

Rosemary Jones

From: Jennifer Jarvis <
Sent: Friday, August 18, 2023 12:29 PM
To: NMC Planning <planning@nmc.tas.gov.au>
Subject: Urgent Attention of the Planning Department

Your reference – PLN-23-0085 – 7A William Street & East Street Campbell Town.

Dear Planning Department,

Please see below and attached TasRail correspondence with Council Planning in relation to the proposed subdivision as per the above reference.

I note TasRail has not received any follow-up correspondence from Council since our emails of 17 June 2023 – nor have we had any contact from Woolcott Surveys.

However, a random search of the NMC website today identified a planning application for PLN-23-0085 open for public comment, but with a closing date of today – 18 August 2023.

Can you please advise why TasRail has not been notified, why TasRail was not sent the hydrology report that we requested in my email of June 17 2023 and no detail of the NMC plans to improve existing open drainage. From a very quick review of the documents, we note the proposal still appears to include headwalls discharging into the rail corridor; and we also note the commentary in the documents that there are no impacts predicted for the railway line.

In light of the above, and given TasRail has not had time to appropriately read the documents it has only just discovered, can you please provide us with an extension of time to ensure we can consider review the information?

Kind regards

Jennifer Jarvis



Group Manager Property and Compliance | Property

11 Techno Park Drive, Kings Meadows, Tasmania, 7249

'Tasmania's trusted provider of safe and dependable rail logistics solutions'



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PLANNING APPLICATION Proposal

Description of proposal:

New Classroom and associated outbuilding, new sports court and relocation of cricket nets.

.....
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.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: Campbell Town District High School, Bridge Street, Campbell Town TAS 7210

.....
.....

CT no:

Estimated cost of project \$ 1.3M *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes / No
If yes – main building is used as Educational.....

If variation to Planning Scheme provisions requested, justification to be provided:

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

Is any signage required? No
(if yes, provide details)

PROPERTY ID: **6201022**
PROPERTY ADDRESS: **CAMPBELL TOWN DIST HIGH SCHOOL**
106-116 BRIDGE STREET
CAMPBELL TOWN TAS 7210
CONSTRUCTION YEAR:



PREMIUM PROPERTY Information Report

PROPERTY DETAILS - 106-116 BRIDGE ST CAMPBELL TOWN

Property Name:	CAMPBELL TOWN DIST HIGH SCHOOL	
Land Use:	Community Services - SCHOOL-PRIMARY,SECOND-PUBLIC (valuation purposes only)	
Improvements:	SPORTS GROUND & GYM	
Improvement Sizes (Top 3 by Size):	Improvement:	Area:
	GYMNASIUM	550.0 square metres
	CHANGEROOMS	186.0 square metres
	OVAL	
Number of Bedrooms:		
Construction Year of Main Building:		
Roof Material:	Roof Decking	
Wall Material:	Metal Cladding	
Land Area:	2.3584 hectares	
Title References:		
Municipality:	NORTHERN MIDLANDS View Municipality Information Report	
Title owner:		
Interested parties:	DEPARTMENT OF EDUCATION	
Postal address: (Interested Parties)	GPO BOX 169 HOBART TAS 7001	

OWNERSHIP HISTORY - 106-116 BRIDGE ST CAMPBELL TOWN

TYPE	NAME	ADDRESS	FROM	TO
Crown Land Administration	DEPARTMENT OF EDUCATION	GPO BOX 169 HOBART TAS 7001	08/03/1994	
Ownership	DEPARTMENT OF EDUCATION	GPO BOX 169 HOBART TAS 7001	30/06/1985	
Ownership	CROWN	CAMPBELL TOWN DIST HIGH SCHOOL 106-116 BRIDGE STREET CAMPBELL TOWN TAS 7210	01/07/1982	30/06/1985

SALES STATISTICS - (Community Services - SCHOOL-PRIMARY,SECOND-PUBLIC) - CAMPBELL TOWN (Last 12 Months)

Number of Sales:	0
Highest Sales Price:	
Median Sales Price:	
Mean Sales Price:	
Lowest Sales Price:	

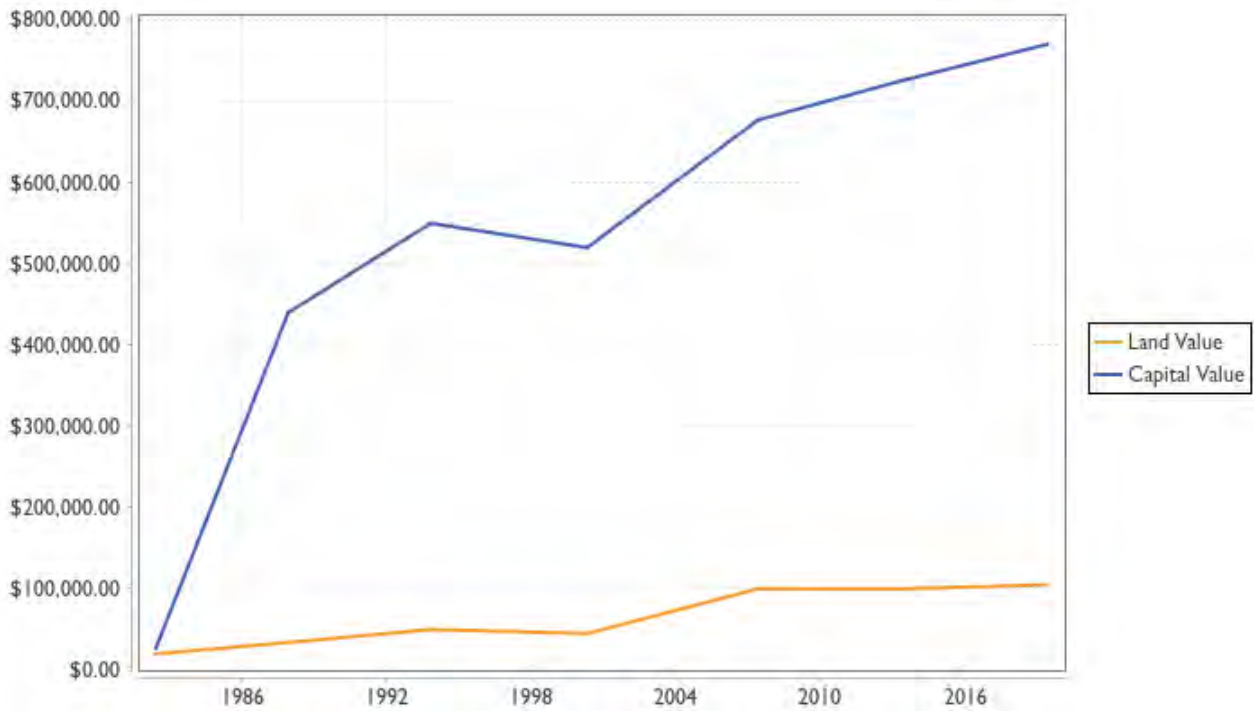
PREMIUM PROPERTY Information Report

LAST 5 SALES - (Community Services) - CAMPBELL TOWN [View in LISTmap](#)

ADDRESS	CONTRACT DATE	SALE PRICE
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PROPERTY VALUATIONS - 106-116 BRIDGE ST CAMPBELL TOWN

DATE INSPECTED	LEVELS AT	LAND	CAPITAL	AAV	REASON
27/03/2019	01/07/2018	\$105,000	\$770,000	\$30,800	FRESH VALUATION
08/08/2012	01/07/2012	\$100,000	\$725,000	\$29,000	REVALUATION
22/03/2007	01/10/2006	\$100,000	\$677,000	\$27,080	REVALUATION
03/02/2000	01/10/1999	\$45,000	\$520,000	\$20,800	REVALUATION
01/07/1993	01/07/1994	\$50,000	\$550,000	\$22,000	REVAL 94
23/09/1987	01/07/1988	\$34,000	\$440,000	\$17,600	REVAL 88
19/02/1982	01/07/1983	\$20,000	\$27,000	\$1,080	REVAL'82



PREMIUM PROPERTY Information Report

AERIAL IMAGERY



PREMIUM PROPERTY Information Report

Explanation of Terms

Property ID	A unique number used for Valuation purposes.
Date Inspected	The date the property was inspected for the valuation.
Levels At	Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.
Land Value	Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.
Capital Value	Capital Value is the total value of the property (including the land value), excluding plant and machinery.
AAV	Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.
Interested Parties	This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).
Postal Address	This is the last advised postal address for the interested parties.
Multiple Tenancies	Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.
Similar Criteria	Properties in the same locality with a Capital Value within a range of 10% of the property.

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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Department for Education, Children and Young People

FACILITY SERVICES CAPITAL WORKS

Letitia House, Olinda Grove, MOUNT NELSON TAS 7210
GPO Box 169, HOBART TAS 7001
Telephone: (03) 6165 6253
Email: capital.works@decyp.tas.gov.au



DOC/23/86061

7 June 2023

Mr Des Jennings
General Manager
Northern Midlands Council
PO Box 156
LONGFORD TAS 7301

Dear Mr Jennings

Campbell Town District High School – Agricultural Upgrade

Section 52 (1B) of the *Land Use Planning and Approvals Act 1993* requires an “owner’s declaration” to be completed to enable a Development Application to be considered by Council.

The Minister administering the *Education Act 2016* has delegated this responsibility to me.

Accordingly, my written permission for the Campbell Town District High School – Agricultural Upgrade is hereby given.

I also hereby provide my written permission for Paul Cockburn of HBV Architects to act as agent in relation to all required permit applications for the proposed redevelopment.

Yours sincerely

A handwritten signature in black ink, appearing to be "MH", followed by a long horizontal flourish.

Min Harman
Manager Capital Works

Minister for Education, Children & Youth
Minister for State Growth
Minister for Skills, Training & Workforce Growth
Minister for Environment
Minister for Aboriginal Affairs

Level 9 15 Murray Street HOBART TAS 7000 Australia
 GPO Box 123 HOBART TAS 7001 Australia
 Ph: +61 3 6165 7670
 Email: minister.jaensch@dpac.tas.gov.au



LAND USE PLANNING AND APPROVALS ACT 1993
INSTRUMENT OF DELEGATION

I, **Hon Roger Jaensch MP**, being and as the Minister for Education, Children and Youth acting pursuant to section 52(1F) of the *Land Use Planning and Approvals Act 1993* ("the Act"), hereby:

- Delegate the functions described (by reference to the relevant provision of the Act and generally) in the below Schedule to the persons holding the following offices in the Department of Education:
 - o Director, Facility Services (position number 971277)
 - o Capital Works Manager, Facility Services (position number 971943)

SCHEDULE

Provision	Description of functions
Section 52(1B)	Signing and providing written permission for the making of, applications for permits in relation to Crown land (being Crown land within the meaning of the <i>Crown Lands Act 1976</i> for which I, as Minister, am responsible for administering).

Dated this ^{3rd} day of March 2022

Hon Roger Jaensch MP
Minister for Education, Children and Youth

Minister for Education, Children & Youth
 Minister for State Growth
 Minister for Skills, Training & Workforce Growth
 Minister for Environment
 Minister for Aboriginal Affairs

Level 9 15 Murray Street HOBART TAS 7000 Australia
 GPO Box 123 HOBART TAS 7001 Australia
 Ph: +61 3 6165 7670
 Email: minister:jaensch@dpac.tas.gov.au



INSTRUMENT OF DELEGATION

I, *Hon Roger Jaensch MP*, being and as the Minister for Education, Children and Youth acting pursuant to sections 140 and 142 (2) of the *Education Act 2016* and section 71A (1 and 2) of the *Crown Lands Act 1976*, hereby:

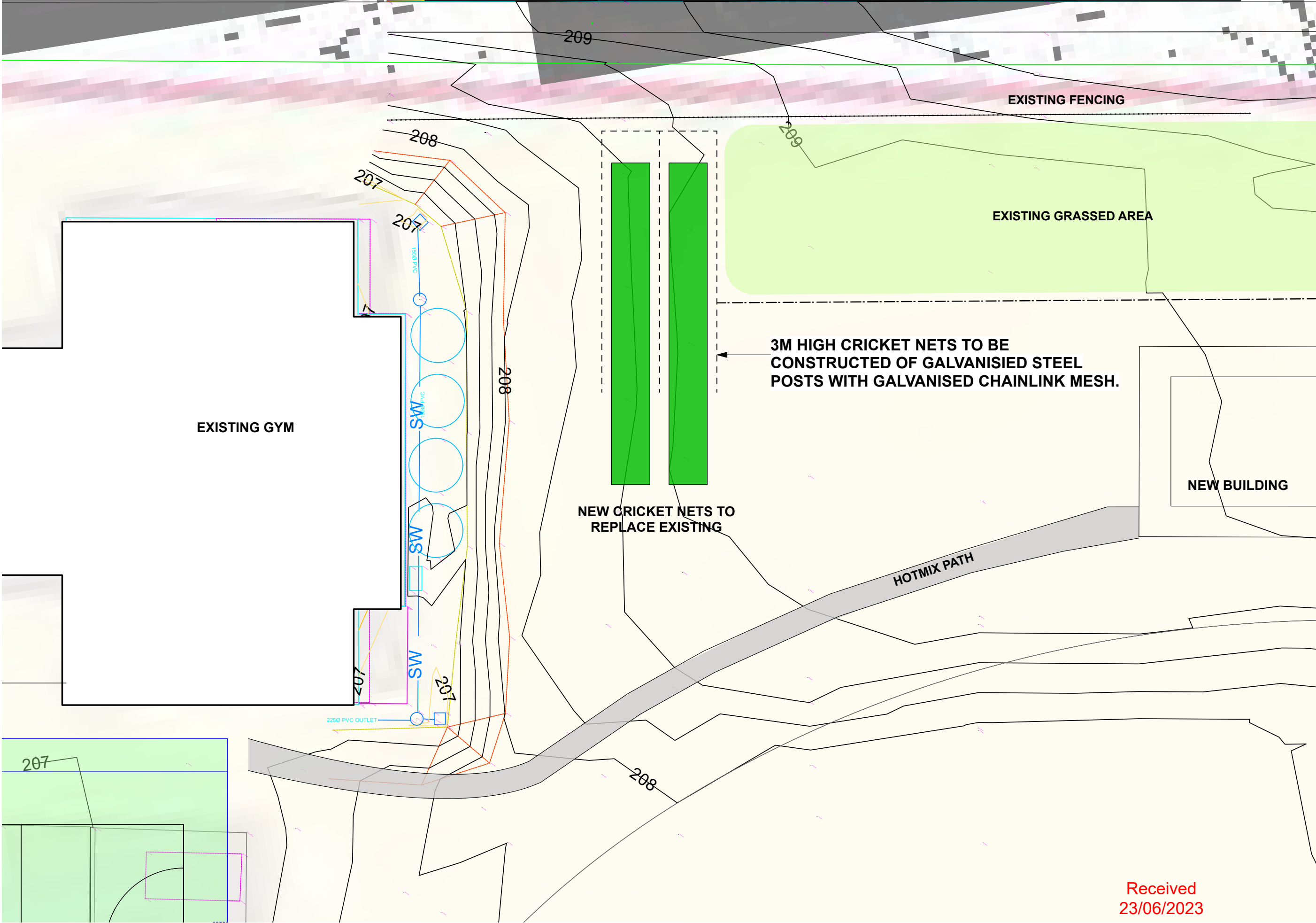
- Delegate the functions described (by reference to the relevant provisions of the Acts and generally) in the below Schedule to the persons holding the following offices in the Department of Education:
 - o Director, Facility Services (position number 971277)

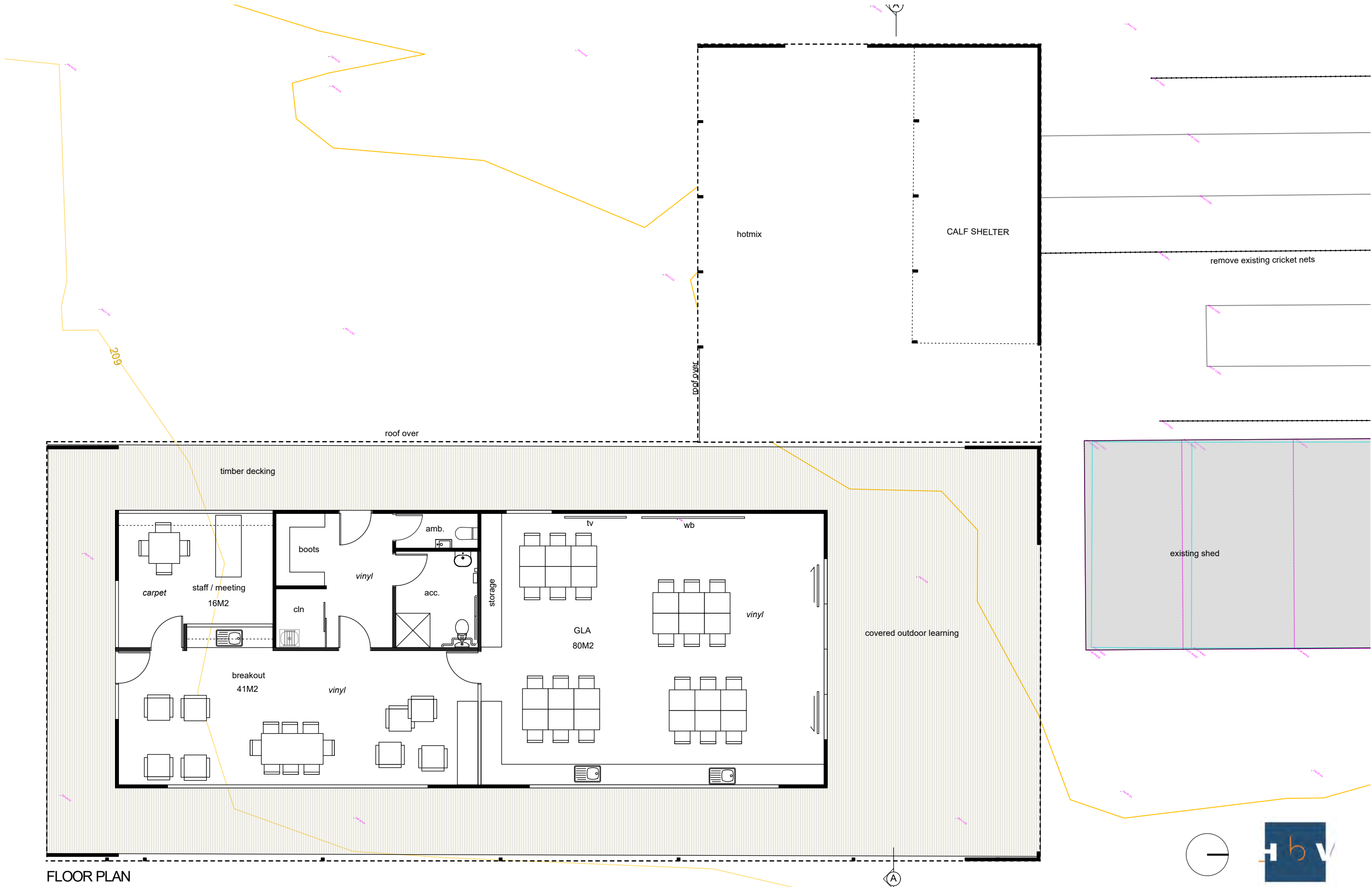
SCHEDULE

Act and Provision	Description of functions
<i>Education Act 2016</i> , section 140 and 142 (2)	<ul style="list-style-type: none"> a) the lease or licence for an external organisation to use departmental property for educational purposes. b) the lease or licence in of external property for educational purposes.
<i>Crown Lands Act 1976</i> , section 71A (1 and 2)	<ul style="list-style-type: none"> • authority to authorise property leases, licence and instruments in relation the Department's use of properties not owned by the Department. On the condition that legal documentation must be approved by Facility Services or the Office of the Crown Solicitor. Treasurer's Instruction FC-19 places limitations on this delegation. • The Director Facility Services is the relevant officer to have the delegated authority to sign leasing contracts and licencing agreements of Departmental and non-Departmental properties on your behalf.

