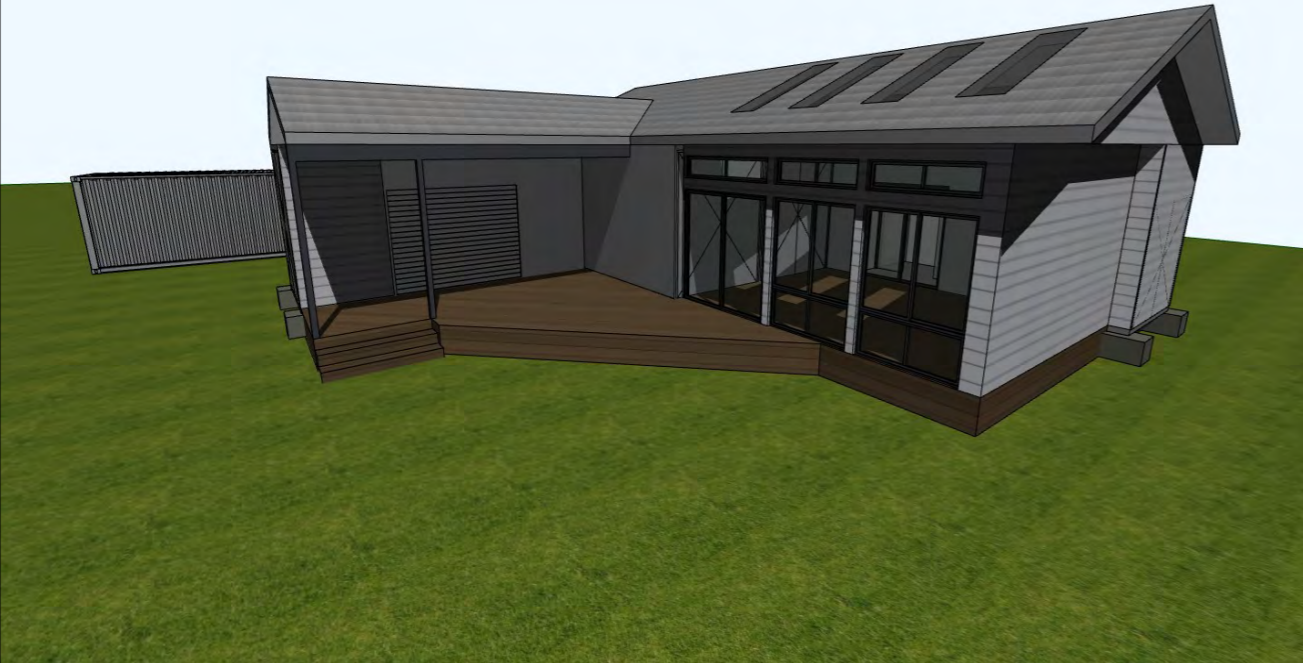
*REGARDS*

*BELINDA WESTON & MARK DAY*

Exhibited

Received

02.06.2023



DEVELOPMENT APPLICATION: (Rev A - 29.5.2023)  
 JOB: PROPOSED NEW RESIDENCE  
 ADDRESS: 3A MACQUARIE STREET EVEANDALE 7212  
 CLIENT : KATRINA FRENCH  
 TITLE REF: 183600/2

CONTENTS: DRAWING NO. / DRAWING TITLE DRAWINGS BY : DUO DESIGN  
 01 SITE PLAN 1.200  
 02 PROPOSED FLOOR PLAN  
 03 ELEVATIONS  
 04 ELEVATIONS  
 05 20FT STORAGE CONTAINER

Belinda Weston  
 Mark Day

155 Fergusson Rd,  
 Brighton, TAS. 7030

Ph : 03 62680063

M : 0409 537 337  
 or 0434 147 747

Email : duodesign@bigpond.com





BDY A - COMPILED BOUNDARY 350°14' 4.13m  
BDY B - COMPILED BOUNDARY 290°20' 4.26m  
BDY C - COMPILED BOUNDARY 258°55' 4.45m  
BDY D - COMPILED BOUNDARY 172°35' 12.25m

LOT SERVICES UNABLE TO BE LOCATED:  
- NO ELECTRICITY LOT CONNECTION  
- NO COMMUNICATIONS LOT CONNECTION

TITLE REF : 183600/2

**SITE AREAS**

SITE AREA : 558m<sup>2</sup>  
PROPOSED FLOOR AREA : 74.10m<sup>2</sup>  
PROPOSED DECK (PART COVERED) : 52.80m<sup>2</sup>

SITE COVERAGE % : 22.74%

**GPS DATA SCALE LOCATION**  
JOB CONTROL POINT  
POINT NO: 1  
DESCRIPTION: BM1#  
GPS SCALE FACTOR = 1.00042196  
E: 520913.273  
N: 5398220.241  
RL: 172.963  
EPU = 0.04±

**GENERAL NOTES:**

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
3. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
4. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
5. HORIZONTAL DATUM IS MGA (GDA94).
6. VERTICAL DATUM IS AHD.
7. CONTOUR INTERVAL IS 0.1 METRES, INDEX IS 0.2 METRES.

7. CONTOUR INTERVAL IS 0.1 METRES, INDEX IS 0.2 METRES.

8. SURVEY BY ROBOTIC TOTAL STATION AND GPS.

9. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.

10. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

- LIST DATA IMPORT
- TasWater-SewerLateralLine
  - TasWater-SewerMain
  - TasWater-SewerMaintenanceHole
  - TasWater-SewerPressurisedMain
  - TasWater-WaterHydrant
  - TasWater-WaterLateralLine
  - TasWater-WaterMain
  - BoundaryLineswithAccuracy

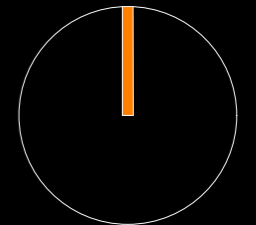
11. DUE TO REQUIREMENTS OF THE SURVEYOR GENERAL IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY WILL BE REQUIRED BY REGISTERED SURVEYOR.

12. 3D DATA TURNED OFF IN LAYER CONTROL
- 3D TIN
  - MAJOR CONTOUR 3D
  - MINOR CONTOUR 3D

**Received**  
02.06.2023

**Exhibited**

Belinda Weston  
Mark Day  
  
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Brighton, TAS. 7030  
  
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M : 0409 537 337  
or 0434 147 747  
  
Email :  
duodesign@bigpond.com

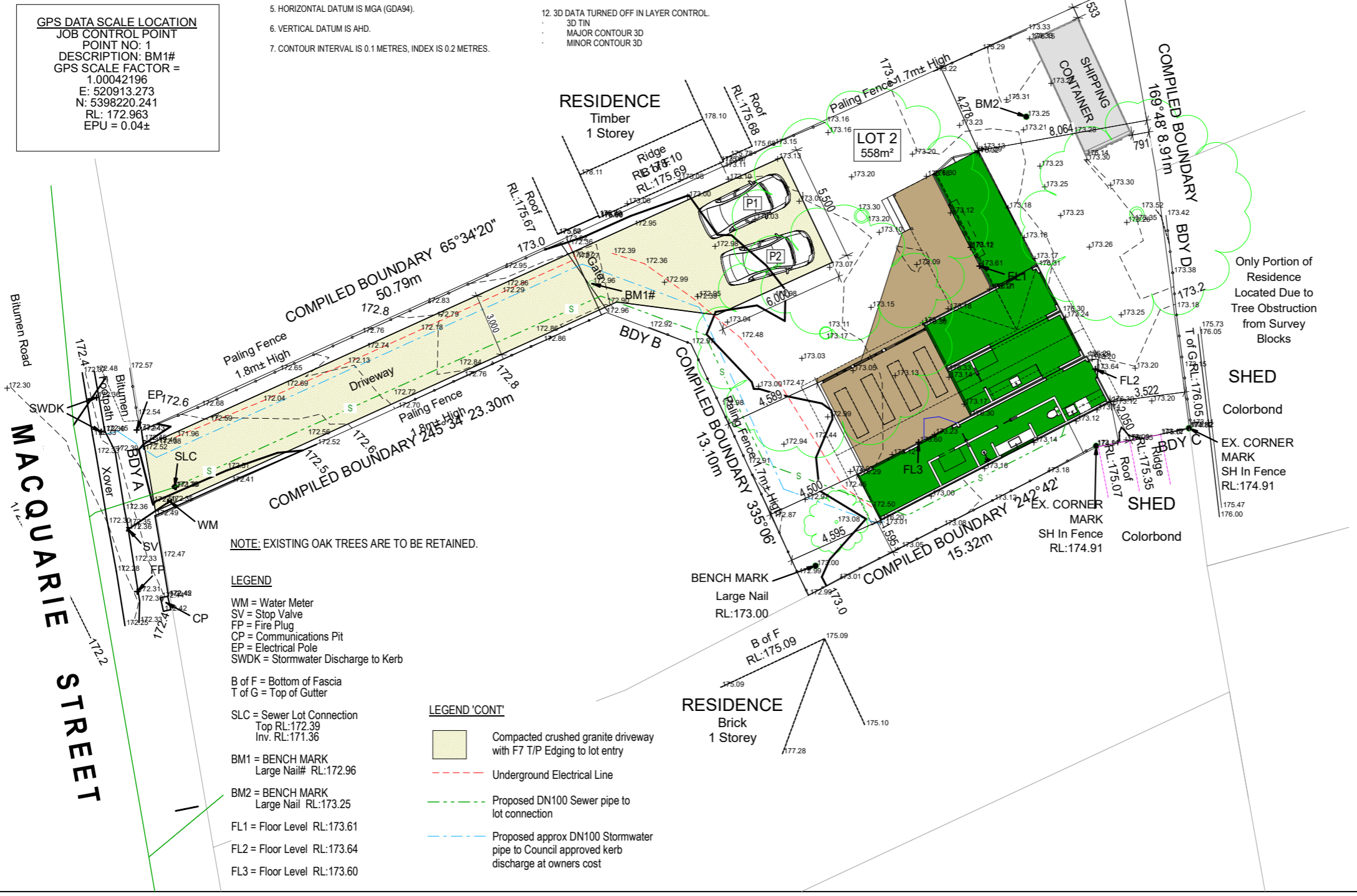


JOB : PROPOSED NEW RESIDENCE  
AT : 3A MACQUARIE STREET EVANDALE  
FOR : KATRINA FRENCH

DRAWING TITLE :

**SITE PLAN**

DRAWN:	DATE:	DWG NO. :
MJD	2.6.2023	01
SCALE:A3	ISSUE:	
1:200	DA	



NOTE: EXISTING OAK TREES ARE TO BE RETAINED.

**LEGEND**

- WM = Water Meter
- SV = Stop Valve
- FP = Fire Plug
- CP = Communications Pit
- EP = Electrical Pole
- SWDK = Stormwater Discharge to Kerb
- B of F = Bottom of Fascia
- T of G = Top of Gutter
- SLC = Sewer Lot Connection  
Top RL:172.39  
Inv. RL:171.36
- BM1 = BENCH MARK  
Large Nail# RL:172.96
- BM2 = BENCH MARK  
Large Nail RL:173.25
- FL1 = Floor Level RL:173.61
- FL2 = Floor Level RL:173.64
- FL3 = Floor Level RL:173.60

**LEGEND 'CONT'**

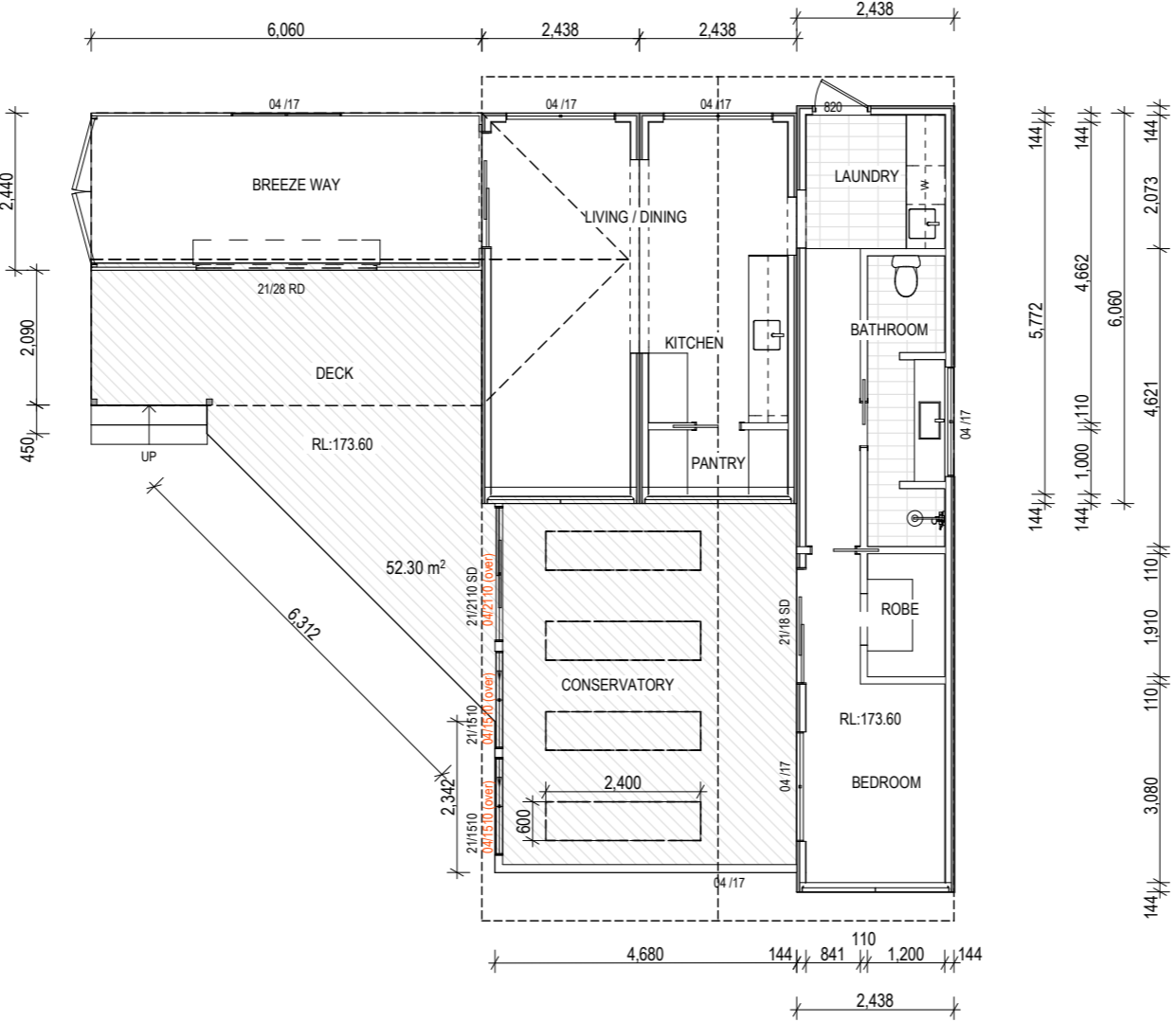
- Compacted crushed granite driveway with F7 T/P Edging to lot entry
- Underground Electrical Line
- Proposed DN100 Sewer pipe to lot connection
- Proposed approx DN100 Stormwater pipe to Council approved kerb discharge at owners cost

BUILDER MUST VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING CONSTRUCTION USE WRITTEN DIMENSIONS-DO NOT SCALE ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STATE BUILDING REGULATIONS LOCAL COUNCIL BY-LAWS AND CURRENT NCC

Received

02.06.2023

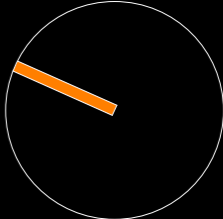
Exhibited



PROPOSED FLOOR AREA : 74.10m2, 7.97 SQUARES  
PROPOSED DECK AREA : 52.80m2, 5.68 SQUARES

Note: 144 thick walls shown include 90mm insulated timber stud walls and 10mm platerboard lining

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or 0434 147 747  
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duodesign@bigpond.com



JOB : PROPOSED NEW RESIDENCE  
AT : 3A MACQUARIE ST  
EVENDALE TAS 7212

FOR : KATRINA FRENCH

DRAWING TITLE :  
**PROPOSED FLOOR PLAN**

DRAWN: MJD	DATE: 2.6.2023	DWG NO. : <b>02</b>
SCALE:A3 1:100	ISSUE: DA	



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- Colorbond fascia and gutter. Profile TBC
  - Preliminary Colour Selections**
  - Roof: Colorbond 'BASALT'
  - Walls: Weatherboards - Snow White Exposed steel - Colorbond Basalt
  - Gutters, Fascias : Mid Grey
  - Post: Grey
  - Window frames: Monument
- WB : Horizontal Weatherboards, pre colour finished by manufacturer in 'Snow White'

Received  
02.06.2023

Exhibited

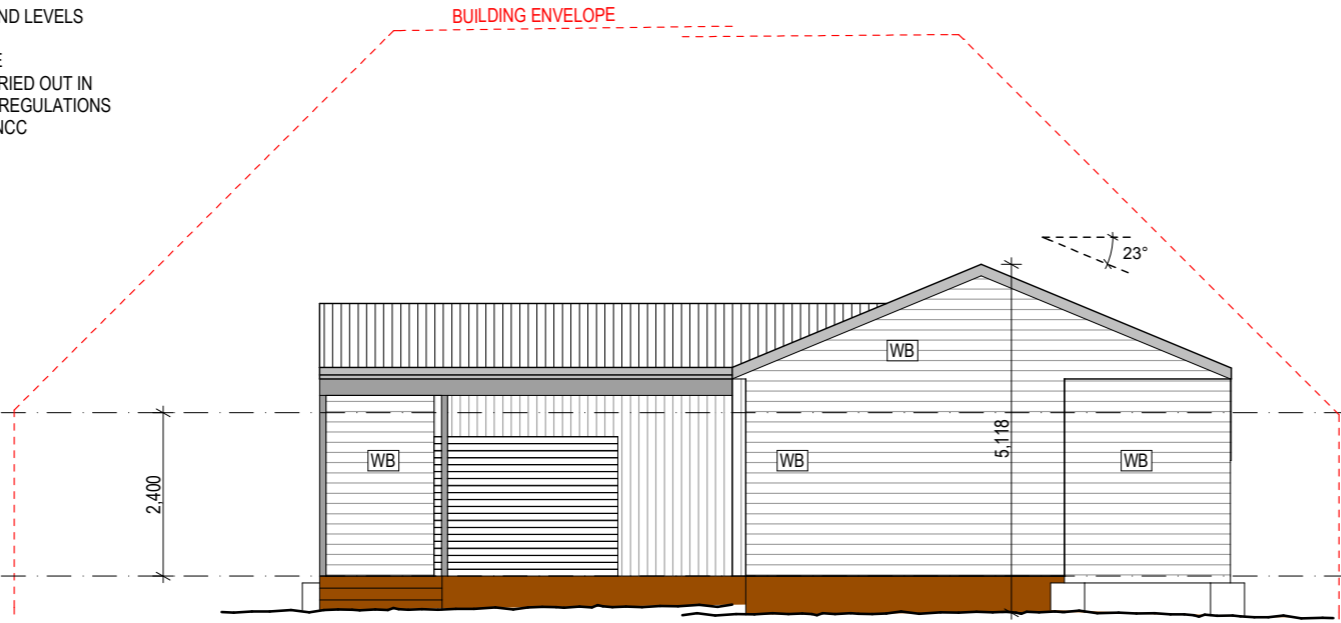
Belinda Weston  
Mark Day

155 Fergusson Rd,  
Brighton, TAS. 7030

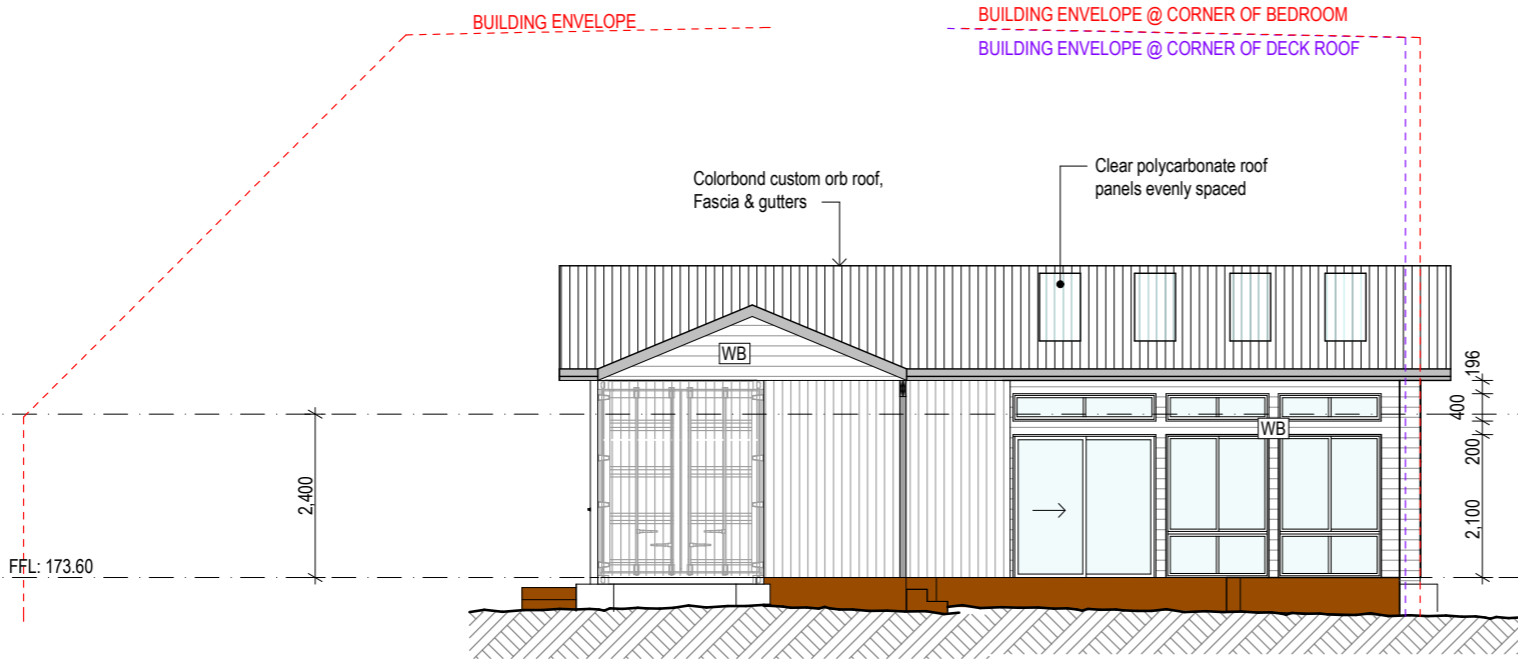
Ph : 03 62680063

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Email :  
duodesign@bigpond.com



SOUTH WEST - ELEVATION



NORTH WEST - ELEVATION

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JOB : PROPOSED DWELLING

AT : 3A MACQUARIE ST  
EVENDALE TAS 7212

FOR : KATRINA FRENCH

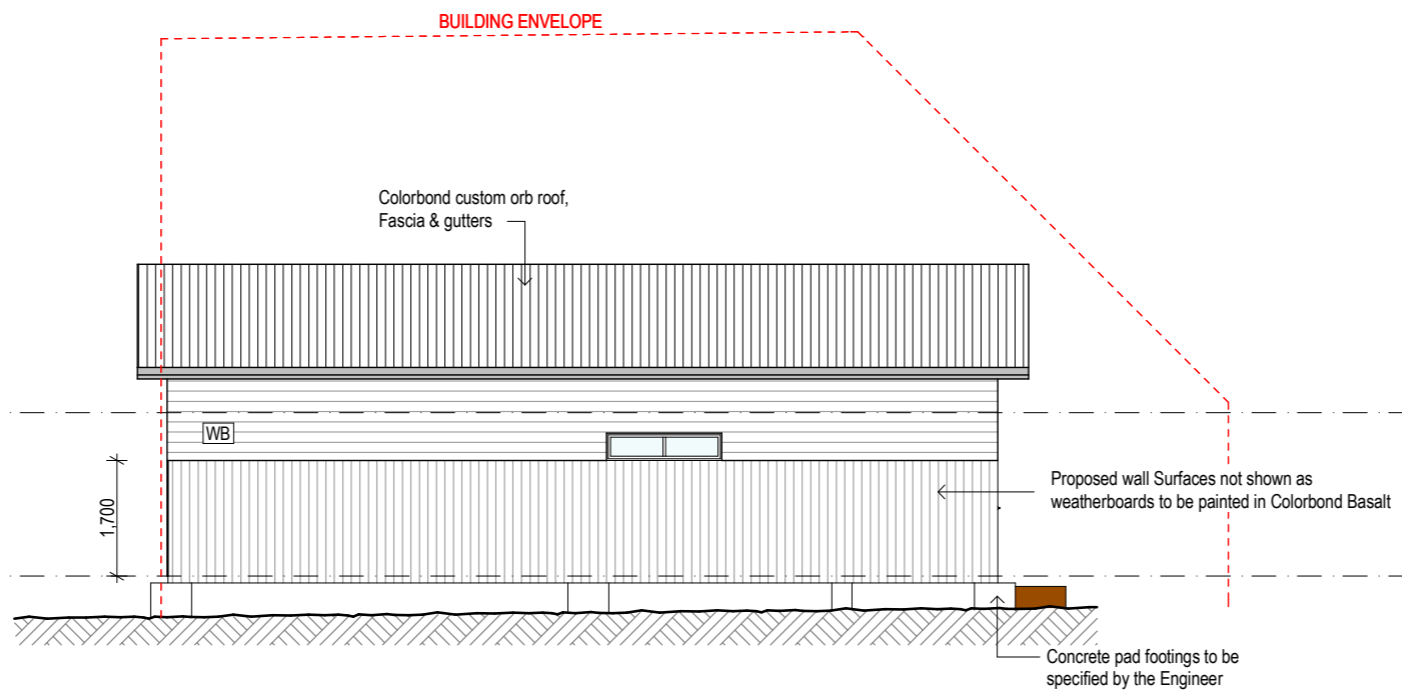
DRAWING TITLE :  
**PROPOSED ELEVATIONS**