Dated this *3rd* day of March 2022

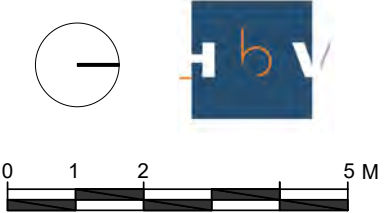

 Hon Roger Jaensch MP
 Minister for Education, Children and Youth



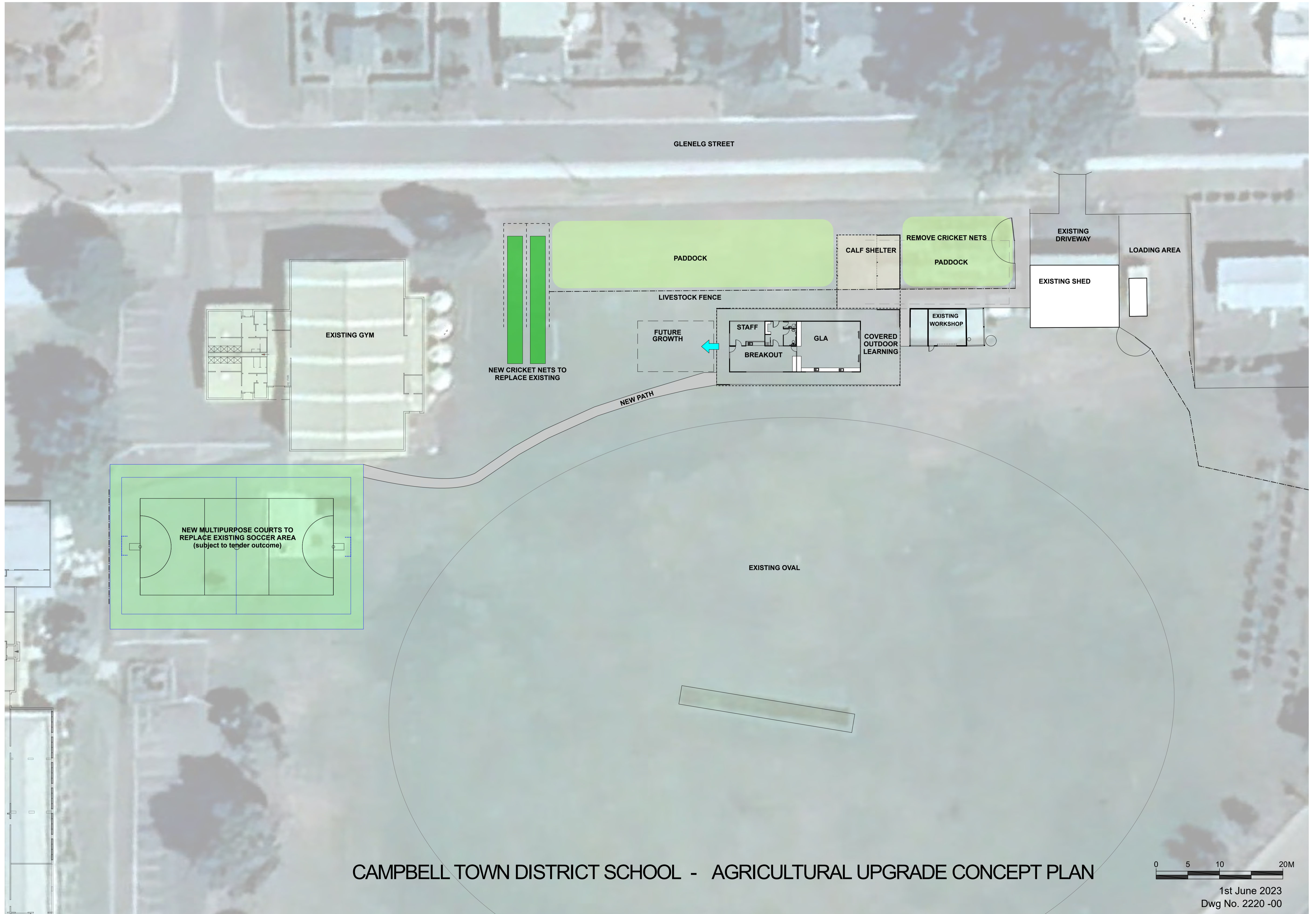


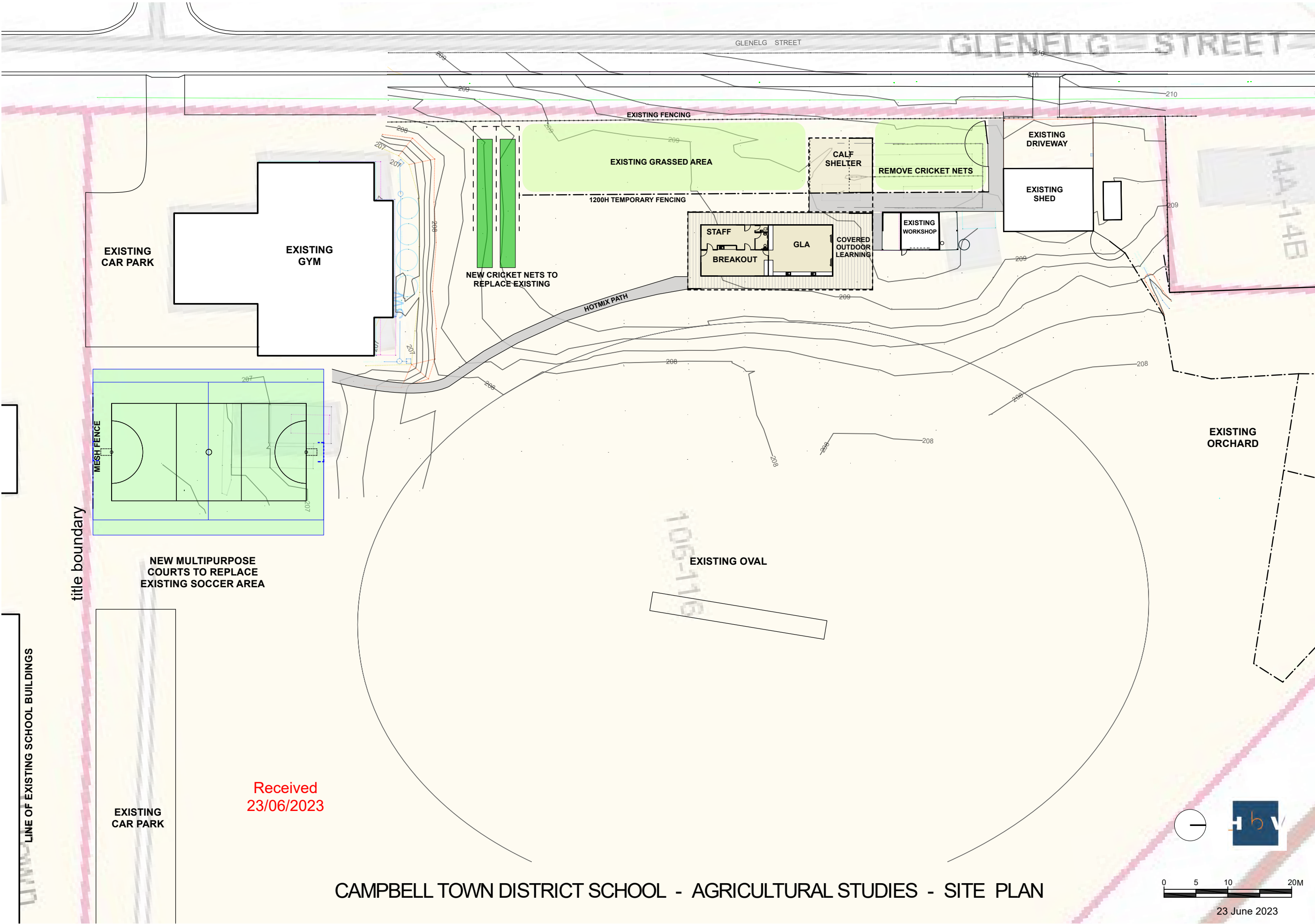
FLOOR PLAN

CAMPBELL TOWN DISTRICT SCHOOL - AGRICULTURAL STUDIES BUILDING



1st June 2023
Dwg No. 2220-01





27.4.3 Fencing

P1

A fence (including a free-standing wall) within 4.5m of a frontage must:

- (a) provide for security and privacy while allowing for passive surveillance of the road; and

FENCING IS CHAINLINK AND ONLY TO BE INSTALLED FOR THE PURPOSE OF CRICKET TRAINING.

- (b) be compatible with the streetscape, having regard to:

- (i) its height, design, location and extent;

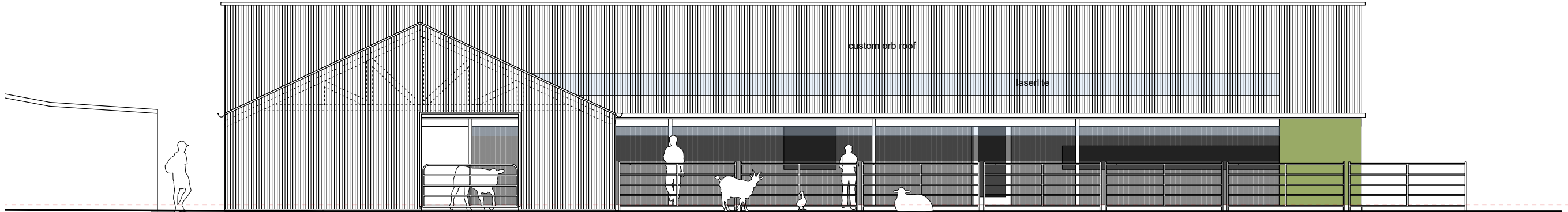
THE PROPOSED CRICKET NETS FENCING IS APPROXIMATELY 3M HIGH CONSTRUCTED OF CHAINLINK MESH AND DUE TO IT SERVING A DIFFERENT PURPOSE, THAT IS IT ONLY IS BEING PROPOSED FOR SPORTS ACTIVITIES, HAS NO RELATIONSHIP WITH EXISTING FENCES IN THE STREET. THE CRICKET NETS FENCING IS SET BACK 1.2M FROM THE EXISTING STEEL FENCE THAT RUNS ALONG GLENELG STREET (WHICH IS APPROXIMATELY 2.5M FROM THE SITE BOUNDARY) AND HAS A 7M FRONTAGE TO GLENELG STREET. FROM A STREETSCAPE PERSPECTIVE THE PROPOSED FENCE WILL NOT BE VIEWED AS A BOUNDARY FENCE BUT RATHER AN OBJECT WITHIN THE SPORTS PRECINCT OF THE SCHOOL.

- (ii) the topography of the site; and

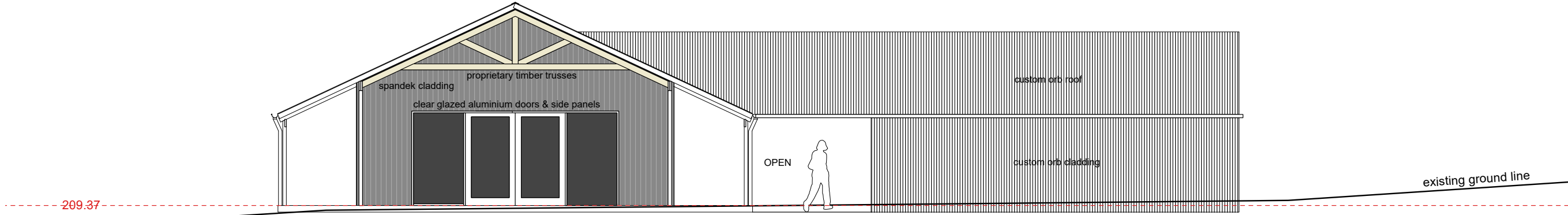
AS THIS PART OFF THE SCHOOL SITE IS USED FOR SPORTS, IT IS RELATIVELY FLAT AND FOLLOWS THE LEVEL OF GLENELG STREET.

- (iii) traffic volumes on the adjoining road.

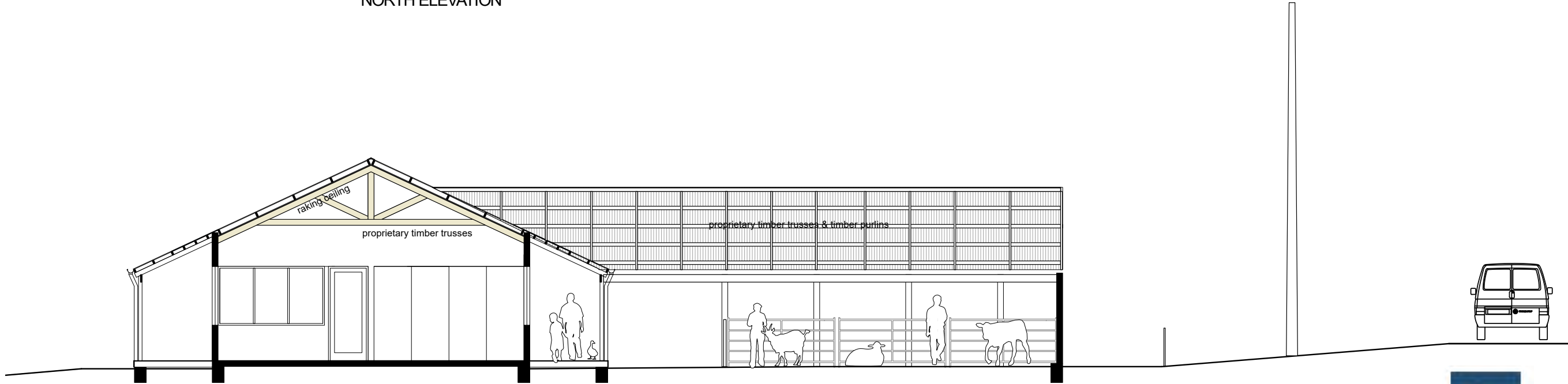
GLENELG STREET HAS VERY SMALL TRAFFIC VOLUMES.



WEST ELEVATION



NORTH ELEVATION

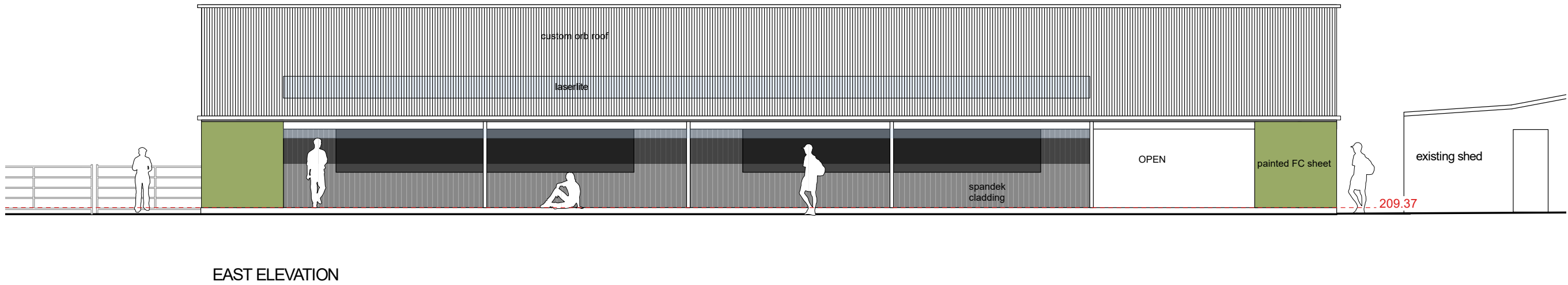
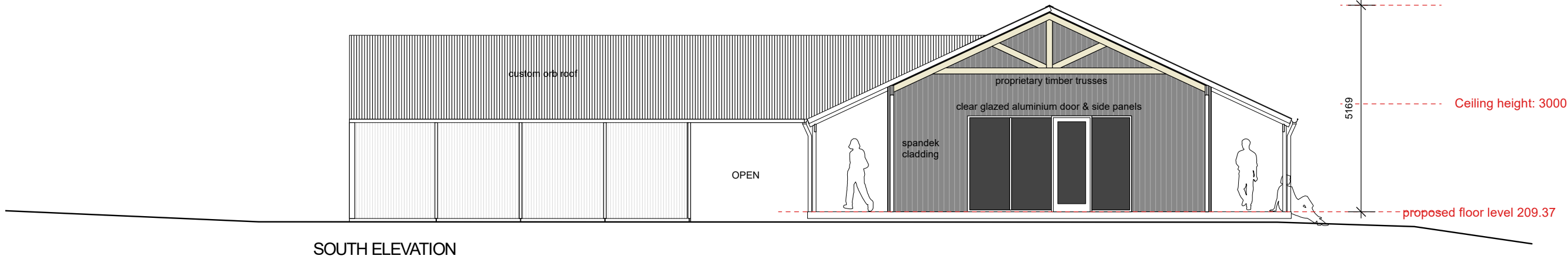


SECTION AA

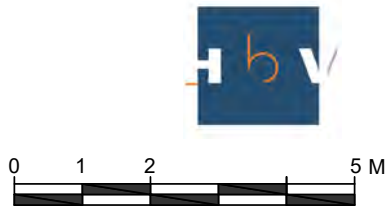


CAMPBELL TOWN DISTRICT SCHOOL - AGRICULTURAL STUDIES BUILDING

1st June 2023
Dwg No. 2220-03



CAMPBELL TOWN DISTRICT SCHOOL - AGRICULTURAL STUDIES BUILDING



1st June 2023
Dwg No. 2220-02

Our ref: PLN-23-0106

22/06/2023



Paul Cockburn
PO Box 645
LAUNCESTON 7250
By email: paul@hbvarchitects.com.au

Dear Paul,

Additional Information Required for Planning Application PLN-23-0106
New Classroom & Associated Outbuilding, Sports Court & Relocation of Cricket Nets at 106-116 Bridge Street, Campbell Town

Thank you for your application. The following additional information is required.