DRAWN: MJD	DATE: 2.6.2023	DWG NO. : <b>03</b>
SCALE:A3 1:100	ISSUE: DA	

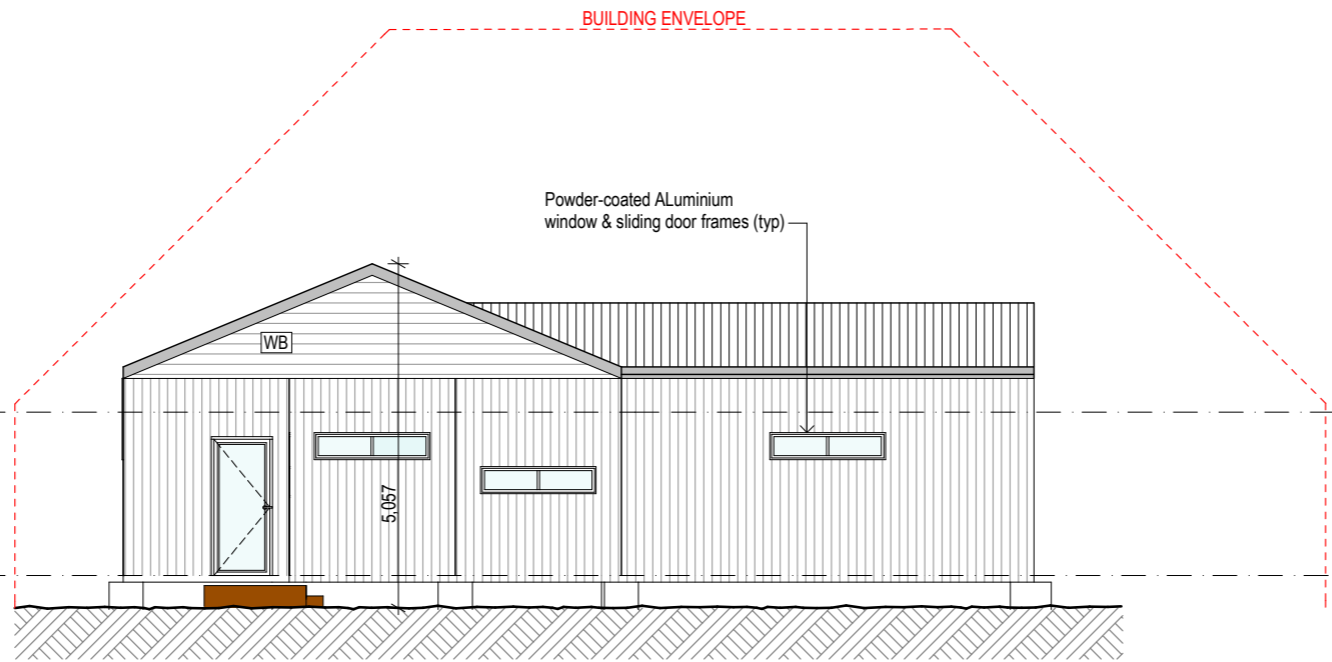


BUILDER MUST VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING CONSTRUCTION  
 USE WRITTEN DIMENSIONS-DO NOT SCALE  
 ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STATE BUILDING REGULATIONS LOCAL COUNCIL BY-LAWS AND CURRENT NCC

- Colorbond fascia and gutter. Profile TBC
- Preliminary Colour Selections**
- Roof: Colorbond "BASALT"
- Walls:
- Weatherboards - Snow White
- Exposed steel - Colorbond Basalt
- Gutters, Fascias : Mid Grey
- Post: Grey
- Window frames: Monument
- WB : Horizontal Weatherboards, pre colour finished by manufacturer in 'Snow White'**



SOUTH EAST - ELEVATION



NORTH EAST - ELEVATION

- GENERAL NOTES:**
1. ALL EXPOSED STEEL WORK SHALL BE HOT DIPPED GALVANISED.
  2. ALL REMAINING STEEL WORK SHALL BE PAINTED WITH AN APPROVED CORROSION RESISTANT PAINTSYSTEM TO NCC REQUIREMENTS
  3. STRUCTURAL STEELWORK SHALL COMPLY WITH AS 4100
  4. TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS 1684.2
  5. ALL DECK FIXINGS TO BE HOT DIP GALVANISED OR STAINLESS STEEL
  6. ALL WELDS SHALL BE C.F.W. U.N.O., SIZES AS SPECIFIED BY THE ENGINEER

**Received**

02.06.2023

**Exhibited**

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JOB : PROPOSED DWELLING  
 AT : 3A MACQUARIE ST  
 EVENDALE TAS 7212  
 FOR : KATRINA FRENCH

DRAWING TITLE :  
**PROPOSED ELEVATIONS**

DRAWN:	DATE:	DWG NO. :
MJD	2.6.2023	<b>04</b>
SCALE:A3	ISSUE:	
1:100	DA	



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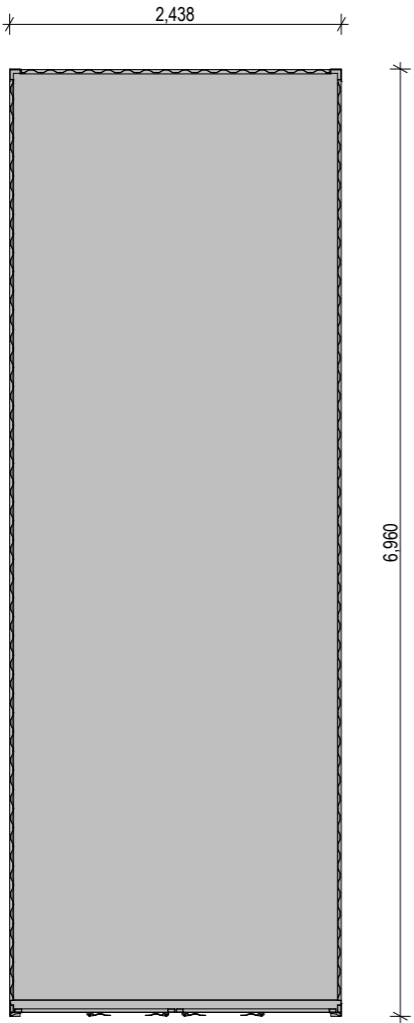
BUILDER MUST VERIFY ALL DIMENSIONS AND LEVELS  
PRIOR TO COMMENCING CONSTRUCTION  
USE WRITTEN DIMENSIONS-DO NOT SCALE  
ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN  
ACCORDANCE WITH THE STATE BUILDING REGULATIONS  
LOCAL COUNCIL BY-LAWS AND CURRENT NCC

Preliminary Colour Selections  
Roof: 'BASALT'  
Walls: 'BASALT'

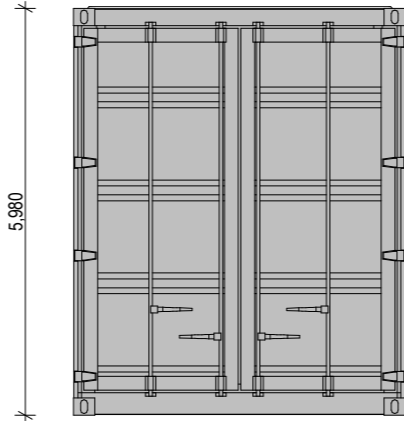
Received

02.06.2023

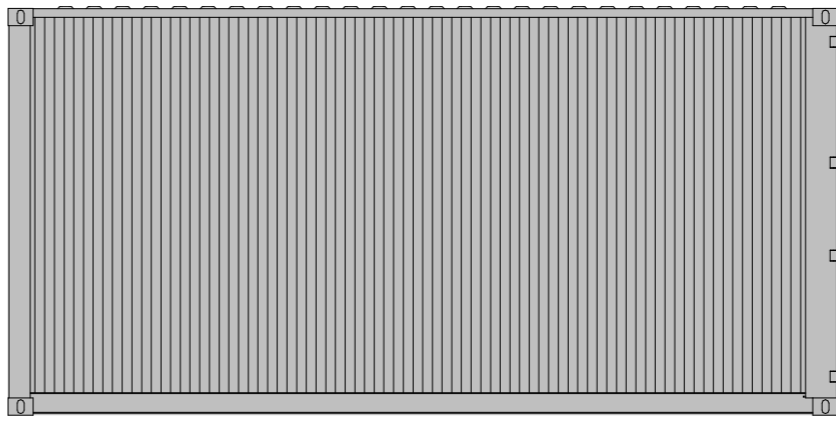
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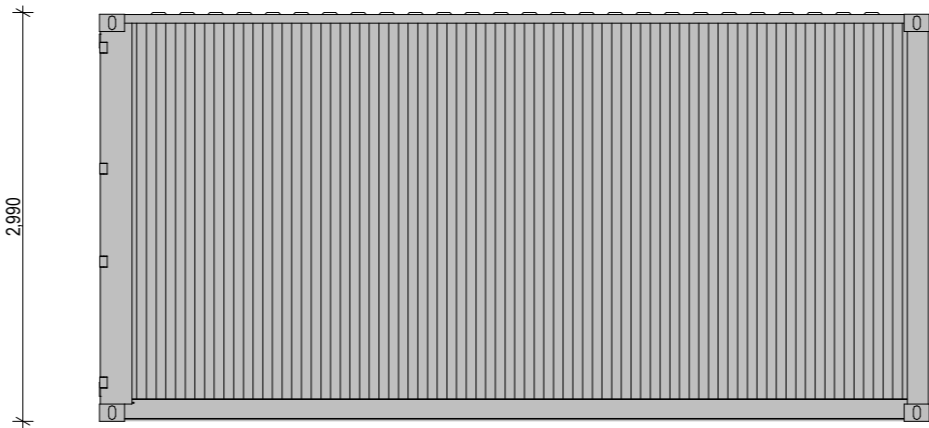
PLAN  
1.100



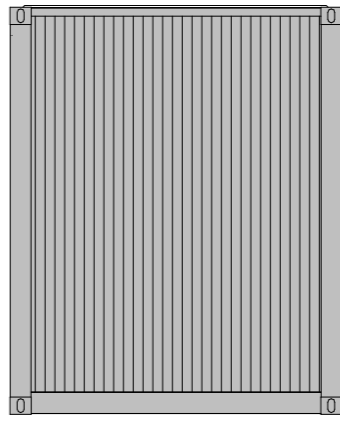
ELEV 1 END



ELEV 2 SIDE



ELEV 3 SIDE



ELEV 4 END

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---

JOB : PROPOSED DWELLING

AT : 3A MACQUARIE ST  
EVENDALE TAS 7212


FOR : KATRINA FRENCH

DRAWING TITLE :

**20FT CONTAINER  
STORAGE**

DRAWN: MJD	DATE: 2.6.2023	DWG NO. : <b>05</b>
SCALE:A3 1:100	ISSUE: DA	

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3 Macquarie St  
Evandale Tas 7212

17 June 2023

General Manager  
Northern Midlands Council  
Via email: [planning@nmc.tas.gov.au](mailto:planning@nmc.tas.gov.au)

Dear Des,

**RE: PLN-23-0065**

As the owner and occupier of 3 Macquarie St (along with my wife and children), I am writing to raise concerns about the proposed residential development next door at 3A Macquarie St.

I would like to begin by saying that as a society, we all bear responsibility (including governments of all levels) for the provision of safe, affordable housing for all people. Shelter is a basic human right. In allowing housing to become increasingly unaffordable, we must expect that people will explore unconventional housing solutions in order to put a roof over their heads. Also, in the context of the climate emergency, new ways of creating houses – including off-site manufacturing – that result in markedly lower carbon emissions (both during construction and operation) are to be commended. However, as with any construction, developments must comply with all relevant codes and regulations and should be respectful of impacts on neighbours and the wider community.

If the proposed development was to go ahead, I have several concerns relating to the proposal presented, as follows:

**Privacy**

The finished floor level is quite elevated (400-600mm above the surrounding yard). This means that despite the presence of 6-foot timber paling fences, there are clear sight lines to and from the proposed house into neighbouring properties. The northernmost shipping container doors (the need for which is unclear given the adjacent roller door) and the proposed deck are of particular concern to our household as these permit views directly into our backyard. As an immediate attempt to address this issue, with the cooperation of the proponent (and for the benefit of both parties), we have added lattice 'fence-toppers' to a section of the side boundary fence. However, a preferable long-term solution may be the provision of screen planting on the proponent's side (our side being used for food production) to the equivalent height of the lattice fence-topper.

**Tree Protection**

Whilst the existing configuration of shipping containers and the use of pad footings has accommodated the protected oak trees reasonably well, I am concerned that the addition of the proposed conservatory and covered deck portion may adversely impact the health of the trees by reducing the availability of moisture to the root zone of the trees.

Whilst it may not be practical for there to be absolutely no construction under the drip line of the trees, incursion should be restricted to an absolute minimum, as should the use of any impermeable surfaces for paths or driveways. Excessive compaction of the root zone must also be avoided (see comments about driveway and parking area), as should trenching for the provision of services (something which appears to have already occurred if the location of the existing electrical connection is as per the Site Plan).

Finally, it is not clear how the proposed roof design can be safely accommodated beneath the existing branches of the oak trees.

### **Cladding and Painting**

The proposed partial cladding seems to be an attempt to make the house 'fit in' aesthetically with surrounding dwellings and Evandale as a whole. However, cladding only portions that are thought to be visible from surrounding streets is likely to look patchy and incomplete when viewed from neighbouring properties. This is especially the case given that white cladding would contrast starkly with the grey painted metal of the shipping containers.