- Plans submitted are unclear whether any works (part of the new sports court) are proposed within the boundaries of 118 Bridge Street. Please confirm by way of an amended site plan, indicating boundary of PID6201022.
- The proposal is reliant upon a performance criteria in relation to the proposed cricket nets (Clause 27.4.3 Fencing P1), provide details of the proposed cricket nets including materials, colour and height of nets, and provide a written response to the performance criteria.

This information is required under section 54 of the *Land Use Planning and Approvals Act 1993*. In accordance with section 54 (2) of the Act, the statutory period for determining the application will not recommence until the requested information has been satisfactorily supplied.

Please send any emails to planning@nmc.tas.gov.au including the reference **PLN-23-0106**.

If you have any questions, please contact me on 6397 7303, or e-mail planning@nmc.tas.gov.au

Yours sincerely

A handwritten signature in black ink that reads "Rebecca Green".

Rebecca Green
Planning Consultant



Request for Additional Information

For Planning Authority Notice

Council Planning Permit No.	PLN-23-0106	Application date	30/06/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00845-NMC	Date of response	6/07/2023
TasWater Contact	Robert Stapleton	Phone No.	0417279866
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	106-116 BRIDGE ST, CAMPBELL TOWN	Property ID (PID)	6201022
Description of development	New Classroom & Associated	Stage No.	
Additional information required			
<p>Additional information is required to process your request. To enable assessment to continue please submit the following:</p> <ol style="list-style-type: none"> <p>TasWater records indicate a DN80mm water main is located in the vicinity of the proposed Multipurpose Courts. (refer to attached TasWater Infrastructure Plan). Section 56W of the <i>Water and Sewerage Industry Act 2008</i> prohibits the construction of a prescribed structure, or any addition or removal of any soil, rock or other matter that supports, protects or covers any works of the regulated entity without consent. Please submit amended plans which show the following:</p> <ol style="list-style-type: none"> The exact location of the DN80mm diameter water main accurately dimensioned on the plans relative to both the boundaries and the proposed courts. A note added on the plan stating how the pipe was located (e.g. TasWater infrastructure located on site by private contractor/registered surveyor etc.). A preliminary long section over the top of the DN80mm diameter water main outlining the existing and proposed surface levels relative to the pipe. Advice: Minimum cover above the pipe shall be no less than 450mm. Any fencing surrounding the proposed courts. Advice: TasWater will not permit a fence constructed of a material other than masonry or concrete, higher than 2.1 metres within 2m of water infrastructure. <p>Please provide additional detail/documentation of the proposed surfacing and structure of the proposed court. Advice: In the future TasWater may need to access the water main underneath the courts to undertake pipe repair or replacement. This will require excavation within the court. Will this work damage the court and make it unusable? Will there be any structural components (eg footings/piers) proposed to be built to stabilise the court?</p> <p>Please provide a concept servicing plan for water & sewer services for the agricultural building which shows the following:</p> <ol style="list-style-type: none"> The exact location and size of the existing property water & sewer connection(s). How it is intended to plumb the proposed building. Any water & sewer connection(s) to be made redundant. 			



Advice			
<p>Service Locations</p> <p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <p>A copy of the GIS is included in email with this notice and should aid in updating of the documentation. The location of this infrastructure as shown on the GIS is indicative only.</p> <ul style="list-style-type: none"> • A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater • TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies • Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council. <p>To view our assets, all you need to do is follow these steps:</p> <ol style="list-style-type: none"> 1) Open up webpage - http://maps.thelist.tas.gov.au/listmap/app/list/map 2) Click ‘Layers’ 3) Click ‘Add Layer’ 4) Scroll down to ‘Infrastructure and Utilities’ in the Manage Layers window, then add the appropriate layers. 5) Search for property 6) Click on the asset to reveal its properties 			
TASWATER CONTACT DETAILS			
Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		



Infrastructure Plan - TWDA 2023/00845-NMC - 106-116 BRIDGE ST,
CAMPBELL TOWN

6/7/2023



TasWater Infrastructure

- Water Reticulation Main
- R Stormwater Rising Main
- Stormwater Gravity Reticulation Main
- P Sewer Pressure Reticulation Main
- R - Sewer Rising Main
- Sewer Gravity Reticulation Main
- Recycled Water Distribution Main

Private Infrastructure

- Water Mains - Private
- Stormwater Gravity Mains - Private
- Sewer Pressurised Mains - Private
- Sewer Gravity Mains - Private
- Recycled Water Mains - Private

Abandoned Infrastructure

- Water Abandoned Line
- Sewer Abandoned Line
- Recycled Water Abandoned Line

NOTE:

The representation of the TasWater assets shown on this map was derived from data supplied by TasWater. TasWater makes no representation as to the accuracy or completeness of the assets shown on this map.

1: 1,479



SAFETY IN DESIGN REPORT PER WHS REGULATIONS

The following risks which are unique to this design have been identified:	NL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



GENERAL

WORK HEALTH & SAFETY NOTICE:

JMG HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. JMG REMIND CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS. THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNUSUAL TO THIS PROJECT: CUTTING, HANDLING AND DISPOSAL OF ASBESTOS MATERIAL.

UNLESS SPECIFIED OTHERWISE BY DOCUMENTATION SPECIFIC TO THIS PROJECT ALL DIMENSIONS, MATERIALS, WORKMANSHIP ETC SHALL COMPLY WITH DSG STANDARD CONTRACT DOCUMENTS AND SPECIFICATIONS (R SERIES) AND IPWEA SUBDIVISION STANDARD DRAWINGS (INCLUDING THE AUTHORITIES LISTED DEPARTURES FROM THE IPWEA STANDARD DRAWINGS) VERSION 3 ISSUED DECEMBER 2020.

ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS HAVE BEEN PLOTTED. THE LOCATION OF THESE SERVICES IS APPROXIMATE ONLY AND NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR SHALL CONFIRM ON SITE PRIOR TO THE START OF WORKS THE LOCATION OF ALL SERVICES WITH THE RELEVANT AUTHORITY.

THE CONTRACTOR MUST POTHOLE ALL EXISTING SERVICES AT PROPOSED CROSSING POINTS WITH NEW SERVICES, STRUCTURES AND WHERE UNDER REDUCED FINISHED SURFACE LEVELS PRIOR TO THE COMMENCEMENT OF WORKS TO DETERMINE IF THE EXISTING OR PROPOSED SERVICE WILL BE ADVERSELY AFFECTED BY CLASH OR REDUCED MINIMUM COVER. THE CONTRACTOR MUST POTHOLE EXISTING SERVICES AT ALL PROPOSED CONNECTION POINTS FOR NEW SERVICES TO CONFIRM THAT MINIMUM COVER AND OR GRADIENT FOR THE NEW SERVICE WILL BE ACHIEVED. WHERE A CONFLICT WITH AN EXISTING OR PROPOSED SERVICE IS IDENTIFIED THE CONTRACTOR SHALL SEEK DIRECTION FROM THE SUPERINTENDENT. NO CLAIM FOR VARIATION OR EXTENSION OF TIME WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO UNDERTAKE THIS INVESTIGATION, AT A SUFFICIENT TIME PRIOR TO THE INSTALLATION WORKS, TO ALLOW ANY REDESIGN TO OCCUR.

PRIOR TO THE COMMENCEMENT OF SITE WORKS THE CONTRACTOR SHALL PREPARE, SUBMIT AND GAIN APPROVAL FROM THE RELEVANT COUNCIL FOR A SOIL AND WATER MANAGEMENT PLAN FOR THE CONSTRUCTION WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL REQUIRED PROTECTION MEASURES FOR THE DURATION OF THE CONTRACT AND UNTIL NEW VEGETATION IS FULLY ESTABLISHED.

ALL SITE WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE ENVIRONMENTAL CONDITIONS OF THE PLANNING PERMIT. ALL CONSTRUCTION EQUIPMENT ENTERING AND LEAVING THE SITE SHALL BE WASHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EPA.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL PEDESTRIAN AND TRAFFIC MANAGEMENT DEVICES TO COMPLY WITH AUSTRROADS FOR THE DURATION OF THE WORKS.

THE CONTRACTOR SHALL PREPARE IN ELECTRONIC (.DWG) FORMAT "AS CONSTRUCTED" DRAWINGS TO THE SATISFACTION OF JMG, COUNCIL MUNICIPAL ENGINEER AND/OR TASWATER SHOWING THE AS INSTALLED LOCATION OF ALL ABOVE AND BELOW GROUND WORKS. CONFIRMATION OF APPROVAL, FROM THE RELEVANT AUTHORITIES, OF THE COMPLETED DRAWINGS SHALL BE SUBMITTED TO THE SUPERINTENDENT PRIOR TO THE ISSUING OF THE CERTIFICATE OF PRACTICAL COMPLETION.

ALL PIPEWORK (WATER, SEWER AND STORMWATER) PROFILE LEVELS ARE TO THE PIPE INVERT LEVEL. ALLOW ADDITIONAL TRENCHING DEPTH FOR BEDDING AS INDICATED ON THE TYPICAL DETAILS.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CONDITIONS OF THE PLANNING PERMIT, A COPY OF WHICH MUST BE KEPT ON SITE.

PROPRIETARY PRODUCTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

EARTHWORKS

DEMOLISH AND REMOVE ALL CONCRETE SLABS, KERBS, WALLS ETC. AS NOTED AND REQUIRED FOR THE CONSTRUCTION OF THE NOMINATED WORKS.

FOLLOWING DEMOLITION AND REMOVAL OF SLABS, KERBS ETC. AND STRIPPING OF THE SITE TO THE REQUIRED FORMATION LEVELS, GRADE SUB-GRADE TO A SMOOTH PROFILE AND CONSOLIDATE TO 98% MAXIMUM DRY DENSITY (AS 1289.5) PROOF ROLL IN THE PRESENCE OF THE CONSULTING ENGINEER USING A SINGLE AXLE RIGID TRUCK WITH A FULL LEGAL LIMIT LOAD, REMOVE ANY UNSUITABLE SOFT, WET OR HEAVING MATERIAL AS DIRECTED BY THE SUPERINTENDENT AND REPLACE WITH COMPACTED SELECT FILL IN LAYERS NOT EXCEEDING 200mm LOOSE TO ACHIEVE 98% STANDARD COMPACTION (AS1289.5).

ALL STRIPPED TOPSOIL SHALL BE STOCKPILED ON-SITE FOR RESPREADING ON BATTERS AND DISTURBED AREAS. ALL EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE AT THE CONTRACTORS COST UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT.

ANY IMPORTED FILL MATERIAL FOR UNDER ROADWAYS AND CARPARKS SHALL BE WELL GRADED WITH A MAXIMUM PARTICLE SIZE OF 75mm, 80% LESS THAN 20mm, HAVE A MINIMUM CBR VALUE OF 15% AND A PLASTICITY INDEX LESS THAN 12%. COMPACT TO A MINIMUM OF 95% STANDARD COMPACTION TO DSG SPECIFICATION R22 IN LAYERS NOT EXCEEDING 200mm LOOSE THICKNESS.

ALL EARTHWORKS INCLUDING EMBANKMENTS SHALL BE PREPARED AND CONSTRUCTED TO DSG SPECIFICATION R22 & R23

WHERE EMBANKMENT FILLS EXCEED 400mm IN HEIGHT ABOVE STRIPPED SURFACE LEVEL THE CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS FOR THE PLACED MATERIAL AT A RATE OF AT LEAST 1 PER 500M2 OR A MINIMUM OF 2 PER LAYER WHICHEVER IS THE GREATER UNLESS APPROVED OTHERWISE BY THE SUPERINTENDENT. EMBANKMENT COMPACTION SHALL BE IN ACCORDANCE WITH DSG SPECIFICATION R22 TABLE 22.3.

WHERE EMBANKMENTS ARE TO BE CONSTRUCTED ON NATURAL GROUND WITH SLOPES EXCEEDING 3 HORIZONTAL TO 1 VERTICAL (3:1) THE FOUNDATION SHALL BE CUT INTO HORIZONTAL BENCHES TO DSG SPECIFICATION R22.9.1 PRIOR TO THE COMMENCEMENT OF EMBANKMENT CONSTRUCTION.

DURING FORMATION WORKS THE CONTRACTOR SHALL ENSURE THAT ADEQUATE STEPS ARE TAKEN TO PROTECT THE SUBGRADE FROM WET WEATHER PRIOR TO THE PLACEMENT OF THE SUB-BASE. NO CLAIM WILL BE CONSIDERED AS A RESULT OF THE CONTRACTORS FAILURE TO PROTECT THE WORKS.

ROADWORKS

WHERE NEW WORKS ABUT EXISTING SAWCUT ALL INTERFACES TO NEAT STRAIGHT LINES AND RECTANGULAR SHAPES AND MAKE GOOD TO MATCH.

BACKFILL ALL TRENCHES AND EXCAVATIONS WITHIN VEHICLE PAVEMENTS FULL DEPTH WITH 20mm FINE CRUSHED ROCK CONSOLIDATED IN MAXIMUM 150 LAYERS TO 96% MODIFIED COMPACTION.

SUBMIT TO THE CONSULTING ENGINEER PRIOR TO THEIR USE MATERIAL PROPERTIES AND SOURCE FOR ALL ROAD MAKING MATERIALS. UNLESS NOTED OTHERWISE PAVEMENT MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF DSG SPECIFICATION R40 FOR BASE CLASS A AND SUB-BASE 1 MATERIALS.

EACH COMPLETED PAVEMENT LAYER SHALL BE COMPACTED TO A MINIMUM DDR OF 96% FOR SUB-BASE AND 98% FOR BASE COURSE AND PROOF ROLLED IN THE PRESENCE OF THE SUPERINTENDENT AND COUNCIL'S WORKS INSPECTOR WHERE REQUIRED USING A SINGLE AXLE RIGID TRUCK WITH A FULL LEGAL LIMIT LOAD.

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO DRAIN TO PITS, KERB AND GUTTER, V-DRAINS ETC.

HOTMIX AND PAVED SURFACES SHALL HAVE A BITUMEN EMULSION PRIME COAT APPLIED TO THE CLEAN SWEEP SURFACE OF THE BASE COURSE AT THE MINIMUM RATE OF 0.15 l/m² RESIDUAL BINDER. ASPHALT SHALL BE CUTBACK AND NOT FLUXED

CONCRETE COMPRESSIVE STRENGTH SHALL BE :

PAVEMENTS AND GRATED TRENCH - N32

PITS, & MINOR WORKS - N25.

WORKMANSHIP, MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH AS3600 AND THE ASSOCIATED CODES LISTED THEREIN AND THE SPECIFICATION.

GRADE AND ROLL MINIMUM 100 TOPSOIL TO ALL GRASSED AREAS AND PLANTERS. WHERE NECESSARY TO RAISE LEVELS, PLACE AND CONSOLIDATE GENERAL FILL FROM SITE BENEATH TOPSOIL. HYDROMULCH AND SEED DISTURBED AREAS WITH TYPE A SEED MIX TO DSG SPECIFICATION R70.

CONCRETE PAVEMENTS GENERAL

CONSTRUCT PAVEMENT BETWEEN NOMINATED LEVELS TO SMOOTH GRADES AND TRANSITION TO PITS, KERBS, V-DRAINS, EDGES ETC. THE MINIMUM GRADIENT OF ANY AREA ON THE PAVEMENT IS TO BE 1.0% (1:100). WHERE DISCREPANCIES EXIST ON THE DRAWINGS REFER TO SUPERINTENDENT FOR DIRECTION.

THE FINISHED SURFACE LEVEL OF ANY PAVEMENT ADJACENT TO BUILDINGS SHALL BE BELOW THE WALL DAMP PROOF COURSE AND SHALL NOT OBSCURE WEEP HOLES OR DRAINAGE OPENINGS. THE PAVEMENT SHALL GRADE AWAY FROM THE BUILDING.

INSTALL 2NO. N12 X 2100 LONG TRIMMER BARS AT 45DEG ACROSS ALL RE-ENTRANT CORNERS.

INSTALL CONTROL AND EXPANSION JOINTS AS SHOWN ON THE DRAWINGS.

INSTALL ISOLATION JOINTS AT ALL INTERFACES WITH EXISTING OR PROPOSED STRUCTURES.

ALL JOINT SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS.

TOLERANCES OF FINISHED SURFACES

MAXIMUM DEVIATION UNDER A 3M STRAIGHT EDGE = +/-10MM

MAXIMUM LEVEL DIFFERENCE FROM DESIGN LEVELS = +/-20MM

CONCRETE THICKNESS AND REINFORCEMENT LOCATION TO AS3600

CURE SURFACE FOR MINIMUM 7 DAYS AFTER PLACEMENT, CONTRACTOR TO SUBMIT TO THE SUPERINTENDENT FOR APPROVAL THE PROPOSED METHOD OF CURING PRIOR TO THE COMMENCEMENT OF PAVEMENT WORKS. PROTECT SURFACE FROM VEHICULAR TRAFFIC DURING CURING PERIOD.

PRIVATE SERVICES - PLUMBING

PLUMBING WORKS AS DEFINED BY THE DIRECTOR OF BUILDING CONTROL ARE TO BE UNDERTAKEN BY A LICENSED AND ACCREDITED PLUMBING PRACTITIONER. THE ACCREDITED PLUMBING PRACTITIONER IS TO LIAISE WITH THE LOCAL AUTHORITY AND ARRANGE A START WORK NOTICE, ALL MANDATORY INSPECTIONS, TESTING AND, PRACTICAL & FINAL COMPLETION CERTIFICATES.

ALL PLUMBING WILL BE IN ACCORDANCE WITH THE TASMANIAN PLUMBING REGULATIONS, AS3500, NATIONAL CONSTRUCTION CODE (AND ALL REFERENCED STANDARDS AND GUIDEBOOKS) AND TO THE LOCAL AUTHORITY APPROVAL

PIPEWORK LAYOUTS ARE DIAGRAMMATIC ONLY. CO-ORDINATE ALL SERVICES PRIOR TO INSTALLATION

SEWER PIPEWORK TO BE uPVC SCJ MINIMUM CLASS SN6

STORMWATER PIPEWORK TO BE uPVC SCJ MINIMUM CLASS SN4

ALL WATER SERVICE PIPEWORK SHALL TO BE PN12.5 PE100 OR COPPER TYPE B AND INSTALLED IN A uPVC SLEEVE WHERE UNDER DRIVEWAYS

FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER.

SURVEY CONTROL

SURVEY WAS COMPLETED BY SURVEY & ALIGNMENT SERVICES, DATE OF SURVEY 21/08/2022

CO-ORDINATES ARE PLANE BASED ON MGA94 & AHD.

REFER TO SURVEY & ALIGNMENT SERVICES FOR FURTHER SETOUT INFORMATION

CONTOUR INTERVAL IS 0.25m.

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DATA ACCURACY DISCLAIMER

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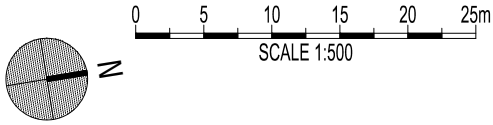
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PROJECT
**CAMPBELL TOWN DISTRICT
SCHOOL - AG BUILDING
106-116 BRIDGE STREET**

TITLE
**CIVIL SERVICES
GENERAL NOTE SHEET**

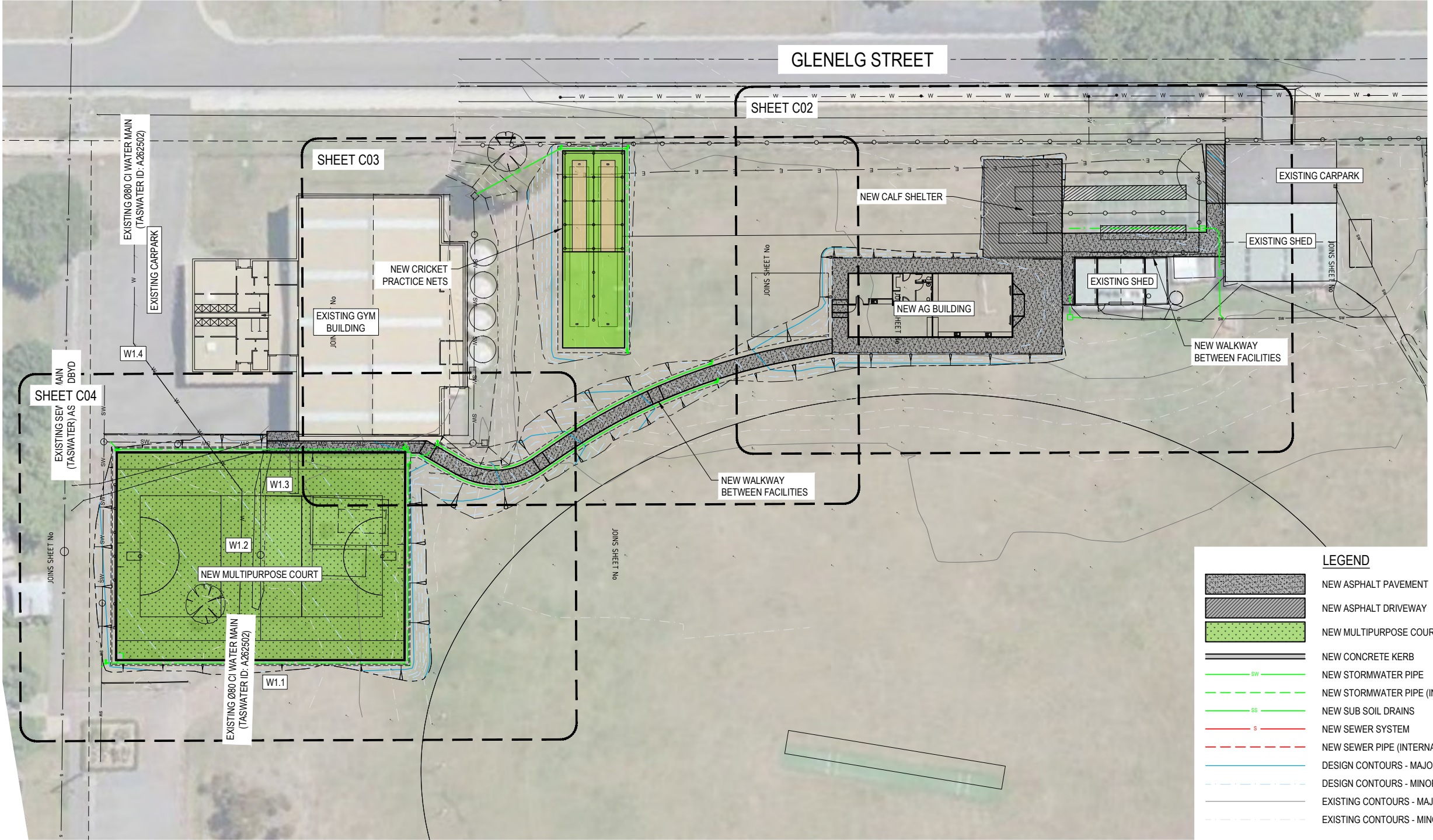
PROJECT NO.	220833LO	
DWG NO.	C00	REVISION P1
PLOT DETAILS	220833LO 3DMODEL.DWG	

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LEGEND

	NEW ASPHALT PAVEMENT
	NEW ASPHALT DRIVEWAY
	NEW MULTIPURPOSE COURT AREA
	NEW CONCRETE KERB
	NEW STORMWATER PIPE
	NEW STORMWATER PIPE (INTERNAL)
	NEW SUB SOIL DRAINS
	NEW SEWER SYSTEM
	NEW SEWER PIPE (INTERNAL)
	DESIGN CONTOURS - MAJOR 0.50m
	DESIGN CONTOURS - MINOR 0.10m
	EXISTING CONTOURS - MAJOR 1.0m
	EXISTING CONTOURS - MINOR 0.5m

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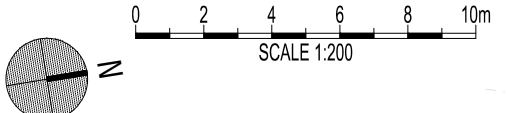
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PROJECT
 CAMPBELL TOWN DISTRICT
 SCHOOL - AG BUILDING
 106-116 BRIDGE STREET

TITLE
 CIVIL SERVICES
 SITE PLAN
 SHEET 1 OF 3

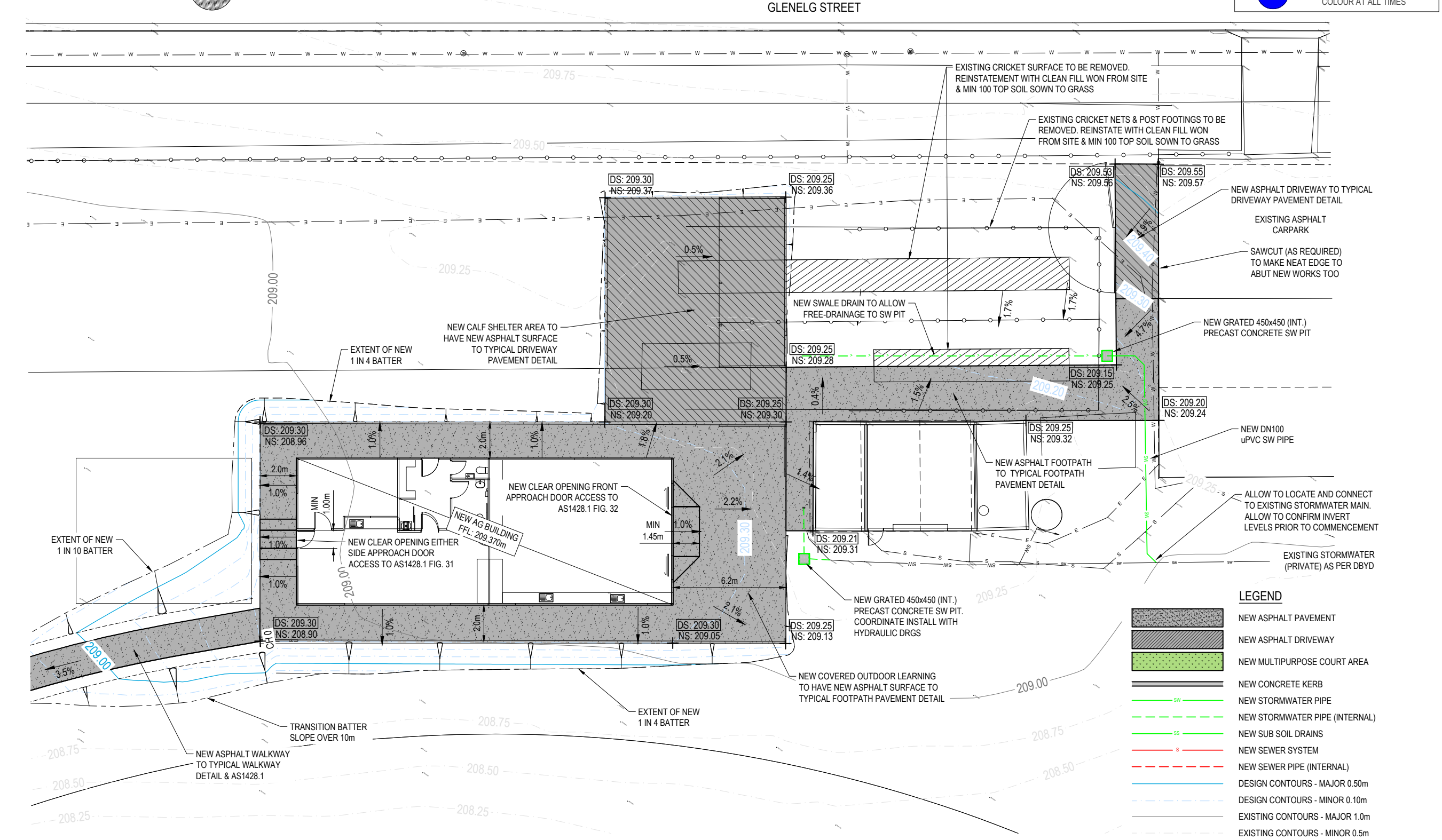
PROJECT NO.	220833LO
DWG NO.	C01
REVISION	P1
PLOT DETAILS	220833LO 3DMODEL.DWG

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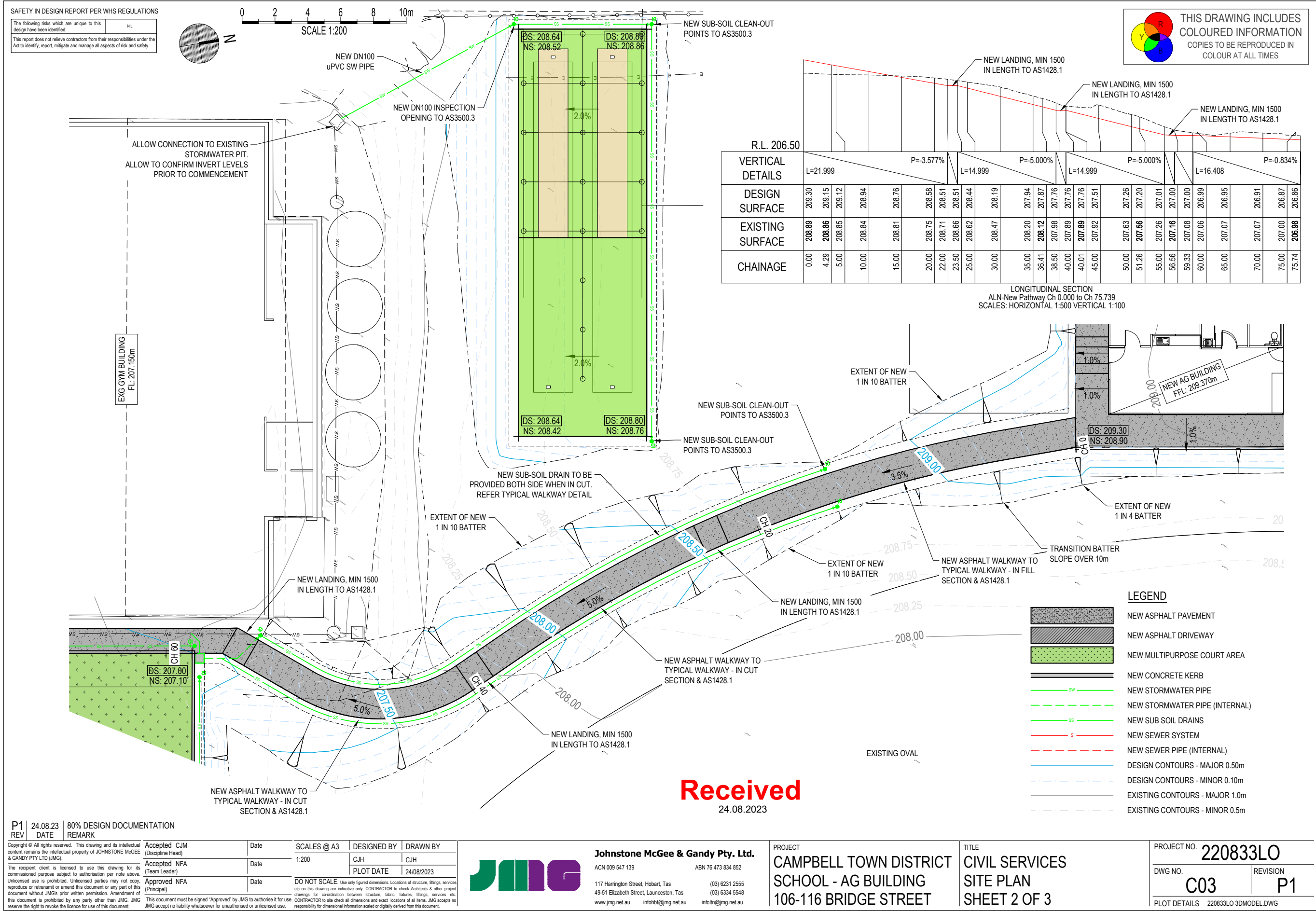
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PROJECT: CAMPBELL TOWN DISTRICT SCHOOL - AG BUILDING
106-116 BRIDGE STREET

TITLE: CIVIL SERVICES
SITE PLAN
SHEET 1 OF 3

Project identification table: PROJECT NO. 220833LO, DWG NO. C02, REVISION P1, PLOT DETAILS 220833LO 3DMODEL.DWG



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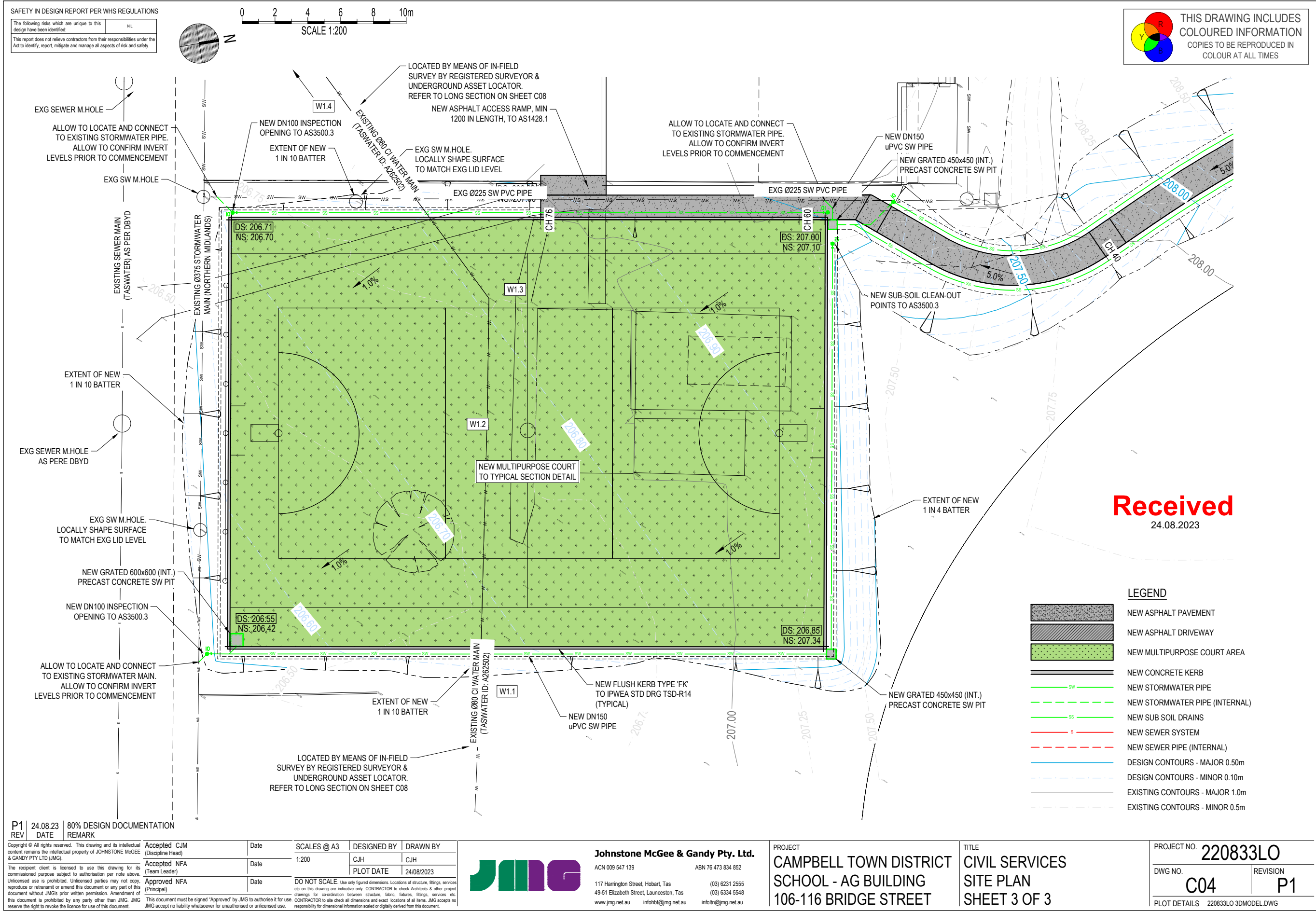


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PROJECT
CAMPBELL TOWN DISTRICT SCHOOL - AG BUILDING
 106-116 BRIDGE STREET

TITLE
CIVIL SERVICES SITE PLAN
 SHEET 2 OF 3

PROJECT NO.	220833LO	
DWG NO.	C03	REVISION P1
PLOT DETAILS	220833LO 3D MODEL.DWG	



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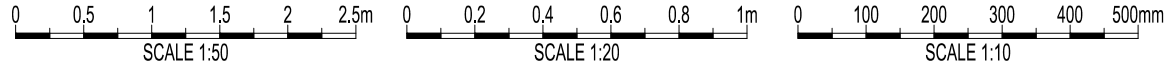
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PROJECT
CAMPBELL TOWN DISTRICT SCHOOL - AG BUILDING
 106-116 BRIDGE STREET