Mention is made of the additional shipping container (presumably for storage purposes) being painted in 'Basalt' colour. If this container remains, it is worth pointing out that at least the side facing our backyard is yet to be painted Basalt.

### **Driveway and Parking Area**

In terms of appearance and practicality, I have no problems with the use of compacted crushed granite as a driveway surface (and as the proponent points out, it has been used elsewhere in Evandale). My main concerns are that whatever material is used be a 'quiet' surface when vehicles are driven on it (as opposed to a 'crunchy' one). This is due to two of the bedrooms in our house being immediately adjacent to the driveway. It is also essential that the material used be permeable to allow the proper exchange of moisture and gases with the root system of the oak trees.

Regarding the proposed parking area, given its proximity to the protected oak trees, I would be concerned that the resulting compaction might, over the long term, adversely affect the health of the trees. Consideration should therefore be given to whether the size of the parking space could be reduced in length (by 2-3m), or the shape changed to take advantage of the truncated corner so that one vehicle is parked in an east-west orientation and the other north-south (as per the way the block is currently being used). Whatever the solution, the goal should be to ensure that compaction of the root zone of the trees is minimised.

One other consideration with the driveway would be opportunity to utilise the narrow strip along the northern side to include screen planting up to around 2m in height to assist with privacy screening.

### **Construction Codes and Standards**

Whilst details about exactly how a build will conform to all relevant building codes and standards is not necessarily a requirement of planning approval, I do have some concerns about how this will be achieved retrospectively when a house is already substantially built.

In conclusion, I would like to say that it has been disappointing to see the way the process of the development of this property has occurred. It has resulted in conflict and considerable angst in the Evandale community. Our family has chosen not to take an adversarial approach to our dealings with anyone, including the proponent and her partner, and will continue to do so whatever the outcome of this development application.

Yours sincerely,



Jeff McClintock

Nathan and Tegan Broomhall  
7 Macquarie Street  
Evandale TAS, 7212  
Email: [Nathan.Broomhall@gmail.com](mailto:Nathan.Broomhall@gmail.com)  
Mobile: 0400 731 483  
Evandale 7212

Ref no: PLN-23-0065  
Site: 3A Macquarie Street, Evandale

To the General Manager,

**Representations regarding Planning Application PLN-23-0065 3A Macquarie Street Evandale**

This letter of representation is provided to outline objections to the proposed development of 3A Macquarie Street Evandale by Nathan Broomhall and Tegan Broomhall, owners and residents of neighbouring property 7 Macquarie Street.

The buildings currently occupying lot 3A Macquarie Street were initially placed in December 2022. Upon arrival, these containers were already modified with plastered internal walls, doors, windows and including an already attached air conditioning unit. It was established that the intended use of these 'shipping containers' was to be considered as storage only, and were to be placed under the pretence that they were temporary structures. These should not have been considered 'shipping containers' for the purpose of storage, as they were heavily modified for living purposes and therefore by definition could no longer be used as shipping containers.

The multiple buildings were placed together on-site forming one structure as is depicted precisely in this planning application. Works for this building, including the footings on which it is placed have already been completed to unknown standards and degrees of compliance with regulation and building codes, and are now to form the majority of what is being proposed in this planning application.

**Overall Representations**

Before addressing concerns relating directly to the planning scheme, it should be noted that the information contained within this planning application may be considered false or misleading, specifically;

The question outlined on the application form asking:

*Are there any existing buildings on this property? Yes / No  
If yes – main building is used as.....*

to which the answer states NO. This may be false and misleading.



The definition of 'building' within PLN-23-0065 is not explicitly defined to mean 'dwelling' and is in fact referenced under the *Tasmanian Planning Scheme 3.0 Table 3.1 Planning Terms and Definitions as; building - means as defined in the Act*

Which under the *Land Use Planning and Approvals Act 1993 Section 3.(1)* is defined as *building* includes –

- (a) a structure and part of a building or structure; and
- (b) fences, walls, out-buildings, service installations and other appurtenances of a building; and

There is currently a building located on the lot at 3A Macquarie Street which is being used for residential purposes, other than storage exclusively. It is fitted with windows, doors, an air conditioning unit, has a plastered interior and contains household furnishings.

Electricity was connected to the building prior to May 2023 and despite the designs contained in this application being dated June 2nd 2023, they do not represent electrical and communications trench works that were completed in February 2023.

It is imperative that the existence of the current building be disclosed in this application as it is to form the majority of the works proposed.

By not disclosing the current buildings on the lot, this application may also be in contravention of *Tasmanian Planning Scheme - State Planning Provisions - Application Requirements 6.1.3(b)(x)*

*6.1.3 In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:*

.....

*(b) a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:*

.....

*(x) the location of existing and proposed buildings on the site;*

In addition to the above, this planning application does not satisfy the acceptable solutions and performance criteria outlined in the following subsections of the Tasmanian Planning Scheme including the Evandale Specific Area Plan;

**- NOR-S5.1.1 To protect and enhance the unique history and character of the village.**

The designs proposed within this planning application are based on modern, low cost housing alternatives constructed from shipping containers that do not in any way protect or enhance the unique history and character of the Evandale village.

Further to this interpretation, approval of this application clearly has the potential to set a detrimental precedent for development within Evandale. The design proposed in this application is also not in keeping with the character of Evandale as depicted in the *Tasmanian Planning Scheme NOR-C6.2.2 Evandale Heritage Precinct*.

**- NOR-S5.1.5 To provide for development that is compatible with the existing streetscape settings, building forms and the rural village character.**

As outlined and proposed in this application, partially cladding a modified shipping container so as to minimise its visual impact, does not constitute a compatibility with existing streetscape. If the aim as stated in this planning application is to reduce its visual

appearance from the street and its building form and finish require it to be *“hardly visible”* or *“Beyond the natural line of sight”*, questions should be raised as to why such a dwelling should be approved. A building compatible with the existing streetscape settings, building forms and the rural village character should not need to be made less visible from any street.

In reference to the *“statement supporting the design approach”* regarding limited visibility of the dwelling from Arthur Street; this statement is generally inaccurate and is a subjective observation. As it is currently standing and already in place, the southern wall of the 40 foot shipping container is clearly visible, in its full length, from Arthur Street, and a more generous amount than the *“top portion”* can be seen currently.

When completed as per the proposed plan, the dwelling will extend to over 3m above the adjacent fence and be clearly visible from the neighbouring properties and from Arthur Street. Partially cladding this southern wall as per the design will still make a portion of the painted shipping container wall material visible from Arthur Street.

***-NOR -S5.7.3 Wall materials***

***Objective : That wall materials used are compatible with the existing streetscape or rural village character.***

***Acceptable Solutions A1***

The majority of the design is not of matching form and material (painted steel shipping container). The remainder that is not shipping container steel, is planned to be clad with vinyl weatherboard. This is only to be applied to areas of the shipping containers that are deemed ‘visible’ to the street.

The southern wall of the largest container as it is designed in this application will still show a section of shipping container below the cladding that will be clearly visible above the fenceline from neighbouring properties and from Arthur Street.

In addition, this approach of partially cladding sections of a building so as to mask where it may be visible from the street (based on a subjective observation) is not in keeping with NOR-S5.1.5 or meet the definition of NOR -S5.7.3 A1 which states; *“must be of a form and material that matches the existing building or not be visible from any road or public open space adjoining the site.”*

It does not explicitly state that only ‘sections’ of a building may be clad. The building *is* visible from several streets and should therefore be subject to performance criteria as stated in full.

***-NOR -S5.7.3 Wall materials -***

***Performance Criteria P1***

The design outlined in this application does not meet this performance criteria due to the following;

- Repurposed steel shipping containers are not compatible with the *“design and period of construction of the existing buildings in the street”*, or in Evandale as a whole. No supporting information has been provided in this application referencing examples of where repurposed shipping containers have formed the construction of existing residences within the Evandale Heritage Precinct.

- The design presented in this application is not compatible with the “*design and period of construction of the existing buildings or rural village character of Evandale*”. It is not comparable or compatible with the existing “*mix of cottages, an unoccupied take away store, with brick/weathered timber street facing frontage, and considerably more recently constructed dwellings to the right, and the rear.*” As is stated in the “*statement supporting the design approach*” of this application. All of the given examples are constructed and finished from materials provisioned in the relevant performance criteria. The proposed dwelling is of entirely different construction material, form and finish to all of these examples.
- *NOR -S5.7.3P1(a)(b) and (c)* specifically mentions the use of Weatherboards, brickwork/mortar and concrete blocks as acceptable materials. Use of repurposed shipping containers are not provisioned under the performance criteria, nor is the external appearance of painted shipping container steel. The design in its current state does not satisfy this performance criteria.

**NOR-P1.6.1 Building Height**

*To provide for a building height that:*

- (a) is compatible with the form and scale of residential development; and*
- (b) minimises adverse impacts on adjoining properties.*

This design and its position on the lot may adversely impact the adjoining property at 7 Macquarie Street. With regard to satisfying the performance criteria, there is concern over the bulk and form of the design including;

- its position on the lot with minimum offset from the northern boundary of the adjoining property.
- The southern wall, as per the plan, occupies the entire length of the neighbouring private open space at 7 Macquarie Street.
- the degree to which it may overshadow both private open space, north facing dining/living rooms and alfresco areas of 7 Macquarie Street.

The above concerns also relate directly to performance criteria set out in;

*State Planning Provisions 8.4 Development Standards for Dwellings 8.4.2 P3 (a)(i)(ii)(iii)and (iv)*

**-C2.6.1 Construction of parking areas**

In regard to the request to vary and satisfy P1 of Clause C2.6.1 Construction of Parking Areas of the Tasmanian Planning Scheme:

- It is stated within the application that “*Rainwater runoff will be contained within the property.*” with no supporting evidence or plan for plumbing that depicts how the rainwater will be contained or dealt with eg. proposed installation locations of stormwater pits or trench drains. The exclusion of such information does not satisfy the performance criteria.
- It has been cited that others have used similar materials as driveways/parking spaces within Evandale but fails to include details on drainage in place at these other premises. While the material may be present at other properties within Evandale, it should not make its proposed use exempt from satisfying other required performance criteria as it relates to this application, i.e. drainage or containment of rainwater with

supporting evidence in the design or plan for stormwater pits or trench drains locations as required.

Additional evidence should be provided to meet [C2.6.1 acceptable solutions A1 \(b\) and \(c\)](#) as to how drainage to public stormwater is to be achieved and/or as to how rainwater will be contained on site.

It would also be appropriate to provide more detailed plans of the proposed drainage system for the driveway and parking areas to satisfy [C2.6.1 P1 \(c\) the drainage system available](#);

#### **Additional Supporting Evidence**

As part of this representation it is requested that sufficient evidence be provided supporting the existing works already carried out have been done so by a licenced builder/building surveyor, as it is this existing building (not disclosed within the application) that is to form the majority of the proposed development.

It is requested that evidence be provided in relation to the footings as outlined in this application; [PLN-23-0065 page 11 - "Concrete pad footings to be specified by the Engineer"](#))

These footings have already been placed over 5 months prior to this planning application. It appears that it is the intention of this application to use these existing works in their current state without further investigation or compliance, to form the basis and majority of the development proposed. It should then be reasonable to expect and request evidence to be provided that existing footings and works have been completed as specified by an engineer, as is detailed in this application.

In addition to the above, there is a lack of information in relation to potential overshadowing of 7 Macquarie Street and visual impact to surrounding streets and it is requested that further evidence be demonstrated detailing;

- Overshadowing diagrams, to ensure there is no loss or unreasonable restriction of solar access or excessive overshadowing of 7 Macquarie Street regarding north facing windows/rooms and private open spaces.
- Representative drawings of the visual impact from both Macquarie and Arthur Street as evidence to substantiate related statements contained in the "*statement supporting design approach*" of this planning application.

In conclusion, further to the above objections and grievances, it cannot be reasonably concluded that the existing building on lot 3A was constructed in accordance with the applicable Northern Midlands Council Regulations, Tasmanian Planning Scheme, Land Use Planning and Approvals Act 1993 or Building Codes. A development of this scale should not be able to reach this stage of construction without some form of regulation, if not a permit. It would be reasonable to assume that these works should have been undertaken by a licensed builder or with consultation from a building surveyor, or with adherence to standards of the building code. There are no applicable exemptions in any of the above regulations to allow for this building to exist as an outbuilding or as a temporary structure.

It is therefore our intention to provide written notice to the Northern Midlands Council in addition to this representation (in accordance with the [Land Use Planning and Approvals Act 1993 Section 63B](#)) that the current building on lot 3A Macquarie Street Evandale may likely be in contravention of the [Land Use Planning and Approvals Act 1993 63.\(2\)\(a\)](#) which states;

*(2) A person must not use land in a way, or undertake development or do any other act, that –*

*(a) is contrary to a State Policy or a planning scheme; or*

We appreciate the time you have taken to consider the objections outlined in this representation. Should you have any questions, feedback or information and wish to contact us, you can do so via email at [nathan.broomhall@gmail.com](mailto:nathan.broomhall@gmail.com) or by phone on 0400 731 483 anytime.