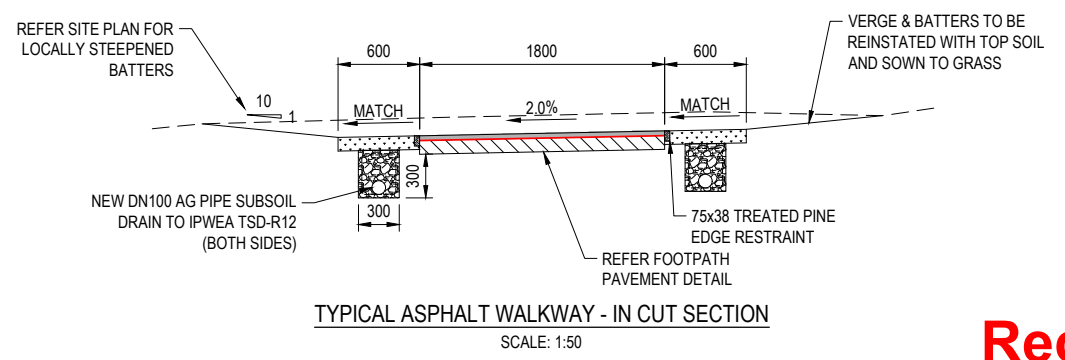
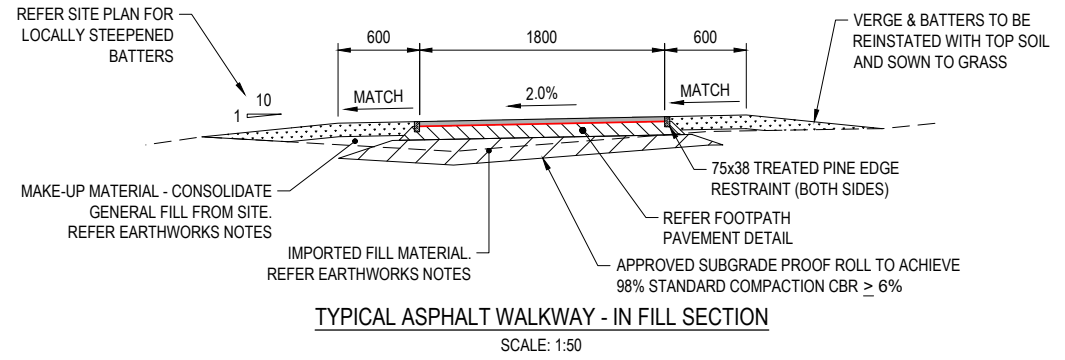
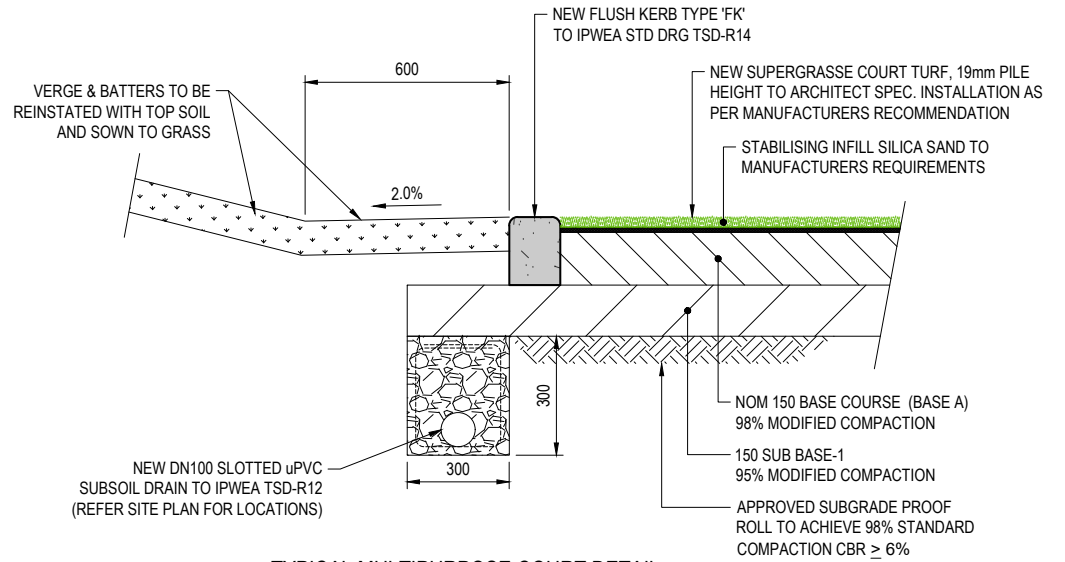
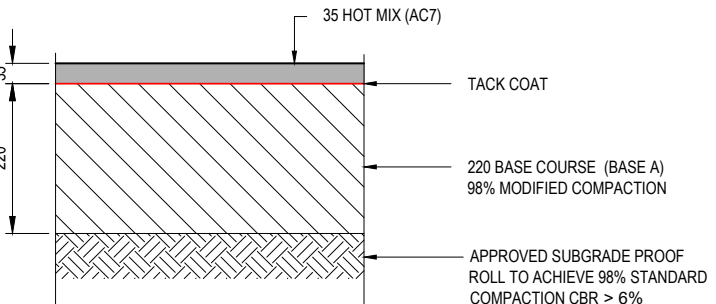
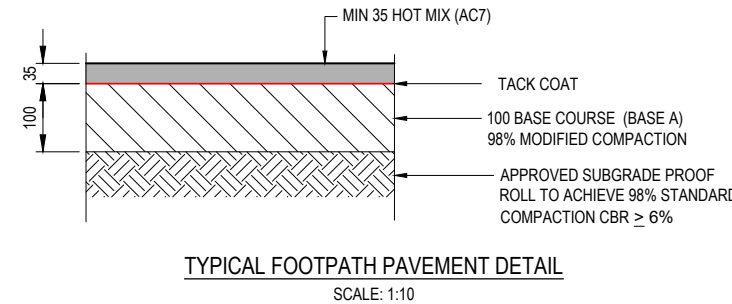
TITLE
CIVIL SERVICES SITE PLAN SHEET 3 OF 3

PROJECT NO.	220833LO	
DWG NO.	C04	REVISION P1
PLOT DETAILS	220833LO 3DMODEL.DWG	

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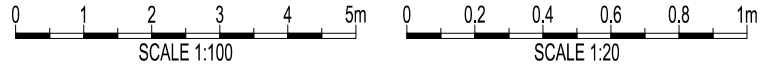
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PROJECT
CAMPBELL TOWN DISTRICT SCHOOL - AG BUILDING
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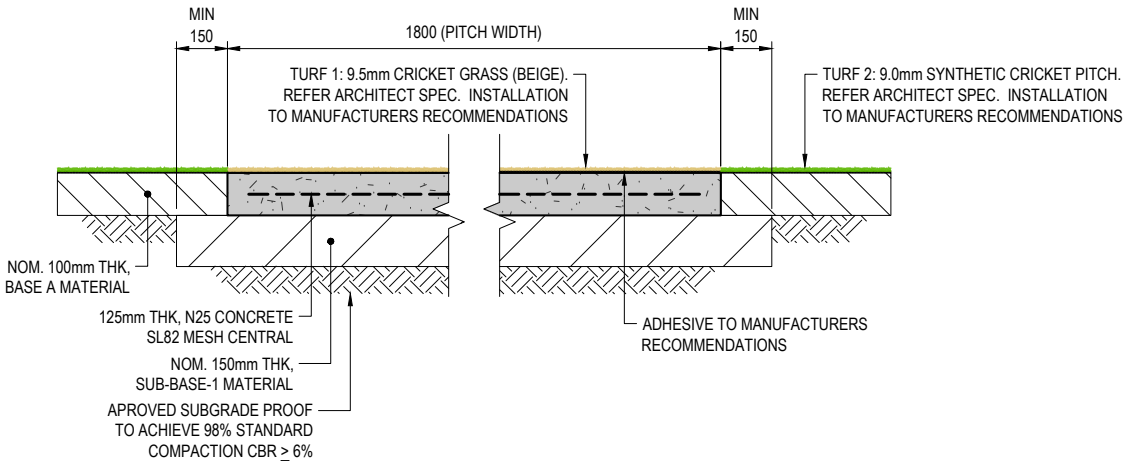
TITLE
CIVIL SERVICES DETAILED SECTIONS

PROJECT NO.	220833LO	
DWG NO.	C05	REVISION
		P1
PLOT DETAILS 220833LO 3DMODEL.DWG		

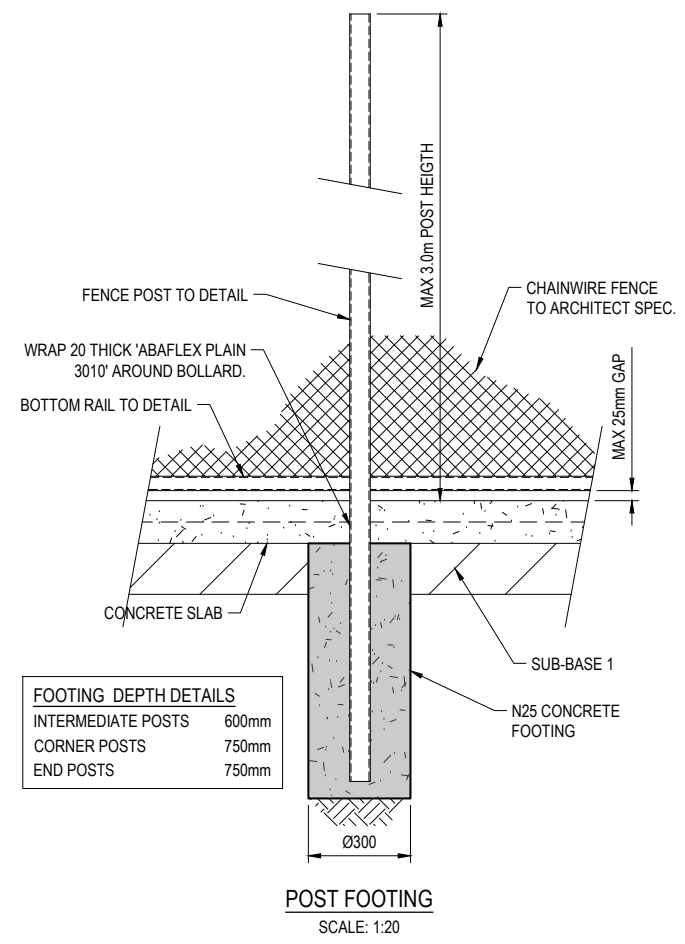
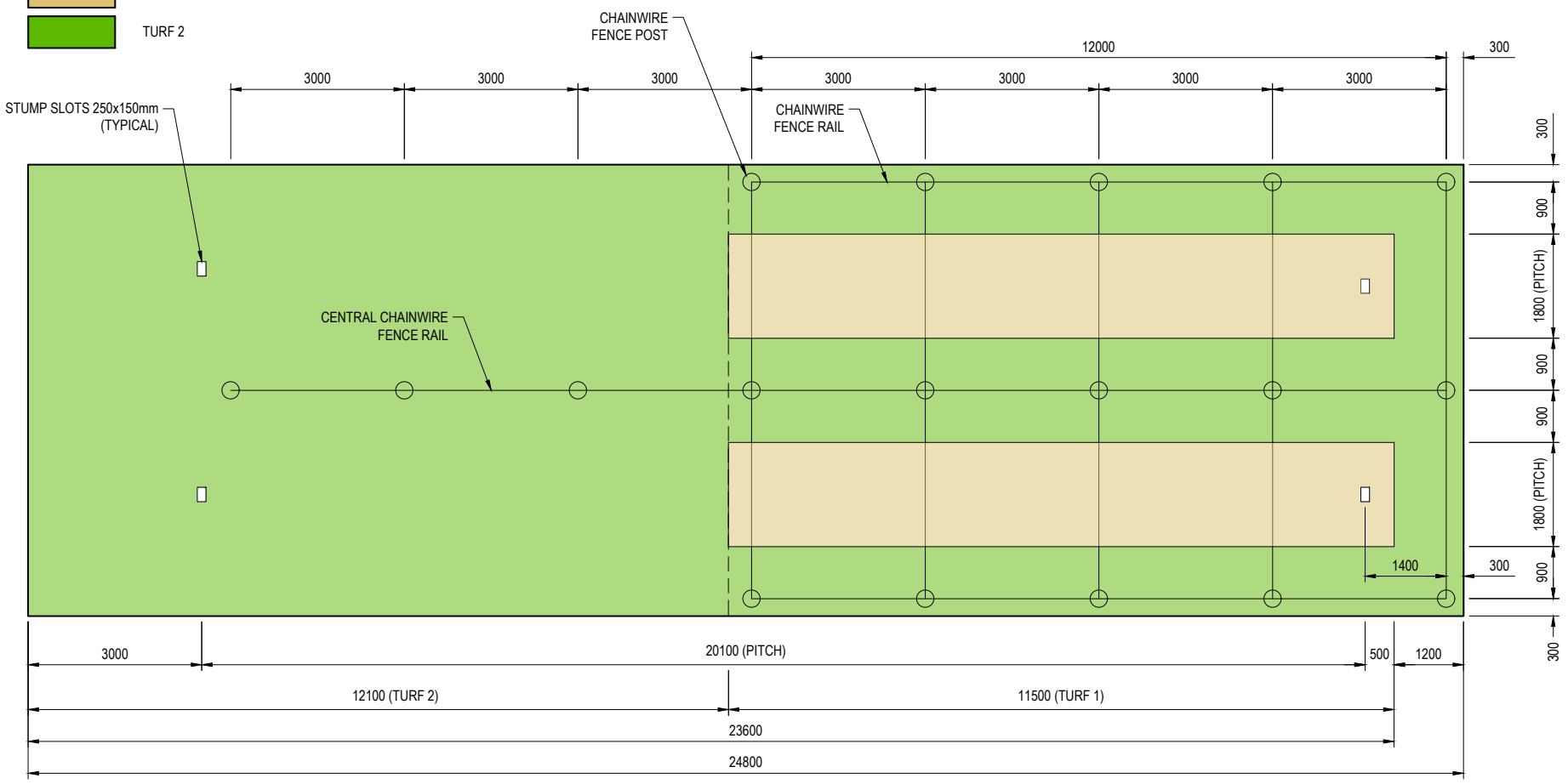
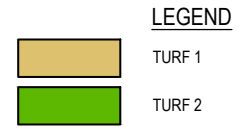
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POST AND RAIL DETAIL
 TOP, BOTTOM AND ROOF RAILS - 32N.B (42.40Dx3.2 CHS)
 INTERMEDIATE POSTS - 40N.B (48.30Dx3.2 CHS)
 CORNER POSTS - 50N.B (60.30Dx3.6 CHS)
 END POSTS - 50N.B (60.30Dx3.6 CHS)
 REFER TO ARCHITECT FOR FENCING FINISH SPECIFICATION



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PROJECT
CAMPBELL TOWN DISTRICT SCHOOL - AG BUILDING
 106-116 BRIDGE STREET

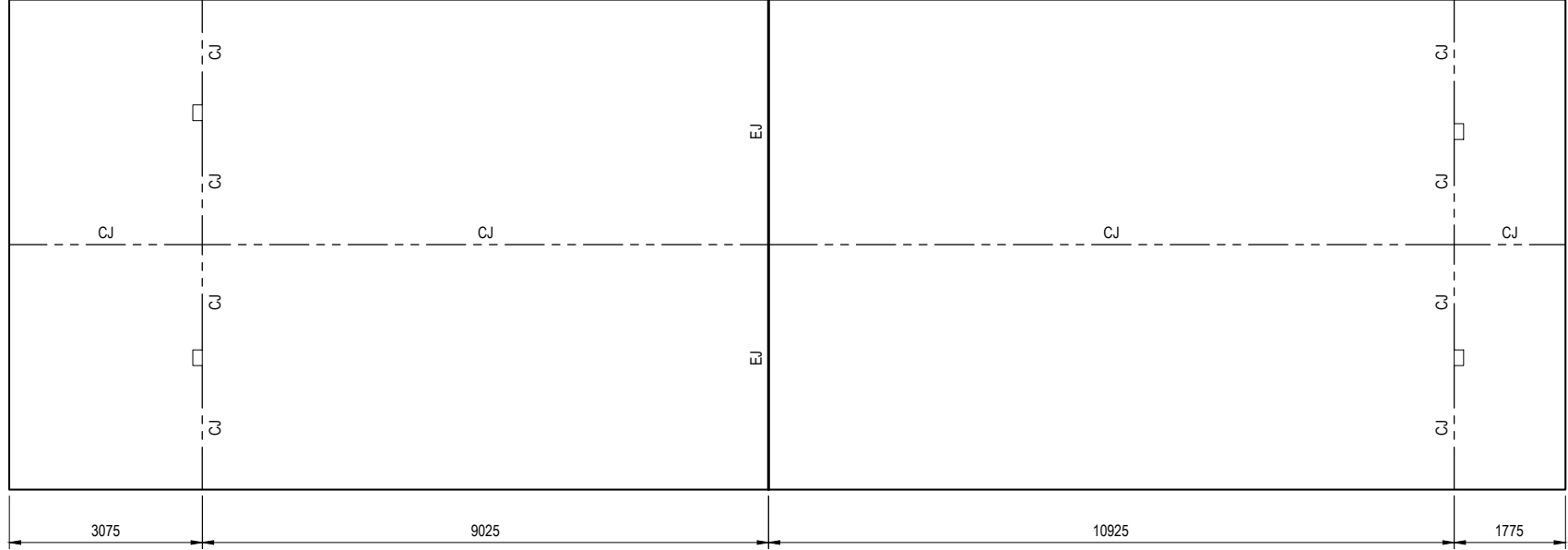
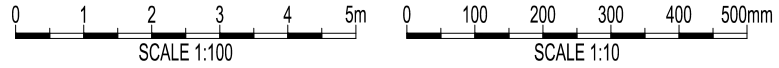
TITLE
CIVIL SERVICES
CRICKET PRACTICE NETS

PROJECT NO.	220833LO	
DWG NO.	C06	REVISION P1
PLOT DETAILS	220833LO 3DMODEL.DWG	

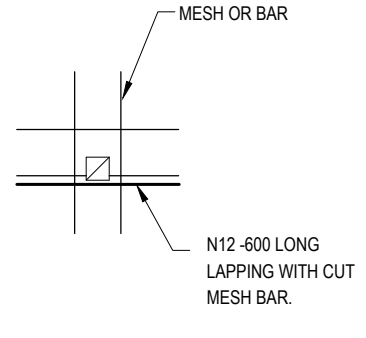
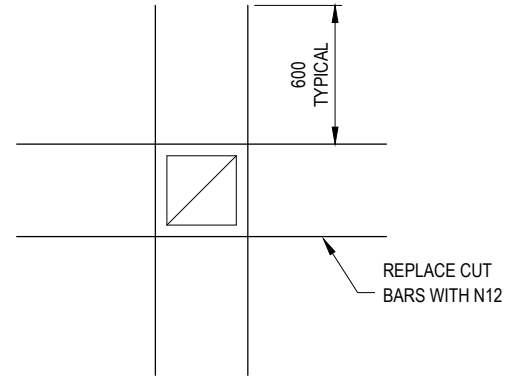
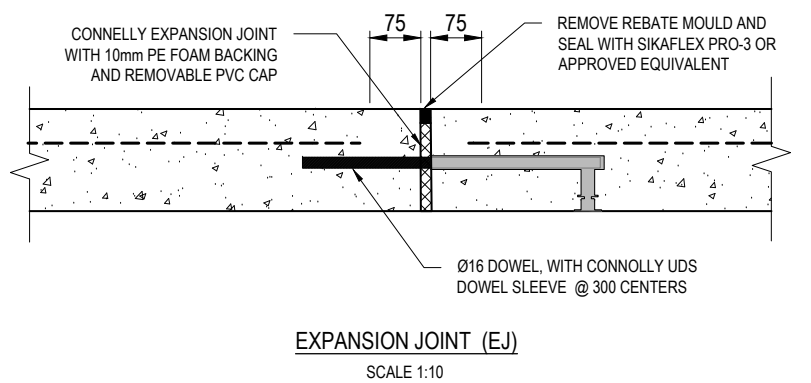
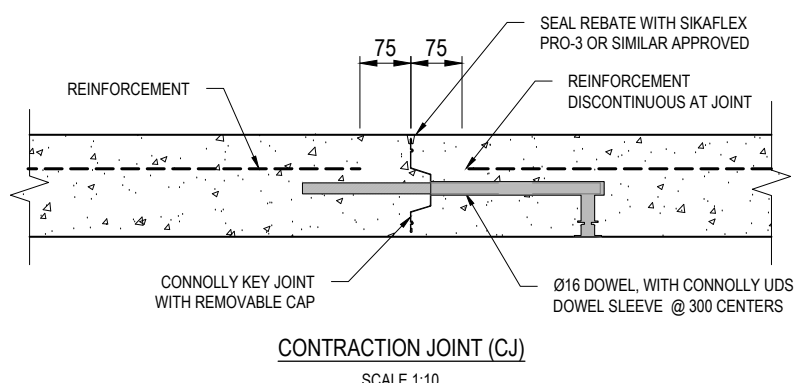
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CONCRETE CRICKET SLAB PLAN
SCALE: 1:100
NOTE: REFER TO SITE PLAN FOR SURFACE SLOPES



TYPICAL PENETRATION DETAIL
N.T.S.

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Approved NFA (Principal)	Date

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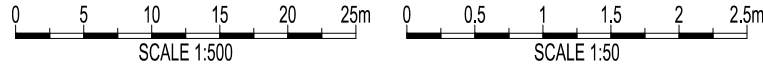
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PROJECT
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106-116 BRIDGE STREET

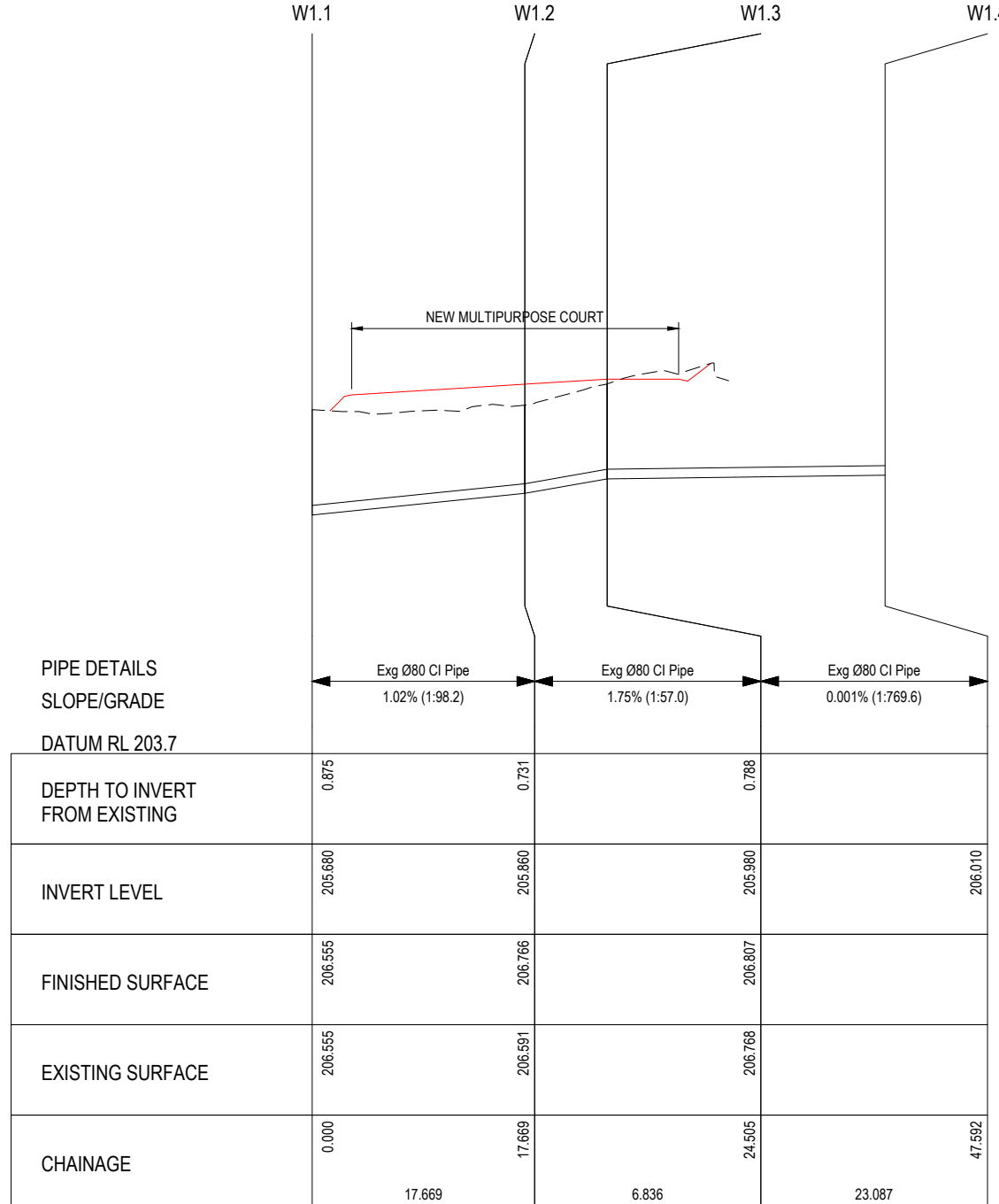
TITLE
CIVIL SERVICES CONCRETE CRICKET SLAB DETAILS

PROJECT NO.	220833LO	
DWG NO.	C07	REVISION P1
PLOT DETAILS 220833LO 3DMODEL.DWG		

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EXISTING WATER MAIN LONGITUDINAL SECTION
 SCALES: HORIZONTAL 1:500 VERTICAL 1:50

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PROJECT
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 SCHOOL - AG BUILDING
 106-116 BRIDGE STREET

TITLE
 CIVIL SERVICES
 EXISTING WATER MAIN
 LONGITUDINAL SECTION

PROJECT NO.	220833LO	
DWG NO.	C08	REVISION P1
PLOT DETAILS	220833LO 3DMODEL.DWG	

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HYDRAULIC NOTES

- H1 WORK HEALTH & SAFETY NOTICE: JMG HAVE CONSIDERED THE HAZARDS AND RISKS ASSOCIATED WITH THE CONSTRUCTION, OPERATION, MAINTENANCE AND EVENTUAL DEMOLITION OF THIS PROJECT. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. JMG REMIND CONSTRUCTORS UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS. THE FOLLOWING RISKS HAVE BEEN IDENTIFIED WHICH ARE UNIQUE TO THIS PROJECT - NIL
H2 ALL PLUMBING WILL BE IN ACCORDANCE WITH THE TASMANIAN PLUMBING REGULATIONS, AS3500, NATIONAL CONSTRUCTION CODE (AND ALL REFERENCED STANDARDS AND GUIDEBOOKS) AND TO THE LOCAL AUTHORITY APPROVAL BY SUITABLY QUALIFIED PLUMBING PRACTITIONER LICENSED IN ACCORDANCE WITH THE TASMANIA REGULATIONS.
H3 PLUMBING SERVICES SHALL BE CARRIED OUT IN CONJUNCTION WITH THE STAGED CONSTRUCTION PROGRAMME.
H4 WORKMANSHIP SHALL BE OF A HIGH STANDARD AND EACH SECTION OF THE WORK SHALL BE PROPERLY AND NEATLY EXECUTED TO THE BEST TRADE PRACTICE. UNTIDY WORK WHETHER EXPOSED TO VIEW OR CONCEALED WILL NOT BE ACCEPTED AND RECTIFIED AT NIL COST.
H5 THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY & SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE DETERMINE LOCATION OF EXISTING POWER, COMMUNICATIONS, GAS, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
H6 CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARD, ETC. UNLESS OTHERWISE APPROVED.
H7 REFER TO DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICES PIPEWORK, BRACKETS, SUPPORTS, FIXINGS, ETC. AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD TO APPROVAL ALL FLOOR, WALL AND ROOF PENETRATIONS.
H8 CO-ORDINATE ALL PIPEWORK WITH EXISTING SERVICES ON SITE.
H9 ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATION APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10mm CLEARANCES SHALL BE MADE FOR SEALING WITH 'FYRESET' OR SIMILAR APPROVED TO FULL DEPTH OF PENETRATION.
H10 REFER TO ARCHITECTS DRAWINGS AND FIXTURE AND EQUIPMENT TECHNICAL SPECIFICATIONS FOR PIPEWORK CONNECTIONS.
H11 PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS 1345.
H12 MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
H13 REMOVE ALL EXCESS SOIL AND SURPLUS MATERIALS FROM SITE.
H14 PLUMBING CONTRACTOR TO ARRANGE FOR ALL NEW WORKS BY LOCAL AUTHORITY AND FOR SEALING OFF AND MAKING GOOD EXISTING AS REQUIRED. PAY ALL FEES ASSOCIATED WITH THE WORKS.
H15 PREPARE PROGRESSIVELY THROUGHOUT THE WORKS, AND FORWARD TO THE ARCHITECT BEFORE THE DATE OF PRACTICAL COMPLETION, 'AS-INSTALLED' DRAWINGS OF ALL PLUMBING SERVICES SHOWING PIPEWORK, PITS, MANHOLES, VALVES AND THE LIKE INCLUDING OFFSET DIMENSIONS AND DEPTHS WHERE APPLICABLE.
H16 OBTAIN AND SUPPLY TO THE CONTRACTOR, THE WARRANTIES OFFERED BY THE MANUFACTURERS OF APPLIANCES, FIXTURES, FITTINGS AND ACCESSORIES USED IN THE WORKS AND THE LOCAL AUTHORITIES COMPLETION CERTIFICATES UPON COMPLETION OF THE WORKS.
H17 APPROVAL SHALL BE REQUIRED PRIOR TO ANY SERVICE SHUT DOWN, PREPARE PROGRAM FOR ALL SHUT DOWNS, INCLUDING WORK TO BE CARRIED OUT AND TIME REQUIRED FOR EACH SERVICE.
H18 ALLOWANCE SHALL BE MADE FOR ALL OUT OF HOURS WORK ASSOCIATED WITH THE CONTRACT.
H19 REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT. INSTALL FIRE STOP COLLARS TO UPVC PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
H20 MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE PRINCIPLE CONTRACTOR PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
H21 POSSIBLE RELOCATION OF ANY EXISTING SERVICES TO ACCOMMODATE NEW PIPEWORK SHALL BE REFERRED TO THE ARCHITECT.
H22 ARRANGE WORK BY LOCAL AUTHORITY IN ACCORDANCE WITH THE BUILDERS WORKS PROGRAM.
H23 PIPEWORK LAYOUTS ARE DIAGRAMMATIC ONLY. PREPARE SHOP DRAWINGS FOR COORDINATION WITH ARCHITECTURAL, STRUCTURAL AND OTHER SERVICE DRAWINGS. SUBMIT DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
H24 CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, FLOW AND PRESSURE TESTS, CCTV FOOTAGE ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.

WATER & FIRE SERVICE NOTES

- W1 ALL WATER SERVICE PIPEWORK SHALL BE COPPER TUBE TYPE B.
W2 ZIP/CABLE TIES TYPE SUPPORT SYSTEMS SHALL NOT BE ACCEPTED BY THE SUPERINTENDENT FOR USE OF SUPPORTING ANY HYDRAULIC PIPEWORK AND SHALL BE REMOVED AT CONTRACTORS COST.
W3 WATER HAMMER SHALL BE ELIMINATED BY SUITABLE APPROVED DEVICES INSERTED IN THE WATER SUPPLY PIPEWORK, SHOULD IT PROVE IMPOSSIBLE TO ELIMINATE THE PROBLEM BY WATER SUPPLY PIPEWORK MODIFICATION, AND AT THE CONTRACTORS EXPENSE. ANY PIPEWORK SUBJECT TO WATER HAMMER SHALL BE FITTED WITH ADEQUATE ANCHORS, OFFSETS IN THE PIPEWORK AND SHALL BE ARRANGED CLEAR OF BRACKETS TO AVOID STRESS POINTS.
W4 ALL HOT AND COLD WATER PIPEWORK CHASED INTO MASONRY WALLS, SHALL BE FULLY LAGGED WITH 'KEMLAG'. TAPE SEAL ALL JOINTS TO APPROVAL.
W5 ALL EXPOSED HOT AND COLD WATER SERVICE PIPEWORK SHALL BE CHROME PLATED.
W6 REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.
W7 ALL SCREWED STOP VALVES SHALL HAVE UNION COUPLINGS AND BE ACCESSIBLE. GROUP VALVES WHEREVER POSSIBLE.
W8 SEAL OFF ALL COPPER PIPE PENETRATIONS THROUGH SUSPENDED CONCRETE FLOORS AND FIRE WALLS WITH AN APPROVED FIRE PROOF SEALANT.
W9 THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND TESTING OF SERVICES REQUIRED BY THE LOCAL AUTHORITY PRIOR TO CONCEALMENT. PRESSURE TEST HOT AND COLD WATER SERVICES TO 1.5 TIMES NORMAL WORKING PRESSURE PRIOR TO CONNECTION TO EXISTING SERVICES.
W10 FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER. CLEAN OUT AERATORS, STRAINERS, FILTERS, ETC. IN ACCORDANCE WITH AS3500. PROVIDE ALL FLOW AND PRESSURE TEST RESULTS TO DOMESTIC WATER AND HOSE REELS.
W11 LOCATION OF TUNDISHES TO BE CONFIRMED ON SITE TO SUIT EQUIPMENT OUTLETS.
W12 INSULATE ALL HOT AND MIXED WATER PIPEWORK WITH FULL SURROUND ARMAFLEX CELLULAR PIPE INSULATION MIN 25mm WALL THICKNESS. (CLIMATE REGION C, R-value R=0.6) TAPE SEAL ALL JOINTS AND USE TIMBER OR POLY FURRULES W22 PROVIDE PRESSURE REDUCING VALVE IF EXISTING PRESSURE EXCEEDS 500kPa

DRAINAGE NOTES

- D1 REFER TO ARCHITECT'S DRAWINGS FOR INSTALLATION OF GUTTERS AND DOWNPIPES.
D2 ALL WASTE AND VENT PIPES SHALL BE UPVC TO AS 1260 AND AS 1415 AND INSTALLED TO AS 2032. PROVIDE FIRE STOP COLLARS TO PIPES PASSING THROUGH SUSPENDED CONCRETE FLOORS AND FIRE WALLS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS FOR EXISTING STRUCTURES FIRE RATING REQUIREMENTS. CONFIRM WITH BUILDING SURVEYOR PRIOR TO CONSTRUCTION.
D3 ALL W/C'S TO BE FIXED TO FLOOR IN ACCORDANCE WITH MANUFACTURES REQUIREMENTS.
D4 OFFSET VENT PIPES WHERE NECESSARY IN ROOF SPACE TO CLEAR GUTTERS, ROOF STRUCTURE, MECHANICAL PLANT, AIR INTAKES, ETC. COMBINE VENT PIPES WHEREVER POSSIBLE TO REDUCE NUMBER OF VENTS PASSING THROUGH ROOF.
D5 INSTALL GATIC-WADE OR SIMILAR APPROVED FLOOR GRATES WITH VINYL CLAMP TO ALL FLOOR WASTE GULLIES.
D6 SOIL AND WASTE PIPES IN CEILING SPACE SHALL BE WRAPPED WITH ARMAWAVE 2540. TAPE SEAL ALL JOINTS TO APPROVAL.

TASWATER CCW AND PLUMBING PERMIT NOTES
1. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS NOMINATED ON TASWATER CCW PRIOR TO PRACTICAL COMPLETION AND CONFIRM ALL REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS NOMINATED ON COUNCIL PLUMBING PERMIT PRIOR TO PRACTICAL COMPLETION AND CONFIRM ALL REQUIREMENTS PRIOR TO CONSTRUCTION.

ABBREVIATIONS

Table listing abbreviations and their meanings, such as AAV (AIR ADMITTANCE VALVE), B (BASIN / VANITY BASIN / HANDBASIN), BT (BOUNDARY TRAP), BTFW (BASKET TRAP FLOOR WASTE), BV (BALANCING VALVE), CI (CAST IRON), CI/CL (CAST IRON CEMENT LINED), CO (CLEAR OUT), C/P (CHROME PLATED), CS (CLEANERS SINK), CU (COPPER), CV (CHECK VALVE), CW (COLD WATER), etc.

SYMBOLS

Table listing symbols and their meanings, such as RISER/DROPPER, TRAPPED RISER TO FIXTURE, ISOLATION VALVE, EXISTING ISOLATION VALVE, FLOAT VALVE, LPG/LNG BALL VALVE, SOLENOID VALVE, ISOLATION VALVE IN VALVE BOX FINISHED, etc.

NEW PIPEWORK

Table listing symbols for new pipework, such as SRM (SEWER RISING MAIN), TW (TRADEWASTE DRAINAGE), SW (STORMWATER DRAINAGE), RW (RAINWATER DRAINAGE), SWRM (STORMWATER RISING MAIN), SS (SUB SOIL DRAINAGE), COLD WATER, NON POTABLE WATER, HOT WATER (FLOW), HOT WATER (RETURN), MIXED WATER, GAS SERVICE, FIRE SERVICE, FIRE HYDRANT, FIRE HOSE REEL.

EXISTING PIPEWORK

Table listing symbols for existing pipework, such as EXISTING SEWER, EXISTING SEWER RISING MAIN, EXISTING TRADEWASTE, EXISTING STORMWATER, EXISTING WATER, REDUNDANT SERVICE.

DRAWING LIST

Table with 2 columns: DRAWING NUMBER and DRAWING NAME. Rows include H01 (GENERAL NOTES AND LEGEND), H02 (SITE PLAN), H03 (FLOOR PLAN - DRAINAGE SERVICES), H04 (FLOOR PLAN - WATER SERVICES), H05 (ROOF PLAN).