Kind Regards

Nathan and Tegan Broomhall

Email : [markgirling007@gmail.com](mailto:markgirling007@gmail.com)  
[carlagirling@gmail.com](mailto:carlagirling@gmail.com)  
Mobil: 0460629962  
0460519250

Mark and Carla Girling  
5 Macquarie Street  
Evandale 7212

To the General Manager,

I wish to object to the planning application Ref no.PLN-23-0065, 3A Macquarie Street Evandale.

The proposal will not respect the character and appearance of the wider area;  
*(Evandale Specific Area Plan - NOR-S5.1.1 To protect and enhance the unique history and character of the village.)*

The proposal represents a building of poor design not in keeping with the heritage vibe of our famous little township with no respect for the scale, design and materials of the buildings in the surrounding area.*(Evandale Specific Area Plan- NOR-S5.1.5 To provide for development that is compatible with the existing streetscape settings, building forms and the rural village character.)*

The proposal will not relate well to the materials used in the construction of the historic buildings in the surrounding area which form the identity of Evandale. Also the proposal would impact the two large protected trees *(Covenant reg: 24/8/2022)* once a roof is applied, the trees will have to be compromised and the proposed deck and conservatory will affect drip lines and natural waterings of the root system. Also, how will the roots be affected by the storm water and sewerage trenches?

I have photographic evidence, showing branches being ripped off these protected trees and also gives an indication of how the roof height will impact the tree canopy.

It also states in their application that the containers (home) will be hardly visible from Macquarie street, but the dwelling is very visible from Macquarie and Arthur Street and would be more so if we had not put fence toppers on existing fence exceeding the legal height of a fence to hide some of the impact from our cottage windows and street.

I would also like to see some shading diagrams which will impact our property and the neighbours. Also, the privacy aspect of the deck given the proposed height which will result in them being able to look over our back garden, affecting our privacy and future resale value.

Builder must verify all dimensions and levels as stated in applications,  
*(PLN-23-0065 pages 9-12 "BUILDER MUST VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING CONSTRUCTION")* prior to commencing construction. Also, I would like to see verification of dimension and levels prior to the building of these container homes as mostly all the work and ground works have already been done without certification of soil test and concrete piers. Also, on the application it states; are there any existing buildings on this property? And they have highlighted NO. Can you please explain how 5 shipping containers fully fitted out, with electrical works carried out including air con, windows, internal doors, plastering, shelving, carpets, blinds etc constitutes a NO answer on an application.

Yours Sincerely

Mark and Carla Girling















Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachment:					
REC'D 23 JUN 2023					
	I	A		I	A
GM			PLN		
P&DM			BLD		
CSM			MVR		
WM			EA		
HR					
HLT					

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

**Evandale Historic Character**

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

**Compatibility with existing buildings**

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards

*Jürgen Martinschledde*      JÜRGEN MARTINSCHLEDDE  
 558 Evandale Rd.  
 JURGEN.M@bigpond.com

**Ref No: PLN-23-0065**

Site: 3A Macquarie Street, Evandale 7212

22<sup>nd</sup> June 2023

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachments					
REC'D 23 JUN 2023					
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P&DM			BLD		
CBM			MYH		
WM			EA		
JR					
HLT					

Mr & Mrs G Grant

28 High Street

Evandale TAS, 7212

Email: juliegrant57@yahoo.com

Mob: 0410940915 – 0421634753

**ATTENTION:** The General Manager,

**Representations regarding Planning Application PLNB-23-0065 3A Macquarie Street Evandale.**

I wish to object to the planning application of the above.

I feel this shipping container structure does nothing to enhance or is even compatible with the surrounding home of this historic village of Evandale.

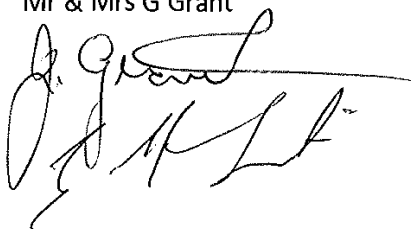
With this precedence set, anyone in the future can now move into a shipping container structure (house) with bathrooms plumbing and fully fitted out onto a block of residential land in the Northern Midlands Council area and then apply for application later. This shipping container house commenced in December 2022, and it appears that no action from Council has happened.

As these over large shipping containers in place already without a roof is a complete eyesore and can be clearly seen from both Arthur & Macquarie Street.

In closure I believe the Council has a responsibility to act on the above matter. The distressed residents deserve this from our Council.

Regards,

Mr & Mrs G Grant



destinybuildsol @bigand.com.

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
FILE NO					
PROJECT					
ALTERNATIVES					
RECD 23 JUN 2023					
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TRF			MYR		
WTR			EA		
PRE					

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

**Evandale Historic Character**

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

**Compatibility with existing buildings**

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards

*Celia Martinschledde*  
 558 Evandale Rd.  
 jürgen.m.@bigpond-com

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
File No					
Property					
Attachments					
REC'D 23 JUN 2023					
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SM			MYR		
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BLD					

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

**Evandale Historic Character**

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

**Compatibility with existing buildings**

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards

*J. Remess G.A. Remess*  
 J. REMESS & G. REMESS  
 34 CAMBOCK LANE EAST  
 EVANDALE.



Ref no: PLN-23-0065

Site : 3A Macquarie Street, Evandale

To the General Manager,

I am writing to object to the proposed plan at 3A Macquarie Street Evandale. I am a local resident and have the following concerns;

1. Evandale Historic Character.

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

2. Compatibility with existing buildings.

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

3. Due Process.

I have serious concerns about how this development has been undertaken. The shipping containers have been on site at 3A Macquarie Street since December 2022. It has taken 6 months for a planning application to be submitted, during which time building has continued without any information to the public. This building is much larger than several other projects in Evandale that have submitted applications to council. Projects such as carports and gazebos which have had to follow the expected due process. However, it seems as though nothing has been done about this large building on 3A Macquarie Street. It is of concern that if this development is allowed to continue, it may be seen as accepted practice on other vacant blocks within Evandale, where building and works can commence before any notice or application is submitted.

4. Precedent

Approving this application may set a precedent for the development of similar smaller, modern shipping container homes within Evandale.

Thankyou for taking the time to consider these objections.

Regards

Brendon Crosswell

11 Macquarie Street, Evandale 7212

Email: [cros5659@gmail.com](mailto:cros5659@gmail.com)

Phone: 0418 321 267

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachments					
REC'D 23 JUN 2023					
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P&DM			MYR		
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WM					
HR					
HLI					

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

**Evandale Historic Character**

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

**Compatibility with existing buildings**

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards *Patricia Armstead,*  
 EVANDALE RESIDENT.  
*trisharmstead@bigpond.com.*

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
File No					
Property					
Attachments					
REC'D 23 JUN 2023					
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To the General Manager,

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Thankyou for taking the time to consider these objections.

Regards

*Margaret Cousins*  
 MARGARET COUSINS  
 Email: mcco853@gmail.com

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
File No					
Property					
Attachments					
REC'D 23 JUN 2023					
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To the General Manager,

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**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards *Mick Groves*  
*1 Cambock Lane Evandale*

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
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Thankyou for taking the time to consider these objections.

Regards

39 HIGH STREET EVANDALE 2  
 ANGUS MCFADZEAN 

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
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Property					
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Thankyou for taking the time to consider these objections.

Regards

*[Handwritten Signature]*  
 3 CAMBOCK LANE  
 EVANDALE. TASMANIA

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

NORTHERN MIDLANDS COUNCIL					
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Property					
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SIR					
HLT					

To the General Manager,

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Thankyou for taking the time to consider these objections.

Regards

3. CAMBOCK KANĒ .  
 EVANDALE .  
 TASMANIA .



The General Manager  
 Northern Midlands Council  
 PO Box 156  
 LONGFORD TAS 7301

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachments					
REC'D 20 JUN 2023					
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GM			PLN		
P&DM			BLD		
CSM			MYR		
WM			EA		
HR					
HLT					

RE: OBJECTION to Planning Development Application  
 PLN-23-0065 (CV 183600/20)  
 Dwelling and Shipping Container - 3A Macquarie Street, Evandale

Dear Manager

CONFIDENTIAL

I wish to lodge an objection to the above planning application relevant to 3A Macquarie Street in Evandale. This objection is primarily for the following reasons:

1. The application does not complement the aesthetics of Evandale. The Evandale Village is advertised as “a picturesque historical village”, “a hidden gem”, “steeped in history” and “a classified historical township”. If these complimentary descriptions are to be maintained, I don’t believe allowing a shipping container development should proceed. One of the most rewarding benefits of living in Evandale is simply because of the above descriptions.
2. It will set a precedent. I don’t believe one shipping container at the rear of a property is worthy of concern, but having five to form a permanent residence is stretching the guidelines too far, for Evandale. To limit the possibility of further residents using a collection of shipping containers for a dwelling, by disallowing this approval it will remove any similar applications in the future. It will also strengthen the current rules in relation to permanent dwellings in the Evandale Village, and remove any ‘grey area’ for future applications.
3. It devalues nearby houses. While my residence is not an adjoining property, it is very close by. I do believe future buyers of houses in the immediate vicinity could argue that homes are worth less because of any shipping container residences nearby.

I am aware there have been people living in these shipping containers for some months now. I trust this does not carry weight for any decision the Council makes with regard to allowing this development application to proceed. Obviously if the shipping containers can be craned into position as they are now, they can be craned out again.



I keenly await your Council's response in NOT allowing this 3A Macquarie Street, Evandale development application to proceed.

Yours faithfully

A handwritten signature in blue ink, appearing to read 'H Martin', is written in a cursive style.

H Martin

13 Macquarie Street

Evandale TAS 7212

14<sup>th</sup> June 2023

Ref no: PLN-23-0065  
Site : 3A Macquarie Street, Evandale

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

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This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. Council was contacted by concerned Evandale residents prior to the units being delivered on site. Council representative stated "Council will find the development at some stage and then look at retrospective approval". This sets a precedent for future developments within Evandale and surrounds.

During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

The Development Application indicates a shipping container for storage. Previous requests to Council for provision of a shipping container as storage shed has been rejected.

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thank you for taking the time to consider these objections.

Handwritten signatures: DENIS Moloney, SHERRIL Moloney, Smoloney. To the right, a bracketed note: 886 WHITE HILLS RD, EVANDALE, TAS 7212.

Regards

Handwritten signatures: Jacqueline Swann, DAVID SWANN Swann. To the right, a bracketed note: 890 White Hills Rd, Evandale.

Ref no: PLN-23-0065  
Site : 3A Macquarie Street, Evandale

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

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**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. Council was contacted by concerned Evandale residents prior to the units being delivered on site. Council representative stated "Council will find the development at some stage and then look at retrospective approval". This sets a precedent for future developments within Evandale and surrounds.

During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

The Development Application indicates a shipping container for storage. Previous requests to Council for provision of a shipping container as storage shed has been rejected.

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thank you for taking the time to consider these objections.

Handwritten signatures: DENIS Moloney, SHERRIL Moloney, Smoloney. To the right, a bracketed note: 886 WHITE HILLS RD, EVANDALE, TAS 7212.

Regards

Handwritten signatures: Jacqueline Swann, DAVID SWANN Swann. To the right, a bracketed note: 890 White Hills Rd, Evandale.

NORTHERN MIDLANDS COUNCIL					
File No					
Property					
Attachments					
REC'D 26 JUN 2023					
GM	I	A	PLN	I	A
P&DM			BLD		
CSM			MYR		
WM			EA		
HR					
HLT					

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

**Evandale Historic Character**

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

**Compatibility with existing buildings**

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards

Adete & Geoff Eadie  
 18 Macquarie St.  
 Evandale  
 theeadies@gmail.com

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachments					
REC'D 26 JUN 2023					
	I	A		I	A
GM			PLN		
P&DM			BLD		
CSM			MYR		
WM			EA		
HR					
HLT					

Ref no: PLN-23-0065  
 Site : 3A Macquarie Street, Evandale

To the General Manager,

I am writing to object to the planning application for 3A Macquarie Street Evandale. As a local resident of Evandale I have the following concerns;

**Evandale Historic Character**

This modern shipping container home design does not protect or enhance the unique history and character of Evandale.

**Compatibility with existing buildings**

This building can be seen from Macquarie and Arthur Street and is not compatible with the existing streetscape settings, building form or the rural character of the village.

**Due Process**

There are serious concerns about how this development has been undertaken. The building at 3A Macquarie Street has been in place since December 2022. During the 6 months prior to this planning application, works have continued without any information or opportunity for public comment. This building is much larger than several other recent projects in Evandale that have submitted applications to council before building commenced. Projects such as carports and gazebos that have had to follow the expected due process. However, it appears nothing has been done in regards to the building at 3A Macquarie Street.

**Precedent**

It is a concern that if this planning application is approved, it may be seen as accepted practice to commence building and works before any notice or application is submitted to council. Approving this application has the potential to set a precedent for the development of similar modern shipping container homes within the Evandale Heritage Precinct.

Thankyou for taking the time to consider these objections.