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P2 24.08.23 PRELIMINARY ISSUE
P1 28.07.23 PRELIMINARY ISSUE

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PROJECT: CAMPBELL TOWN DISTRICT SCHOOL-AGRICULTURAL STUDIES BUILDING

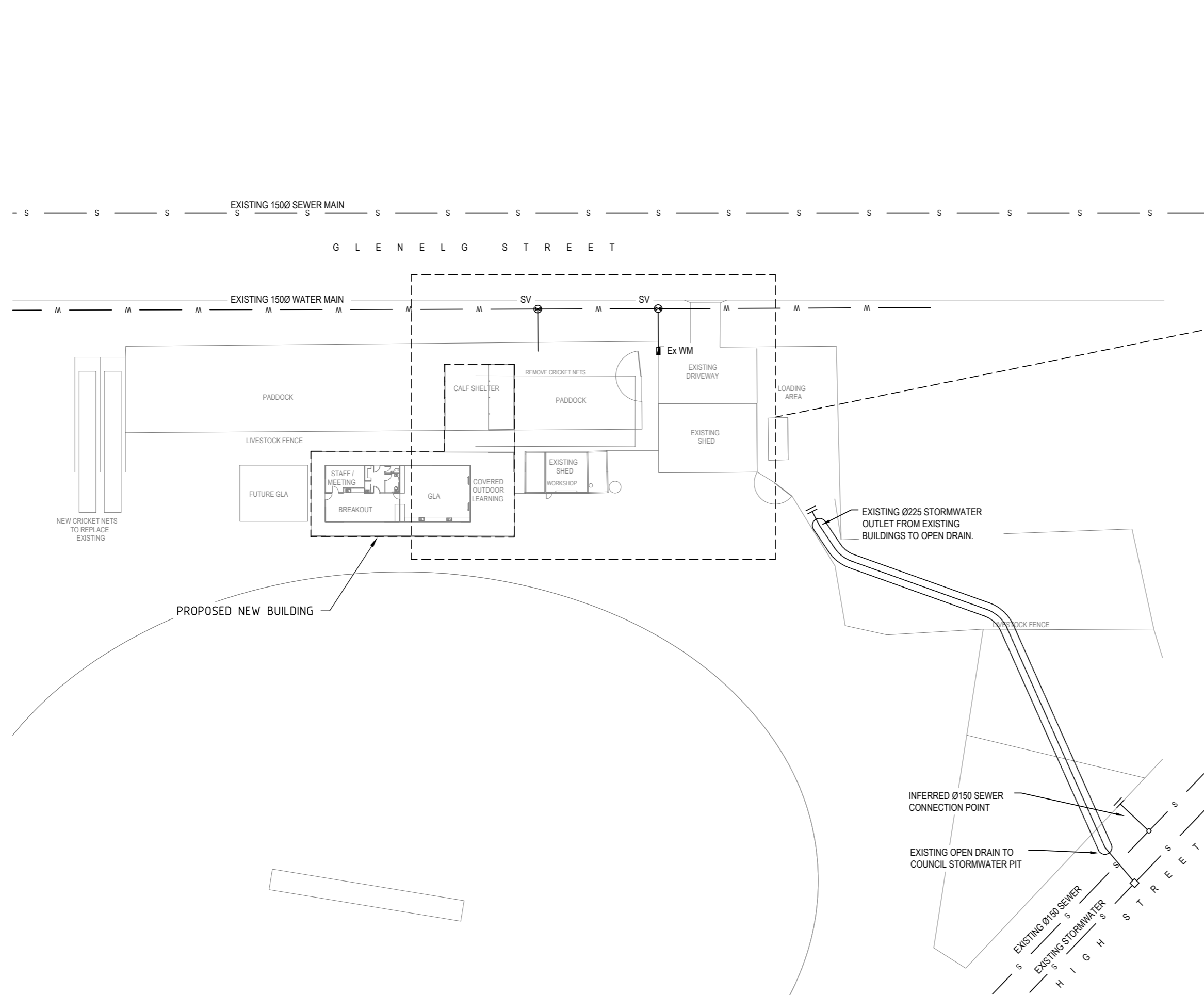
TITLE: HYDRAULIC SERVICES GENERAL NOTES & LEGEND

Table for project identification: PROJECT NO. 220833LO, DWG NO. H01, REVISION P2, PLOT DETAILS: 220833LO-HYD.DWG

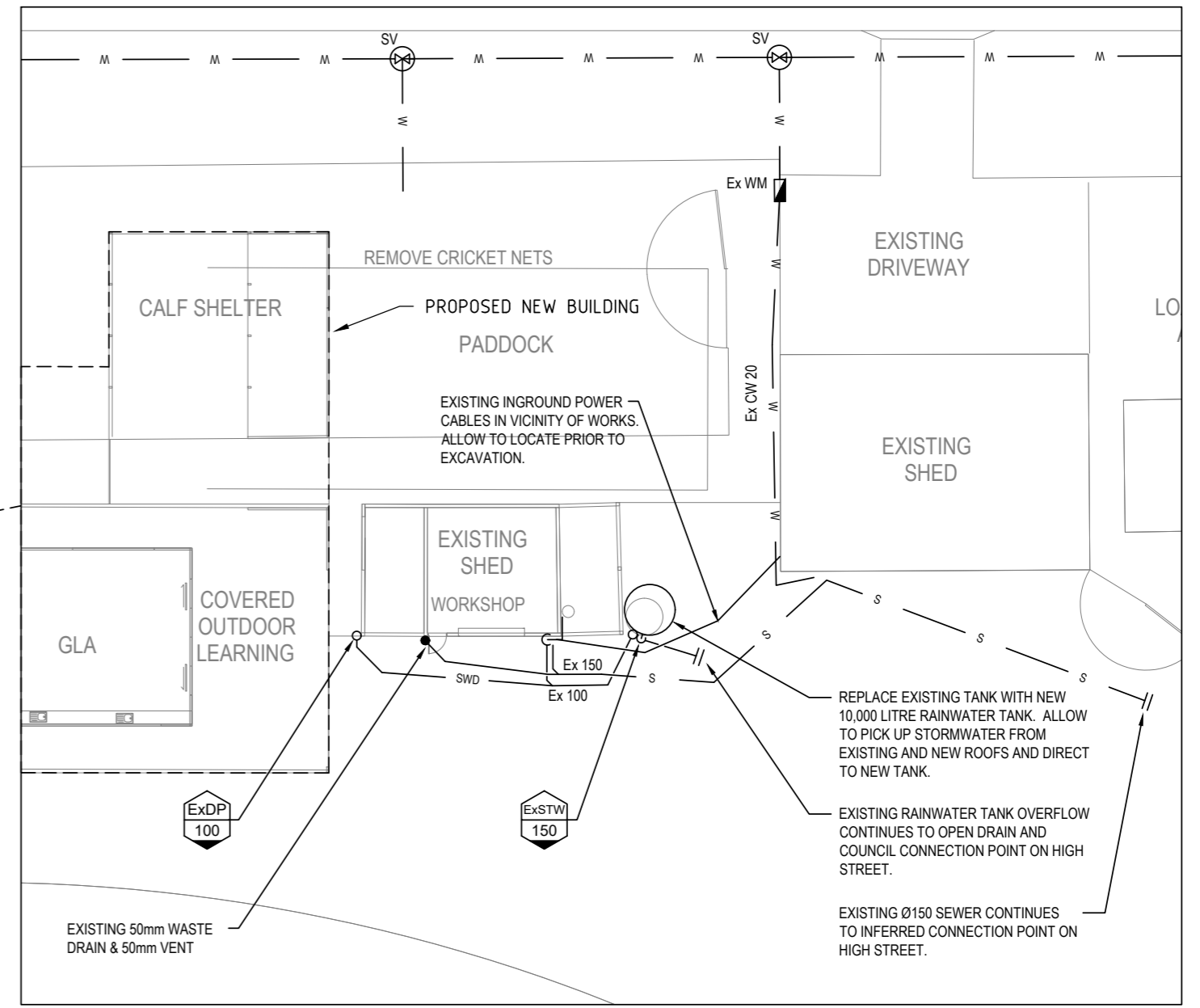
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SITE PLAN
SCALE: 1:500



EXISTING SITE CONNECTION DETAILS
SCALE: 1:250

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P2	03.08.23	PRELIMINARY ISSUE
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PROJECT
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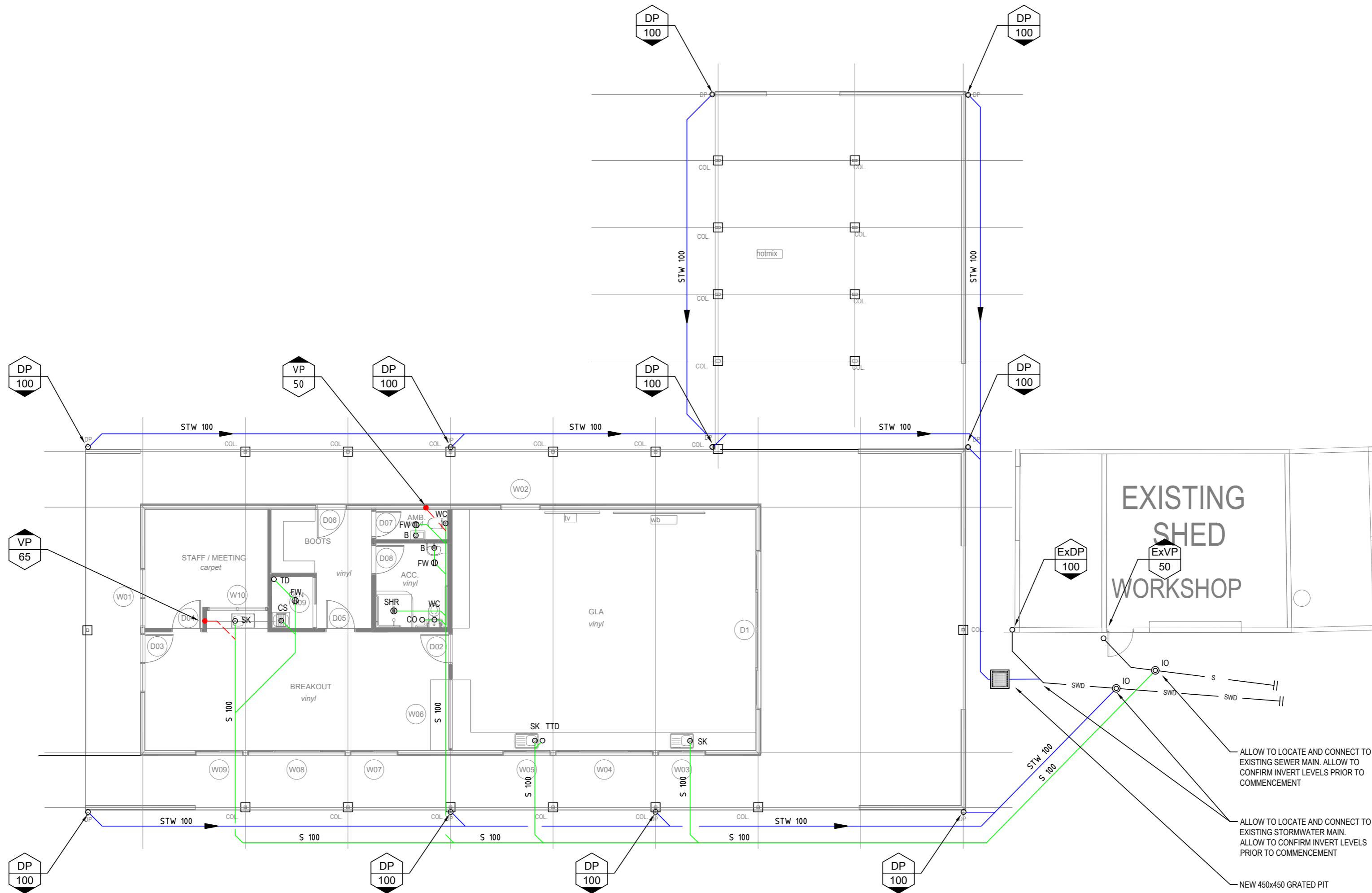
TITLE
HYDRAULIC SERVICES SITE PLAN

PROJECT NO.	220833LO
DWG NO.	H02
REVISION	P3
PLOT DETAILS	220833LO-HYD.DWG

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PROJECT
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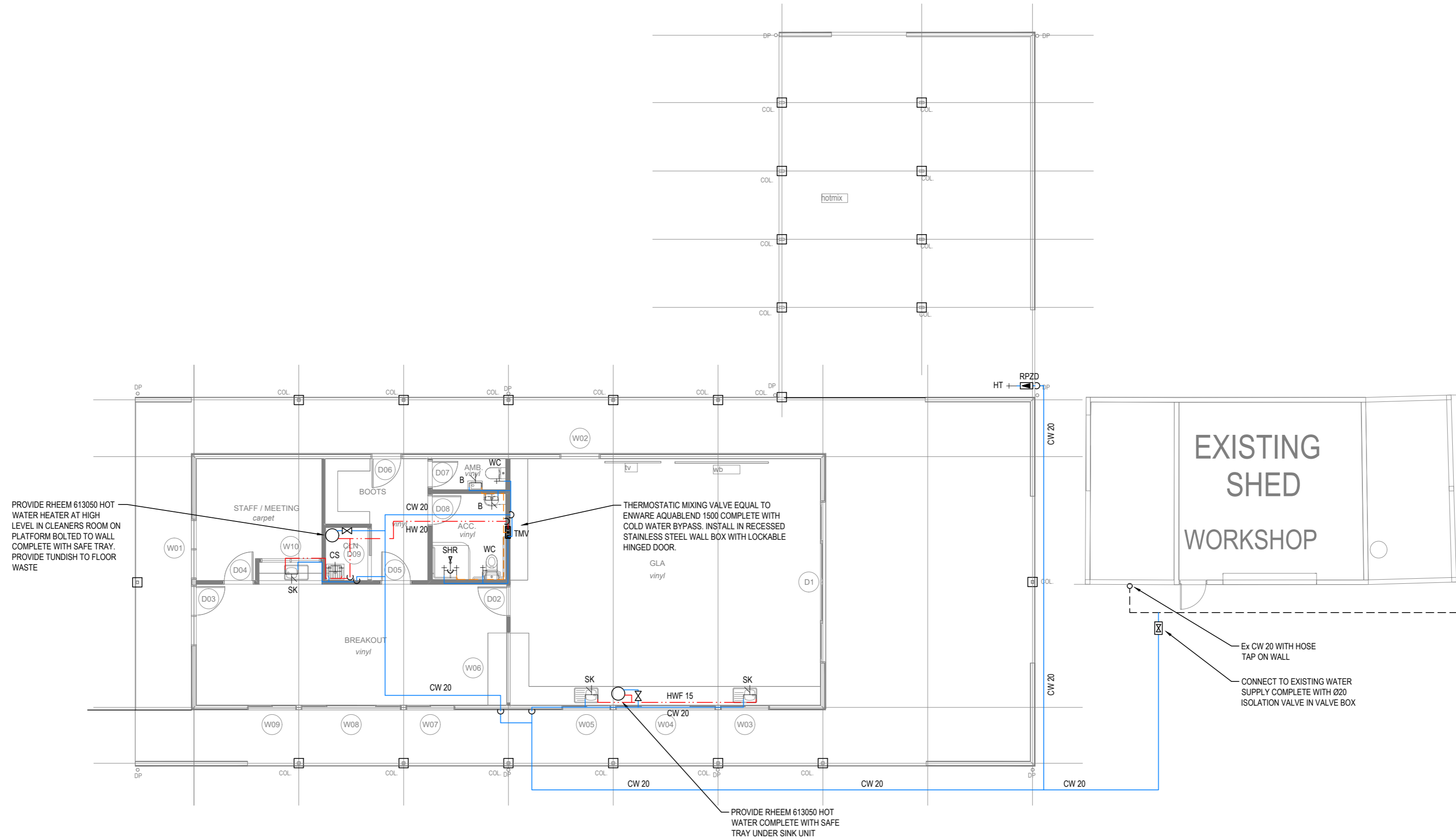
TITLE
**HYDRAULIC SERVICES
 FLOOR PLAN
 DRAINAGE SERVICES**

PROJECT NO.	220833LO
DWG NO.	H03
REVISION	P2
PLOT DETAILS	220833LO-HYD.DWG

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P3	24.08.23	PRELIMINARY ISSUE
P2	03.08.23	PRELIMINARY ISSUE
P1	28.07.23	PRELIMINARY ISSUE
REV	DATE	REMARK

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Accepted NL (Discipline Head)	Date
Accepted NA (Team Leader)	Date
Approved NA (Principal)	Date

This document must be signed "Approved" by JMG to authorise it for use. JMG accept no liability whatsoever for unauthorised or unlicensed use.

SCALES @ A2	DESIGNED BY	DRAWN BY
1:100	NL	KJ
	PLOT DATE	23/08/2023

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CONTRACTOR to site measure and prepare coordinated working drawings for construction. Refer to PROJECT SPECIFICATION.



Johnstone McGee & Gandy Pty. Ltd.
ACN 009 547 139 ABN 76 473 834 852
117 Harrington Street, Hobart, Tas (03) 6231 2555
49-51 Elizabeth Street, Launceston, Tas (03) 6331 7044
www.jmg.net.au info@jmg.net.au info@jmg.net.au

PROJECT
**CAMPBELL TOWN DISTRICT
SCHOOL-AGRICULTURAL
STUDIES BUILDING**

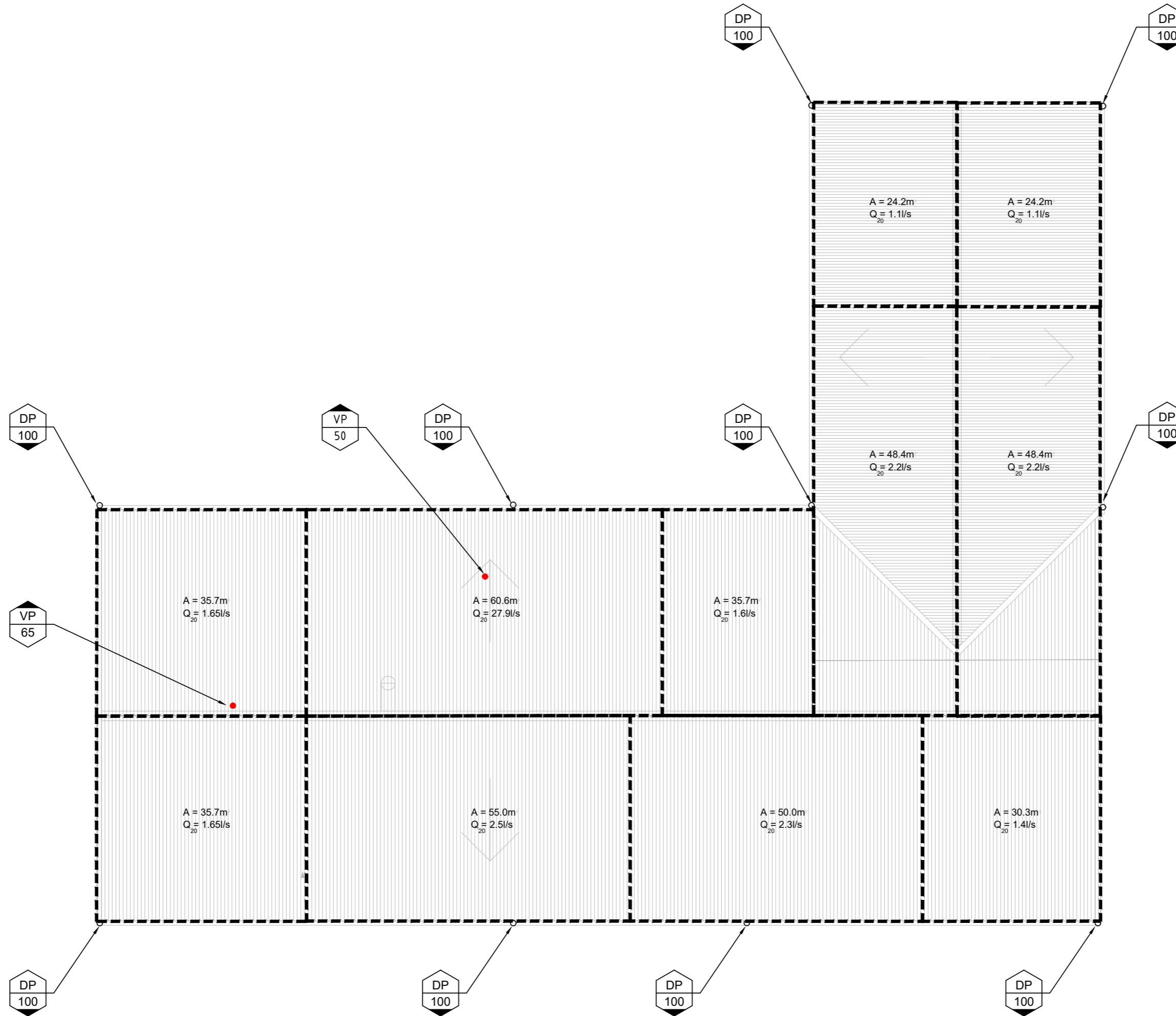
TITLE
**HYDRAULIC SERVICES
FLOOR PLAN
WATER SERVICES**

PROJECT NO.	220833LO
DWG NO.	H04
REVISION	P3
PLOT DETAILS	220833LO-HYD.DWG

SAFETY IN DESIGN REPORT PER WHS REGULATIONS

The following risks which are unique to this design have been identified:	NL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	

Received
24.08.2023



**WORK IN PROGRESS
NOT FOR CONSTRUCTION**

P2 24.08.23 PRELIMINARY ISSUE
P1 28.07.23 PRELIMINARY ISSUE

REV	DATE	REMARK

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Accepted Discipline Head (Discipline Head)	Date
Accepted Team Leader (Team Leader)	Date
Approved Principal (Principal)	Date

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SCALES @ A2	DESIGNED BY	DRAWN BY
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	PLOT DATE	23/08/2023

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CONTRACTOR to site measure and prepare coordinated working drawings for construction. Refer to PROJECT SPECIFICATION.