Regards

*NB Goldsworthy*  
 NERIS GOLDSWORTHY  
 1 ALICE COURT.  
 EVANDALE 7212

908 Oceana Drive  
Howrah 7018

26<sup>th</sup> June 2023

General Manger

The Northern Midlands Council

Longford 7301

**PLN-23-0065 3A Macquarie St. Objection**

We are writing to object to the proposed development at 3A Macquarie St in Evandale. As background we have family association by property ownership in Evandale and are frequent visitors to this lovely township. We understand that one does not have to be directly involved with the location to express concern and we feel that we are reflecting the feelings of the general community, which is undoubtedly not aware of the consequences of any approval. We personally feel a real commitment to Evandale and its surrounds and hence we are taking the time to respond to the proposal.

We appreciate the historic significance of this township as reflected in adoption of the Evandale Historic Precinct controls which we believe this proposal contravenes. However any approval of development of this nature could 'open the floodgates' to other inappropriate developments which contravene the intent of the heritage precinct.

We understand the benefits of recycling shipping containers which can provide interesting contemporary housing if implemented correctly but most certainly NOT in this location. This will not be a discrete development located away from the public gaze but rather will be visible from at least two nearby streets and passing traffic close to the centre of Evandale.

The intensity of the development on such a small lot brings into question the long term well-being of the protected oak trees with particular concern for the potential damage to the root system of these well-established trees.

We are obviously concerned that the matter appears to have been pre-empted by the amount of work already completed on the site and trust that this will not form the basis for automatic approval.

As someone with a background in planning I suggest there are many issues that need comprehensive consideration including compliance with the streetscape, suitability of materials, the bulk of the buildings, impact of the height and possible overshadowing (not provided), safety associated with vehicles 'blindly' reversing over the footpath and of course drainage which was not addressed in the submission

There are far better options and these should not be dismissed just because so much work has already been done on this site. We advocate that you embrace the historic charms of this lovely township rather than approve any development that contravenes it.

Thank you for considering our submission.

Geoff and Rosalie Murray

Phone 0439 80 27 05

10 Norla St  
Tranmere  
26<sup>th</sup> June 2023

The General Manager  
Northern Midlands Council

**Subject: Objection 3A Macquarie St Evandale PLN-23-0065**

We own a property on Russel St Evandale and are very much committed to this charming village. We are objecting to the above proposal which we consider as most inappropriate for this village.

There are numerous critical grounds for objection.

**General Objections**

**Conflict with Historic Character of Village.** Evandale is well recognised as a charming historic village rich in early colonial buildings and early federation buildings. Through sensible early decisions the village is blessed with a fantastic network of parks and walkways for all to enjoy the charms of the village.

As regular visitors to Evandale it is reassuring to hear so many positive comments about the wisdom of protecting and enhancing the historic charm of the village. The proposal before the Council is in marked contrast with these values.

It is reassuring that the many publically advertised notices in the village make reference to the need to comply with the nature of the historic precinct. It shows an awareness of this obligation against which this proposal is in marked conflict.

**Undesirable Precedent.** Consistent with the above point it would be difficult to reject further similar undesirable proposals once this precedent was established. The question to be considered is if this was to be approved then what would be the basis for rejection of a similar proposal in the heart of the village.

It is noteworthy that this submission makes several references to precedents in the local area with an implied consequence that any approval would allow this to similarly form the basis of potential subsequent decisions.

**Specific Concerns**

**Plot Ratio.** There are no details about the plot ratio and its compliance or conflict with the Planning Scheme



**Protected Trees.** It is acknowledged that there are two protected large trees on the property which are not clearly evidenced by the submitted plans.

**Stormwater Runoff.** The submission suggests that the stormwater which will be concentrated at specific points will be managed on this flat site without any adverse impact on adjacent properties. There is no evidence of how the applicant intends to achieve this requirement.

**Parking and Manoeuvring.** Under the proposal there is no room for any vehicle manoeuvring apart from reversing the driveway and onto the street. Sensible design would allow for the safety aspect of reversing on site rather than on the public road.

**Materials.** It is not appropriate to use buildings based on recycled steel shipping containers with aluminium windows and plastic weatherboards.

**Overshadowing.** It is a mandatory requirement for such proposals to submit a shadow diagram based on 22<sup>nd</sup> June and this is no exception. This is critical information that should be made publically available prior to decision.

**Visibility.** Related to the above is the critical matter of visibility in this historic precinct. The applicant has not provided appropriate 3-D images from the street view, but acknowledges that it will be visible from at least two streets.

**Completed Work.** Apparently there has been considerable work performed prior to any approval. It is of concern as it may not comply with structural and safety standards but more importantly it may be used to persuade the Council into approval due to the expensive consequences of non-approval – such as reversing work already completed.

In conclusion we request that you reject this proposal and allow for a more appropriate development of this site. We are always willing to provide further comment as you might require. This is the most appropriate email address to contact us.

Mark Hannam

Evelyn Murray

## **COMMENTS IN RESPONSE TO REPRESENTATIONS TO COUNCIL**

### **THANKS**

I note that 21 representations were received by council in response to the application and thank council for allowing the opportunity for this process to be conducted.

Approximately 12 of the representations were identical in nature, and I acknowledge this indicates a willingness and or desire on the part of these people to make their feelings known in general opposition to the overall development.

Some 5 representations were more personalised, and I acknowledge the concerns raised by these.

I have not sought mediation, as I believe much of the opposition to the development is partly based on members of the community wishing to have their say and are quite rightly using this forum to do so.

I am happy for members of the council to be fully aware of the nature and tone of the representations.

One representation stood out to be as being well thought out, fair and reasonable, and I wish to acknowledge and express my appreciation for this kind neighbour. This was the only representation which sought in any way to acknowledge that behind every matter of this nature, there is a human story.

### **BACKGROUND**

I chose to move to the North of the state following the breakdown of my marriage and the resultant financial distress, to be closer to family support. If not for the small financial settlement I would be another faceless member of the growing cohort of women over 50, facing homelessness.

To find a small block in a community such as Evandale was a blessing.

Having already invested a good portion of my funds into the most affordable temporary solution I could find – 3 shipping containers, originally intended to provide additional storage and undercover area to supplement my decision to live in my caravan, I had little choice but to bring them with me and engage the services of an architect to complete their transformation from storage to dwelling. The wait for the various steps in this process has affected various parties to differing degrees, but at no stage have I attempted to skip any steps or deceive anyone, as council is fully aware. I have kept my direct contacts fully informed throughout the process, much to the contrary of the untruths spread in certain circles.

### **CONCERNS RAISED**

In the development application I addressed the following four criteria which may have required further addressing, with respect to the Evandale Specific Area Plan.

- Driveway
- Roof
- Wall materials
- Windows

Driveway

*Provide a written submission demonstrating how the proposal meets P1 of Clause C2.6.1 Construction of Parking Areas of the Tasmanian Planning Scheme – Northern Midlands (the Scheme),*  
As the driveway surface material proposed is gravel. Driveway to be constructed of locally sourced crushed granite. When the product dries, it presents as a sandstone colour. Very similar product is used elsewhere in the village for driveways of this nature, the closest examples being 20 Macquarie Street and between 22 and 20 Russell Street. Many footpaths within the village, for example the one in Arthur Street around the corner from Macquarie Street is also comprised of crushed material of this nature.

#### Roof

*Provide amended elevations demonstrating compliance with NOR-S5.7.2 Roof Form and Materials A1 of the Scheme.*

The roof conforms to the requirements.

#### Wall Materials

*Provide amended elevations and provision of a written submission demonstrating compliance with NOR-S5.7.3 Wall Materials P1 of the Scheme.*

For the end wall of the bedroom and conservatory, the end of the breezeway visible from Macquarie Street, as well as where the top section of the southern container walls visible from Arthur Street; that they be clad with horizontally fixed cladding boards.

It is not uncommon for properties to be finished in a mixture of external materials, with a street frontage of a Georgian property for example, being lightly painted block brickwork, with the rear and side walls clad with sheeting or another non-permeable surface.

Some representations expressed a concern that using a mix of cladding materials on non-street facing surfaces would represent a mismatch when viewed by neighbouring properties.

Here at 3A Macquarie Street, we share boundaries with 5 neighbours and look upon a mixture of materials including the following:

- Galvanised garden shed forming part of the boundary.
- Cement sheeting forming part of the boundary.
- Yellow metal shed walls within 1 metre of the boundary.
- Galvanised garden shed within 1 metre of the boundary.
- White garden shed within 500mm of the boundary.
- Gray garden shed within 500mm of the boundary.

#### Windows

*Provide amended elevations and provision of a written submission demonstrating compliance with NOR-S5.7.4 Windows P3 of the Scheme.*

Windows in the conservatory Aluminium Colourbond Monument. Style in keeping with the style of others in the street.

The windows conform to the requirements.

**FURTHER COMMENTS**

One representation included photographs of the modified containers, taken the day they arrived.

Many more photographs of the containers are available via the Facebook page of Tassie Containers, the Brighton based company who performed the work. The photographs appeared on the Facebook page around September/October and November 2022.

Of greater concern that those of the containers, are the photos presented as ‘Photographic evidence’ of me ‘tearing down branches of the protected trees’.

These photos were taken (unbeknownst to me) the day I removed the shade cloth sail which we had placed in the warmer months as a protection from sun and more so the constant rain of aphid droppings falling from the infested trees. (I sought advice from Allans Garden Centre and treated the trees according to their advice). Once the aphids were under control, and the summer sun was no longer a concern, I removed the sail so that falling leaves did not accumulate. The photos show me releasing the straps on the corners of the sail and holding a tree branch as I prepared to step under it. The idea that I would seek to damage the trees which I value so highly, and that this neighbour is attempting to slander me in this way with erroneous accusations is a far greater concern, and I will pursue this matter appropriately via in a more suitable avenue.

I do wish the council to note this attempt to discredit me via their process.

**PROTECTED TREES**

I have met with Frank Rosol, Australian Tree Care Tasmania, an experienced arborist with an existing connection to the trees, about their ongoing care, including during the build process, so that their root system can be protected and nurtured into the future.

My plans include a drip watering system to the portion of the root zone under the conservatory floor and mulching of the area around the base of both trees, to promote microbial growth.

Thank you,

Katrina French



## PROVISIONAL PROGRAM

Event Time - (UTC+10:00) Canberra, Melbourne, S... ▾

Tuesday, September 5, 2023

		-	-
3:00 PM - 5:00 PM	<b>Registration Desk Opens</b>		
5:00 PM - 7:00 PM	Welcome Reception & Exhibition Opening		

Wednesday, September 6, 2023

8:00 AM - 9:00 AM	<b>Registration   Arrival Tea and Coffee</b>		
9:00 AM - 9:10 AM	<b>Opening Ceremony</b> Welcome to Country		
9:10 AM - 9:40 AM	<b>Minister for Local Government opening address (invited)</b>		
9:40 AM - 10:00 AM	<b>ALGA President Opening Address</b>		
10:00 AM - 10:30 AM	Wednesday Morning Tea		
10:30 AM - 11:15 AM	<b>Keynote: Towards a sustainable road funding model for local government</b>		
11:15 AM - 12:00 PM	<b>Panel: Roads, transport and infrastructure for local governments in a rapidly changing world</b>		
12:00 PM - 1:00 PM	Wednesday Lunch		
1:00 PM - 1:45 PM	<b>Keynote: Automated heavy vehicle access - Better access, but better road funding too?</b>		
1:45 PM - 2:30 PM	<b>Panel: Preparing for automated access - data collection and infrastructure assessments</b>		
2:30 PM - 3:00 PM	Wednesday Afternoon Tea		

3:00 PM - 4:00 PM	<b>Session 1: Stronger communities - Managing local government infrastructure with increasing natural disasters</b>	<b>Session 2 - Smarter communities - How can AI improve liveability?</b>	<b>Session 3: Safer communities - local government innovations in active transport</b>
4:00 PM - 4:45 PM	<b>NTRO: Safer, sustainable, resilient transport assets through data driven solutions</b>		
4:45 PM - 5:00 PM	<b>ALGA President Closing Remarks</b>		
6:30 PM - 10:30 PM	<b>Congress Dinner</b>		

## Thursday, September 7, 2023

	1		-
8:00 AM - 9:00 AM	<b>Registration   Arrival Tea &amp; Coffee</b>		
9:00 AM - 9:30 AM	<b>Shadow Minister Address (invited)</b>		
9:30 AM - 10:15 AM	<b>Update on Federal Government infrastructure policy and programs</b>		
10:15 AM - 10:45 AM	<b>Thursday Morning Tea</b>		
10:45 AM - 11:30 AM	<b>Panel: Infrastructure decarbonisation and renewable energy</b>		
11:30 AM - 12:15 PM	<b>Keynote: Developments in waste and recycling</b>		
12:15 PM - 1:15 PM	<b>Thursday Lunch</b>		
1:15 PM - 2:15 PM	<b>Session 1: Stronger communities - Delivering affordable housing</b>	<b>Session 2: Smarter communities - Deploying renewable energy and emissions reduction</b>	<b>Session 3: Safer communities - Telecommunications infrastructure</b>
2:15 PM - 3:00 PM	<b>Keynote: Practical solutions for improving road safety on local roads</b>		
3:00 PM - 3:30 PM	<b>Thursday Afternoon Tea</b>		
3:30 PM - 4:15 PM	<b>Panel: Building road safety into precincts and road design</b>		
4:15 PM - 4:30 PM	<b>Closing comments and wrap up</b>		

*The program committee can change the program without notice.*

### Conference Co-ordinators

Phone: 02 6292 9000  
Email: [conference@confco.com.au](mailto:conference@confco.com.au)

### ALGA

Phone: 02 6122 9400  
Email: [alga@alga.asn.au](mailto:alga@alga.asn.au)

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## REGISTRATION INFORMATION



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[Cancellation Policy](#)



[Accommodation](#)

### Registration fees

Early Bird Registration Fee: \$895 (must be registered and paid by Friday 4 August 2023)

Day Registration Fee: \$500 per day

#### **Onsite Congress Registration Includes:**

- »» Attendance at all conference sessions on the day/s selected
- »» Morning tea, lunch and afternoon tea as per the conference program
- »» Conference satchel and materials

## Payment Procedures

Payment can be made by:

- Credit card: MasterCard and Visa
- Cheque Made payable to ALGA Roads Congress
- Electronic Fund Transfer: ALGA Roads Congress **Bank:** Commonwealth **Branch:** Woden, ACT **BSB No:** 062 905  
**Account No:** 1014 6120

## Privacy Disclosure

ALGA collects your personal contact information in its role as a peak body for local government. ALGA may disclose your personal contact information to the sponsors of the event for the purposes of commercial business opportunities. If you consent to ALGA using and disclosing your personal contact information in this way, please tick the appropriate box on the registration form.

*Importantly, your name may also be included in the Conference List of Participants. You must tick the appropriate box on the registration form if you wish your name to appear in this list.*

## Registration Desk

The registration desk will be open for the duration of the conference.

## Special Requirements

Every effort will be made to ensure all delegate and guests requirements are catered for. If you have any special requirements (eg. catering, mobility or any other assistance) please include a note on your registration form under special requirements or contact the Conference Secretariat.

### Conference Co-ordinators

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## ACCOMMODATION

The rates below listed below are per night and room only. To book these rooms and rates you need to complete the Roads Congress registration form.



### Avenue Hotel

80 Northbourne Avenue, Canberra

The Avenue Hotel is 5 star options in the Canberra city and offers guests both studio and apartment style rooms. The hotel is a 15-minute walk to the Congress venue and has an onsite restaurant and bar, 24 hour reception, room service, gymnasium, undercover parking (charges apply per night) and guest lounge. All rooms have king size beds, rainfall showers, balconies, mini bar and free WiFi. The apartments also have a fully functioning kitchen.

Twin option is only available in superior rooms and consists of two king singles.

**Superior King Rooms:** \$290 per night single/twin/double

**1 Bedroom Apartments:** \$330 per night single/double



## Novotel Canberra

65 Northbourne Avenue, Canberra

Located on Northbourne Avenue, one of Canberra's main thoroughfares, the Novotel is a 10 minute walk from the Congress venue.

The hotel offers 24 hour reception and room service, an onsite restaurant and bar, a newly renovated indoor pool, gymnasium and undercover parking (charges apply per night).

Standard rooms have a queen size bed, mini bar, tea/coffee making facilities, internet access (for a fee), pay per view movies and climate control air-conditioning.

**Standard Queen Room:** \$245 per night single/double

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## REGISTRATION & ACCOMMODATION FORM

All prices quoted are in Australian Dollars and are inclusive of GST.

**ALGA ABN:** 31 008 613 876

You can book your accommodation on this form after the registration details have been completed

The data in this form is not recorded until the **SUBMIT** button is pushed. The SUBMIT button is at the end of this form.

**NOTE:** You will receive a confirmation and tax invoice via email.

### Contact Details

#### Attendee Details

7/3/23, 1:27 PM

2023 Roads Registration - REGISTRATION &amp; ACCOMMODATION FORM

### Primary Address










### Attending Person's Direct Email Address

Please only enter the attending person's email address here. There is an additional email address field below for anyone needing to also receive correspondence.



### Additional Email Address

If you would like the confirmation and tax invoice to also be sent to a different email address, please list below (Don't enter the same email as above).

7/3/23, 1:27 PM

2023 Roads Registration - REGISTRATION & ACCOMMODATION FORM

**Billing Contact Name**

**Additional Emails**

### Delegate Special Requirements

**Speical Requirements (diet & mobility)**

### Attendee App & OnAIR Visibility

- Yes - include my details**
- No - Do NOT include my details**

### Mailing List

Do you consent to ALGA disclosing your contact information to congress sponsors?

**\*Mailing List**

## Onsite Delegate Registration

If you have a discount code, you can enter it below once you select a registration type. This field is not required.

- Full Delegate Registration**

AMOUNT
895.00
TOTAL
0.00

7/3/23, 1:27 PM

2023 Roads Registration - REGISTRATION & ACCOMMODATION FORM

<input type="radio"/> <b>Wednesday Day Registration</b>	AMOUNT 500.00 TOTAL 0.00
<hr/>	
<input type="radio"/> <b>Thursday Day Registration</b>	AMOUNT 500.00 TOTAL 0.00
<hr/>	

Please tick if you are bringing a partner/Guest to attend the social functions

**Accompanying Partner**

---

## Social Functions

ONE ticket is included in the full registration to each social function. Please tick delegate ticket if you will be attending.

### Welcome Reception & Exhibition Opening

Kambri Cultural Centre  
Sep 05, 2023 | 1700 - 1900

**Delegate Ticket**

-  +

**Additional Tickets**

AMOUNT  
50.00  
TOTAL  
0.00

### Congress Dinner

The National Arboretum  
Sep 06, 2023 | 1830 - 2230

7/3/23, 1:27 PM

2023 Roads Registration - REGISTRATION & ACCOMMODATION FORM

**Delegate Ticket**

-  +

**Additional Tickets**

AMOUNT

95.00

TOTAL

0.00

Next





## SOCIAL FUNCTIONS



### Welcome Reception & Exhibition Opening

**Date:** Tuesday 5 September  
**Location:** Kambri Cultural Centre, ANU  
**Time:** 5.00pm – 7.00pm  
**Cost:** No charge for full registered delegates  
\$50 per person for partners and guests

**Dress code:** Smart casual

This year the Congress welcome reception & exhibition opening will be on-site at the Kambri Cultural Centre, ANU. This will be a great opportunity for delegates and exhibitors to network.



### Congress Dinner

**Date:** Wednesday 6 September  
**Location:** National Arboretum  
**Time:** 6:30pm to 10:30pm  
**Cost:** No charge for full registered delegates  
\$95 per person for partners and guests

**Dress code:** Smart casual

The venue is the visitors centre at the National Arboretum.

The National Arboretum Canberra is a 250-hectare attraction located in the Australian Capital Territory. It features a vast collection of rare and endangered trees from around the world, as well as several gardens, walking trails, and architectural landmarks.

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## VENUE AND LOCATION



### Cultural Centre Kambri, ANU

Tangney Road  
Acton  
ACT 2601

## VENUE

The Kambri Cultural Centre is a vibrant hub of culture and community located at the Australian National University in Canberra, Australia. This state-of-the-art facility is home to a diverse range of arts and cultural events, including exhibitions, performances, workshops, and talks. With its stunning architecture and beautiful natural surroundings, the Kambri Cultural Centre is a must-visit destination for anyone interested in exploring the rich cultural heritage of Australia and the wider world. Whether you're a student, a local resident, or a visitor to Canberra, there's something for everyone at the Kambri Cultural Centre.

## LOCATION

Australian Capital Territory (ACT) is known for its leafy suburbs, wide-open spaces, and beautiful scenery, Canberra offers a unique blend of history, culture, and modernity.

As the seat of government, Canberra is home to many national institutions, including the Australian Parliament House, the Australian War Memorial, and the National Gallery of Australia. Visitors can explore these world-class museums and galleries, as well as enjoy the beautiful parks and gardens that surround them.

Canberra also boasts a thriving food and wine scene, with a range of cafes, restaurants, and bars serving up delicious cuisine and local wines. The city is also a hub of outdoor activity, with ample opportunities for hiking, cycling, and exploring the surrounding nature reserves and parks.

Whether you're interested in history, culture, food, or outdoor adventure, Canberra has something for everyone. Come and discover this beautiful city for yourself!

#### Conference Co-ordinators

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Phone: 02 6292 9000  
Email: [conference@confco.com.au](mailto:conference@confco.com.au)

#### ALGA

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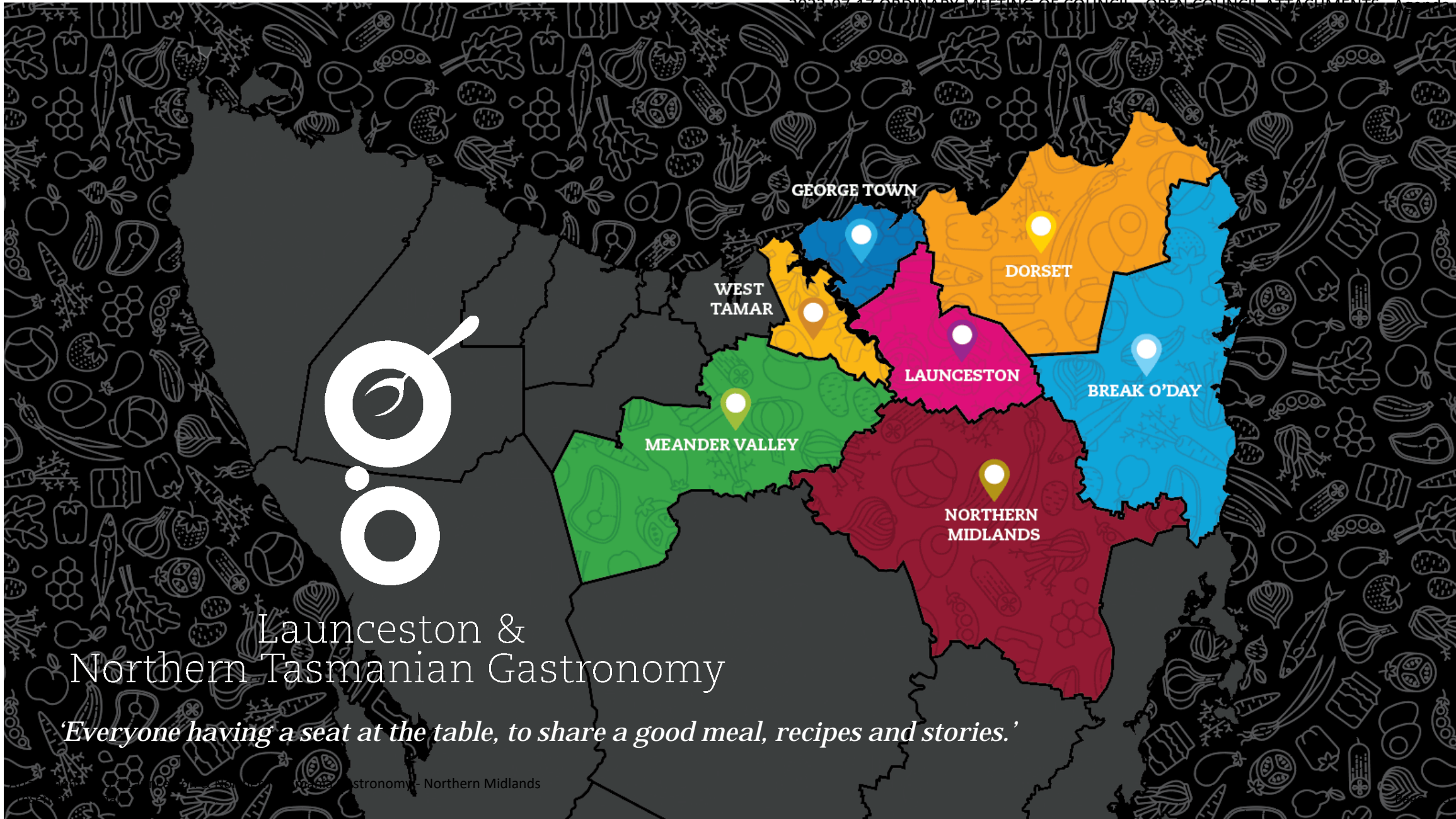
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# Launceston & Northern Tasmanian Gastronomy

*'Everyone having a seat at the table, to share a good meal, recipes and stories.'*



**2** ZERO HUNGER

**3** GOOD HEALTH AND WELL-BEING

**9** INDUSTRY, INNOVATION AND INFRASTRUCTURE

**11** SUSTAINABLE CITIES AND COMMUNITIES

**12** RESPONSIBLE CONSUMPTION AND PRODUCTION

**17** PARTNERSHIPS FOR THE GOALS

# Gastronomic Strengths of Northern Tasmania

- Natural environment – latitude, cool climate, soil, water, and scenery
- People and communities with their knowledge, skills, enterprise, and authenticity
- Diversity of produce and product
- Access and geographical proximity between communities
- Emerging innovations, trying new ways, use of technology
- Emerging Agri-Tourism offerings



# Agri-tourism in Northern Midlands

## Accommodation and experience

- Brickendon: Longford
- Chatsworth & Cressy House Estate: Longford
- The Granary at Richmond Hill: Cressy
- The Eleanor and Woolmers Estate: Longford
- Vaucluse Estate: Conara
- Panshanger: Longford
- Harland Rise: Evandale

## Food production and consumption

- Adams Distillery: Perth
- Launceston Distillery: Western Junction
- Longford Berries: Longford
- Bell and Gong Vineyard: Longford
- Somercotes Cherries: Ross
- Clarendon Arms: Evandale





Food businesses drawing people into regional towns with their offering



Utilising local produce as a point of difference & creating events



Tourism icons draw visitors to towns who patronise food establishments



Skills development in regional High Schools

# Building Trade Connections



- Main Stage, Macao,
- INSET Vivien Zhao, Tasmanian Trade Advocate (Shanghai), Craig Wills, Executive Chef (Stillwater), Chris Griffin L+NTG Board Member



- Craig Wills showcasing Northern Tasmanian fare in front of the Chinese media



# Food Resilience





• Image courtesy School Food Matters



• Campbell Town District High School

## Next 12 Months

- Working with businesses
- Continuing advocacy around food resilience
- Trade show with State Growth
- Training for Agri-tourism
- Gastronomy app



# Launceston & Northern Tasmanian Gastronomy



Launceston  
City of  
Gastronomy



**unesco**  
Member of  
the Creative Cities Network



## On the international stage: *showcasing our region and local produce*



*Craig Wills doing Northern Tasmania proud in front of a live international travel and gastronomy audience of 27,000 at Macao, China 3 July 2023*

**As a member of the UNESCO Creative Cities Network we receive invitations from other Cities of Gastronomy to meet and share insights into how to leverage our designation and grow awareness of the Sustainable Development Goals in our local region.**

The City of Macao invited Launceston and Northern Tasmania Gastronomy (L+NTG) to attend its International Trade and Gastronomy Expo and participate in a cooking demonstration of Tasmanian cuisine and produce and promote our region to international travel representatives and distributors. Macao has covered the travel and accommodation expenses for three people, one of which had to be a chef from our area.

Our delegation is being led by Chris Griffin, Launceston and Northern Tasmania Gastronomy board member. Our chef is Craig Wills, Executive Chef at Stillwater in Launceston. State Growth were also keen to support

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for updates!**

*If you would like to receive regular updates on what Launceston and Northern Tasmania Gastronomy just follow the link*





Top: The main stage at the Macao Gastronomy and Travel Expo, INSET: Vivien Zhao, Tasmanian Trade Advocate (Shanghai), Craig Wills, Executive Chef (Stillwater) and Chris Griffin, Launceston and Northern Tasmania Board Member.  
 Above : Craig Wills fronting the Chinese media pack and live streaming to an audience of 27,000.

attendance at Macao and so the third delegate is Vivien Zhao, Tasmanian Trade Advocate from Shanghai.

State Growth see the venture as a 'test case'. How much more successful could we be if we leverage an existing international network of gastronomy cities and regions in areas where we already have trade linkages?

Craig is part of the 'cook and taste' session and created two dishes – one with lamb and the other with salmon as the 'hero products'. The event was live streamed to 27,000 people in China providing huge exposure for our region as a source of quality food products

and a visitation destination. From the gastronomy and travel expo in Macao the team will go to Hong Kong for an event with distributors where Craig will again create dishes featuring our local produce to increase awareness and distribution into the Hong Kong market.

Both events are showcasing our region for its gastronomic excellence. When the delegation returns there will be learnings and insights into the economic potential of exposing our agricultural produce to a willing international gastronomy network and local distributors.



## Gastronomy ‘table talks’ around our region

During March and April Launceston and Northern Tasmania Gastronomy held a series of ‘discussion tables’ in the six regional council areas of Northern Midlands, George Town, Meander Valley, West Tamar, Dorset and Break O’Day. Themes and insights from the discussions are informing our ongoing work, including our new website development and social media campaigns.

Around the region we heard some common themes: each area has different aspects of gastronomy they want amplified and there is an opportunity tell the stories that highlight the strengths of each area’s producers and makers, and work with. Some recent Council and L+NTG partnerships include:

### George Town: measurements that matter



Kristen Desmond is GeorgeTown’s Director of Organisational Performance, Strategy and Engagement. Following the George Town discussion she started exploring with us how the municipality might leverage the gastronomy designation brand through work being done in the local food system and food security space by local primary producers, businesses and community groups. L+NTG is working with Kristen to develop content George Town can use to promote the SDGs from a Gastronomy perspective.

Kristen wants to demonstrate how current work in diversifying the local economy, improving liveability, and furthering the gastronomy brand can be used to increase visitation to the George Town area. In building the gastronomic offerings of the area, there is also the opportunity to promote investment in both commercial and community activities like the municipality’s community gardens.

Kristen sees the following Sustainable Development Goals as ones George Town could leverage and play a role in telling the stories and learnings of change:



Above:  
Kristen Desmond, George Town’s Director of Organisational Performance, Strategy and Engagement

Kristen is also exploring how Goal 3: Health and Well-being can be used to promote programs like ‘Healthy George Town’ and the associated impact on liveability, health and well-being outcomes of the community. You can read more about gastronomy and the Sustainable Development Goals on our website.

## West Tamar: a gastronomic map for the region

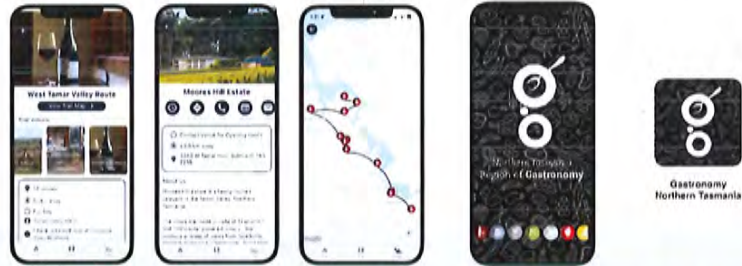


Above: Claudia Vinson, Executive Officer (Director) Tamar Valley Wine Route

A guiding principle of L+NTG's work is that we do not seek to duplicate work that is being done, but support other organisations, advocate and collaborate to build on our regional strengths.

Many regions of gastronomy around the world have developed 'gastronomic maps' highlighting access to gastronomic experiences from farms through to fermenters for visitors and locals. The Tamar Valley Wine Route is a local, well established visitor guide and 'map' to the region but as the greater region has become known for its other beverage and food offerings, it makes sense to extend the guide.

Following the Gastronomy Table session in West Tamar and follow up conversations with Claudia Vinson, a collaboration with L+NTG in developing an extended gastronomy branded regional wine and food map for the entire northern region seemed a natural next step. Together we are currently exploring how an online gastronomy map could work across the region.



## Dorset: helping spread the word: the 'RECYCLOPAEDIA'



Sarah Forsyth, Executive Officer at Dorset Council provided copies of 'Recyclopaedia – The A-Z Guide to Waste and Recycling in Dorset' brochure for Launceston and Northern Tasmania Gastronomy to hand out at the Healthy Dorset Expo in Scottsdale this May. 60 service providers and 250 people came through the door and we got to talk to most of them.

The must-read 'Recyclopaedia' explains everything you need to know about what you can and can't recycle, kerbside waste, waste transfer stations, donating and composting in the Dorset municipality. It's essential reading for anyone who wants to do the right thing!

Along with 'Recyclopaedia' we handed out 200 crunchy local apples and also ran a competition where attendees had to correctly answer a question about 'gastronomy'. Congratulations to our three winners! Many thanks to Scott Tomkins from Health Consumers Tasmania for organising the event and Sarah Forsyth from Dorset Council for her generous assistance.

Left: Sarah Forsyth, Executive Officer at Dorset Council with the new, must read Dorset 'Recyclopaedia' and below: images from our stand at the Dorset Health Expo





## The No. 1 issue across the region: Food Resilience



In the Gastronomy Tables we talked with community gardeners, neighbourhood houses, people working in education, with School Food Matter's, and the School Lunch Program. While each part of the region has unique gastronomic offerings and concerns, a consistent message that came up is that many residents regularly experience food insecurity.

The issue affects our entire community. Poor nutrition contributes to poor long term health outcomes and with our children, their ability to learn and thrive. While there are many organisations working in this space, cost of living pressures mean the issue is not going away anytime soon.

We need a regional solution. Some of the ways that Gastronomy Northern Tasmania are looking to support those already working in the space is to explore additional ways to encourage cooking skills, community gardening skills, and different models and ways of building food resilience.

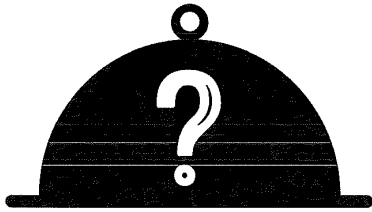
## Creating awareness, building regional pride – and our reputation as region of gastronomy



When visitors and returning locals arrive at Launceston Airport and go through the security walkway at the top of the stairs, instead of being greeted by a 'blank wall' there's now a big sign that says 'Welcome to Launceston and Northern Tasmania Gastronomy'. (You can also see this big welcome if you are sitting in the upstairs departure area).

There's been lots of positive feedback because we know that our point of difference to other regions of the state is our gastronomy – and now others will know this as well. We are grateful for the partnership with the Launceston Airport assisting us in amplifying the message.

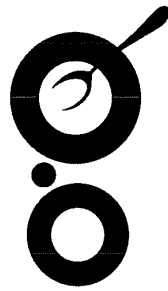
## The search is on: What's our Signature Dish?



With our UNESCO designation has come international exposure of our rich food growing region and food culture. Many other food regions around the world have a signature dish so a question that has come up is: *'What's our signature dish?'*

We posed this question to each of the 'gastronomy tables' and the responses were vastly different and amazingly mouth-watering! **So the search is on.** What's your local seasonal produce you use in your seasonal signature dish? What dish would you like your local area to be famous for? Is there a dish that could 'fly the food flag' for the entire region? Our Signature Dish Campaign will seek to answer these questions – and more with help from communities in our region.

*Keep your eye on our website for more information!*



Launceston &  
Northern Tasmanian Gastronomy

[www.cityofgastronomy.com.au](http://www.cityofgastronomy.com.au)

*The City of Gastronomy designation belongs to the entire region. All seven Councils were part of the bid in 2021 for a very simple reason: our rich agricultural northern region is integral to our gastronomy reputation. It is the many growers, artisans and producers, cellar doors and distilleries as well as the cafes, chef's and restaurants who make our region's gastronomy something to be proud of. We are a Region of Gastronomy!*



**EXEMPT TEMPORARY BUILDINGS OR WORKS (INCLUDING SHIPPING CONTAINERS)**

**Originated Date:** 16 April 2018, minute reference 92/18

**Amended Date/s:** Amended 24 October 2022 – Min. No. 22/347

**Applicable Legislation:** Northern Midlands Council Interim Planning Scheme 2013 **Tasmanian Planning Scheme – Northern Midlands**  
*Land Use Planning & Approvals Act 1993*

**Objective** To regulate a time period for developers to place a temporary building on premises under the exemption in the *Northern Midlands Council Interim Planning Scheme 2013* **Tasmanian Planning Scheme – Northern Midlands**

**Administration:** Community and Development

**Review Cycle/Date:** Every 2 years. Next review **2025** 2024 or the commencement of a new planning scheme, whichever occurs first.

**1. BACKGROUND**

The following is exempt from requiring a permit under *the Northern Midlands Council Interim Planning Scheme 2013* the **Tasmanian Planning Scheme – Northern Midlands** clause 5.3.3 **4.3.5:**

*The erection of temporary buildings or works to facilitate development for which a permit has been granted or for which no permit is required provided they are not occupied for residential use and are removed within 14 days of completion of development.*

	<i>Use or Development</i>	<i>Requirements</i>
4.3.5	<i>temporary buildings or works</i>	<i>If:</i> (a) <i>to facilitate development for which a permit has been granted or for which no permit is required or for an occasional use that is exempt under this clause;</i> (b) <i>not occupied for Residential use; and</i> (c) <i>removed within 14 days of completion of development or occasional use.</i>

A temporary building to be used by a developer may therefore be placed on a site that is to be developed in accordance with a planning permit, or in accordance with the no permit required/exemption criteria of the planning scheme.

**2. PURPOSE AND APPLICATION**

The purpose of this policy is to stipulate a timeframe for a temporary building to be placed on land prior to a development commencing - to ensure temporary buildings are not left on land for prolonged periods, as well as regulating the location of the temporary building.

A person must make a written application to the General Manager to place a temporary building on a premises before development commences. The application must include a site plan to scale showing the intended location of the temporary building and the date that the development is to commence. The temporary building must not be placed on site without written approval from the General Manager regarding the location of the temporary building.

**3. REASONABLE TIME**

A temporary building can be placed on premises no more than 3 months prior to the work commencing in accordance with (clause 5.6.1 of the *Northern Midlands Council Interim Planning Scheme 2013*) **clause 4.3.5 of the Tasmanian Planning Scheme – Northern Midlands.**

**4 LOCATION AND USE**

A temporary building must be located in an unobtrusive location, and must not be used for any other purpose, such as advertising. In determining whether a location is 'obtrusive', consideration must be given to the proximity of the temporary building to the street and public viewpoints, site constraints, the location of future buildings and structures and whether the site is within an area of any heritage significance.

**5. REMOVAL**

If a temporary building has been on a premises more than 3 months prior to work commencing, Council will commence enforcement action under the *Land Use Planning & Approvals Act 1993* for its removal. ~~That~~The temporary building must be removed upon **within 14 days of the** issue of the certificate of completion **for the development, being issued.**

**6. REVIEW**

This policy is due for review every two years.