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49-51 Elizabeth Street, Launceston, Tas (03) 6331 7044
www.jmg.net.au info@jmg.net.au info@jmg.net.au

PROJECT
**CAMPBELL TOWN DISTRICT
SCHOOL-AGRICULTURAL
STUDIES BUILDING**

TITLE
**HYDRAULIC SERVICES
ROOF PLAN**

PROJECT NO.	220833LO
DWG NO.	H05
REVISION	P2
PLOT DETAILS 220833LO-HYD.DWG	



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-23-0106	Council notice date	30/06/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00845-NMC	Date of response	31/08/2023
TasWater Contact	Robert Stapleton	Phone No.	0417279866
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	106-116 BRIDGE ST, CAMPBELL TOWN	Property ID (PID)	6201022
Description of development	New Classroom & Associated		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
JMG Pty Ltd	"Hydraulic Services Site Plan" / Proj: 220833LO – Dwg: H02	P3	24/08/2023
JMG Pty Ltd	"Civil Services Site Plan Sheet 3 of 3" / Proj: 220833LO – Dwg: C04	P1	24/08/2023
JMG Pty Ltd	"Civil Services Existing Water Main Longitudinal Section" / Proj: 220833LO – Dwg: C08	P1	24/08/2023
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
<ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. 			
56W CONSENT			
<ol style="list-style-type: none"> 4. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the <i>Water and Sewerage Industry Act 2008</i> for its consent in respect of that part of the development which is built over or within two metres of TasWater infrastructure. 			
DEVELOPMENT ASSESSMENT FEES			



5. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64, to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of any proposed buildings or structures located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater’s infrastructure, and to TasWater’s satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater’s pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (c) A note on the plan indicating how the pipe location and depth were ascertained.

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

The General Manager

Northern Midlands Council

13 July, 2023

PLN-23-0106

Dear Sir/Madam,

We wish to lodge an objection to this development application.

We have operated a licensed and Tourism Tasmania Accreditation Bed and Breakfast business at 9 Glenelg St, Campbell Town since 2006, from a national and state heritage listed building.

We firmly believe this development will be detrimental to our business, property value and create congestion in the street, for the following reasons.

1. Glenelg Street is extremely narrow, livestock/feed trucks will block access whilst they deliver
2. The noise and odour from the sheep/calves will disturb our guests and us
3. Our guests comment that the view from our front verandah looking towards the East is magical, that will obviously change if they are looking at this structure to be built
4. As previously said this structure will seriously devalue our property
5. The view of our house from the Midland Highway is one of the things tourists love about Tasmania, a home that was built in 1838, lovingly restored by us, and it will no longer be visible and all they will see is a Colourbond structure
6. What is the Traffic Management plan considering the dangerous intersection of Glenelg St, Pedder St and the Midland Highway

Who will care for the animals at weekends and school holidays, assuming the purpose of the building is as stated on the application, for Agricultural studies, students are not around at these times
The school has other alternatives if they see this development as an educational facility. There is a lot of land where they can house this away from a residential area, and in fact, when we purchased this property in 2002 the school sheep were located in the showgrounds, which we believe was disbanded due to lack of interest. We also believe there has been some suggestion that this facility would be better suited in the showgrounds but has been ignored by the relevant authority.

As it is now without this development, the street is extremely compromised at certain times of the day particularly when buses and parents are dropping and picking up children twice daily. Add the days when sporting events occur and cars are parked either side of the very, very narrow street. We strongly disagree that, in 27.4.3 (iii) of the application, that traffic volumes in Glenelg Street has very small traffic volumes. It would be, without taking a tape measure and measuring the width of other streets the narrowest street in Campbell Town which is made more congested with buses and parents dropping and picking up children twice daily.

Kind Regards

David & Irene Heath

Ivy on Glenelg B & B

9 Glenelg St Campbell Town Tas 7210

Star Ratings Australia has proudly announced Ivy on Glenelg as a 2018, 2019, 2020, 2021 and 2022 Gold List achiever for: TAS Hosted Accommodation

Awarded B & B of the year - Tasmania 2020/2021 by Corporate Live Wire.

Rosemary Jones

From:
Sent:
To: NMC Planning
Subject: RE: Acknowledgement of representation to Planning Application PLN-23-0106

Follow Up Flag: Follow up
Flag Status: Flagged

We would however, like to add an item to what we outlined in the first email regarding the Heritage Incentive Scheme and they are;

1. To provide an incentive to improve the streetscape views of properties that are in heritage precincts, or heritage listed.
2. This policy applies to: Those parts of heritage listed properties clearly visible from a public street, or
3. Those parts of properties in a heritage precinct, clearly visible from a public street

We wish to protect the heritage view of this delightful 1838 building which we have worked so, so hard to maintain. We believe the proposed structure will have a massive negative impact on the streetscape.

In our opinion the proposed development is totally unsuited and highly inappropriate in a Heritage precinct and could quite easily be relocated so as not to have an impact on a Heritage precinct or our Heritage listed home.

Kind Regards

David & Irene Heath
Ivy on Glenelg B & B
9 Glenelg St
Campbell Town Tas 7210

Awarded - Best Heritage B&B 2021/2023 – Tasmania, LUXlife Hospitality Excellence Award.
Awarded B & B of the year - Tasmania 2020/2021 by Corporate Live Wire.
Awarded Best B&B Accommodation 2018/2019 - Tasmania, Australian Enterprise Awards.
Star Ratings Australia has proudly announced Ivy on Glenelg as a 2018, 2019, 2020, 2021 and 2022 Gold List achiever for: TAS Hosted Accommodation

Subject: Acknowledgement of representation to Planning Application PLN-23-0106

Receipt is acknowledged of your representation for the following application:

PLN-23-0106 - New Classroom & Associated Outbuilding, Sports Court & Relocation of Cricket Nets (27.4.3 Fencing)
106-116 BRIDGE STREET, CAMPBELL TOWN

Your concerns will be forwarded to the applicant (names and addresses of representors are not disclosed until the matter goes to Council or mediation). A Council planner may contact you to discuss your concerns, otherwise you will be advised of progress of the matter in due course. The earliest Council meeting at which this application is likely to be considered is Monday, **18 September 2023**. Council Agendas are available on our website on Thursday in the week prior to the meeting. If you have any queries, contact the Planning Office on 6397 7303, or email planning@nmc.tas.gov.au

Rosemary Jones



Community & Development | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
E: planning@nmc.tas.gov.au | W: www.northernmidlands.tas.gov.au



Dear Sir/Madam, please see pdf letter concerning this application.

Kind Regards

David & Irene Heath
Ivy on Glenelg B & B
9 Glenelg St
Campbell Town Tas 7210

Awarded - Best Heritage B&B 2021/2023 – Tasmania, LUXlife Hospitality Excellence Award.
Awarded B & B of the year - Tasmania 2020/2021 by Corporate Live Wire.
Awarded Best B&B Accommodation 2018/2019 - Tasmania, Australian Enterprise Awards.
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Exhibited

PLANNING APPLICATION Proposal

Description of proposal: Proposed Shed

.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

3 Hughes Court, Western Junction TAS 7212

Site address:

.....

CT no: 150770/13

Estimated cost of project \$750,000
..... (include cost of landscaping,
car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No

If yes – main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

Is any signage required? No

(if yes, provide details)



FOLIO PLAN
RECORDER OF TITLES

Exhibited



Issued Pursuant to the Land Titles Act 1980

OWNER: NOVAK INTERNATIONAL PTY LTD.		PLAN OF SURVEY		Registered Number
FOLIO REFERENCE: FR 7189 - 2		BY SURVEYOR	M.R. ROSE OF	SP 150770
GRANTEE: PART OF 81a - 2r - 19p GRANTED TO WILLIAM KITSBY, PART OF 324 ACRES GRANTED TO THOMAS GEE		LOCATION		APPROVED EFFECTIVE FROM
		LAND DISTRICT OF CORNWALL PARISHES OF BREADALBANE & PERTH		- 3 MAY 2007
		SCALE 1 3000	LENGTHS IN METRES	<i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL (CODE No 113 (5040-55))	LAST UPI No 4700470	LAST PLAN: SP. 7189	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

NEW INDEX PLAN

C 827002 AMENDING THE BOUNDARY OF LOTS 4 & 5 AS SHOWN HEREON PURSUANT TO A REQUEST TO AMEND UNDER SECTION 103 OF THE LOCAL GOVERNMENT (B.A.M.P.) ACT NO. 96 OF 1993
Alice Kawa
RECORDER OF TITLES
14/12/2007

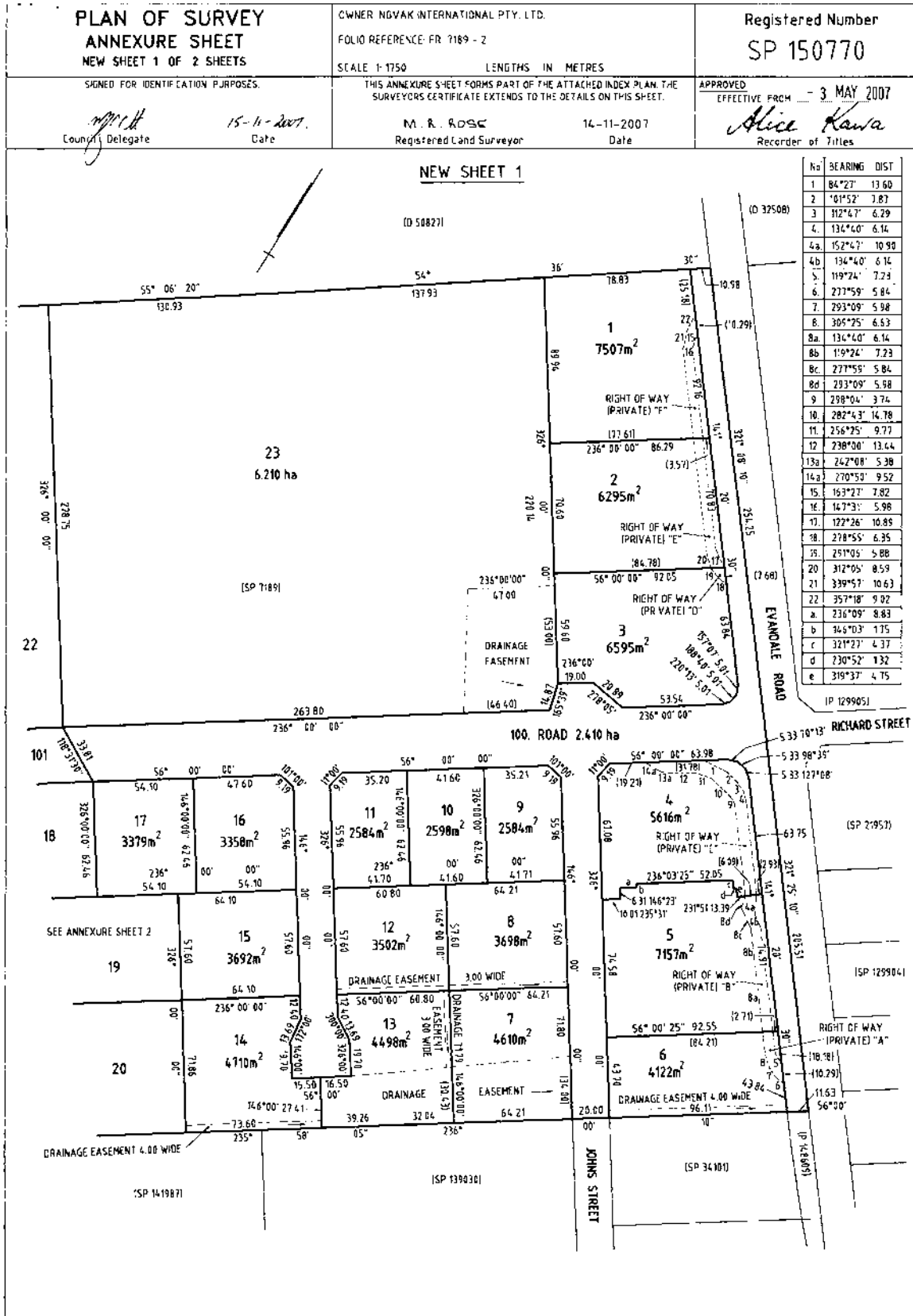
[Signature] 15/11/07
COUNCIL DELEGATE DATE



FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Exhibited



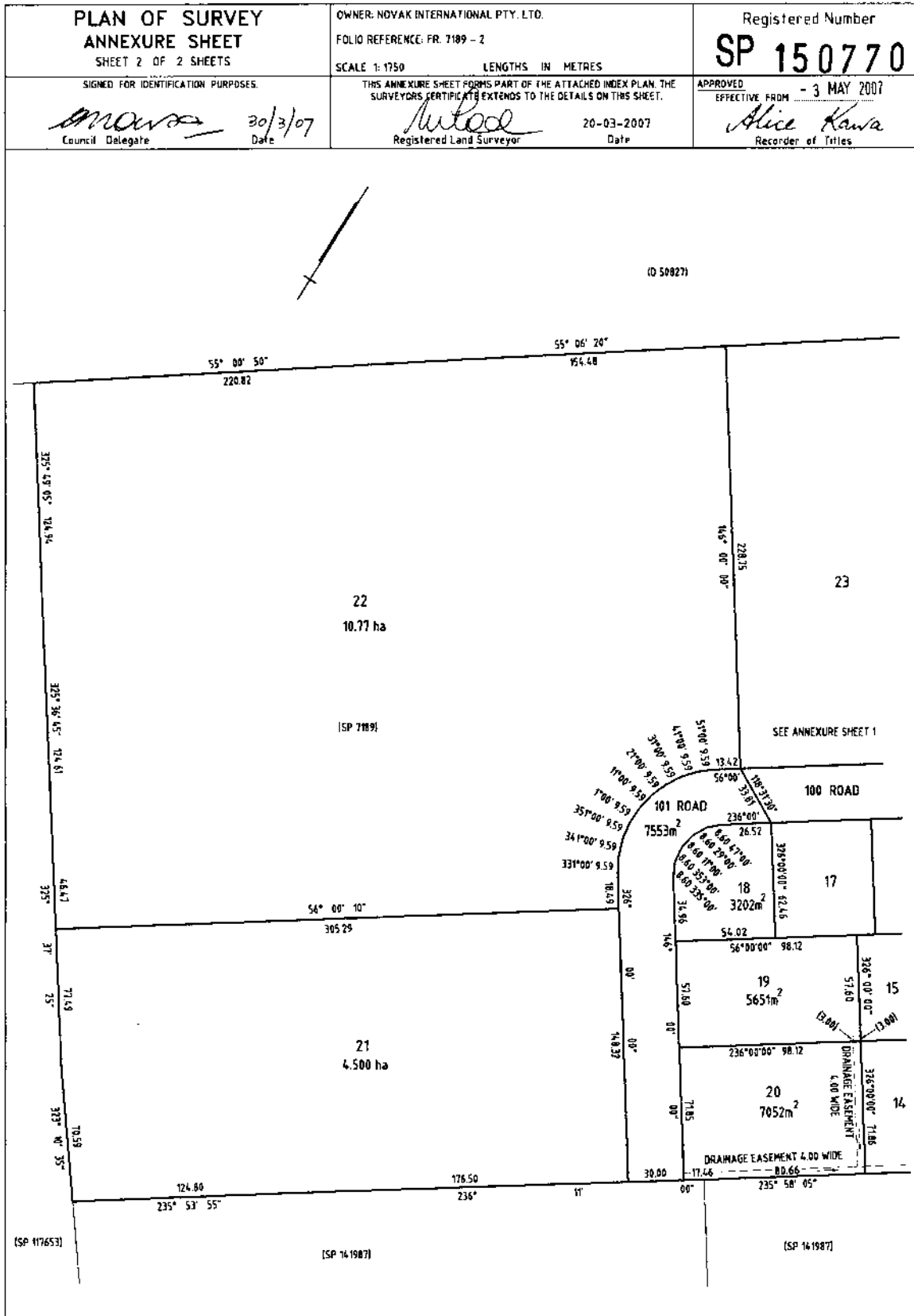


FOLIO PLAN
RECORDER OF TITLES

Exhibited



Issued Pursuant to the Land Titles Act 1980



Received
08/08/2023

Exhibited



DRAWING SCHEDULE

A00	COVER PAGE
A01	SITE PLAN
A02	CONSTRUCTION PLAN
A03	FLOOR PLAN
A05	ELEVATIONS #1
A06	ELEVATIONS #2
A08	3D PERSPECTIVE #1
A09	3D PERSPECTIVE #2
A10	3D PERSPECTIVE #3
A11	3D PERSPECTIVE #4

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	150770/13
PROPOSED SHED AREA:	1,000m ²
DESIGN WIND SPEED:	N2
SOIL CLASSIFICATION:	TBC
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

PROPOSED SHED

GILLAM INVESTMENTS PTY LTD
3 HUGHES COURT
WESTERN JUNCTION TAS 7212

NORTHERN MIDLAND COUNCIL

ISSUED FOR APPROVAL

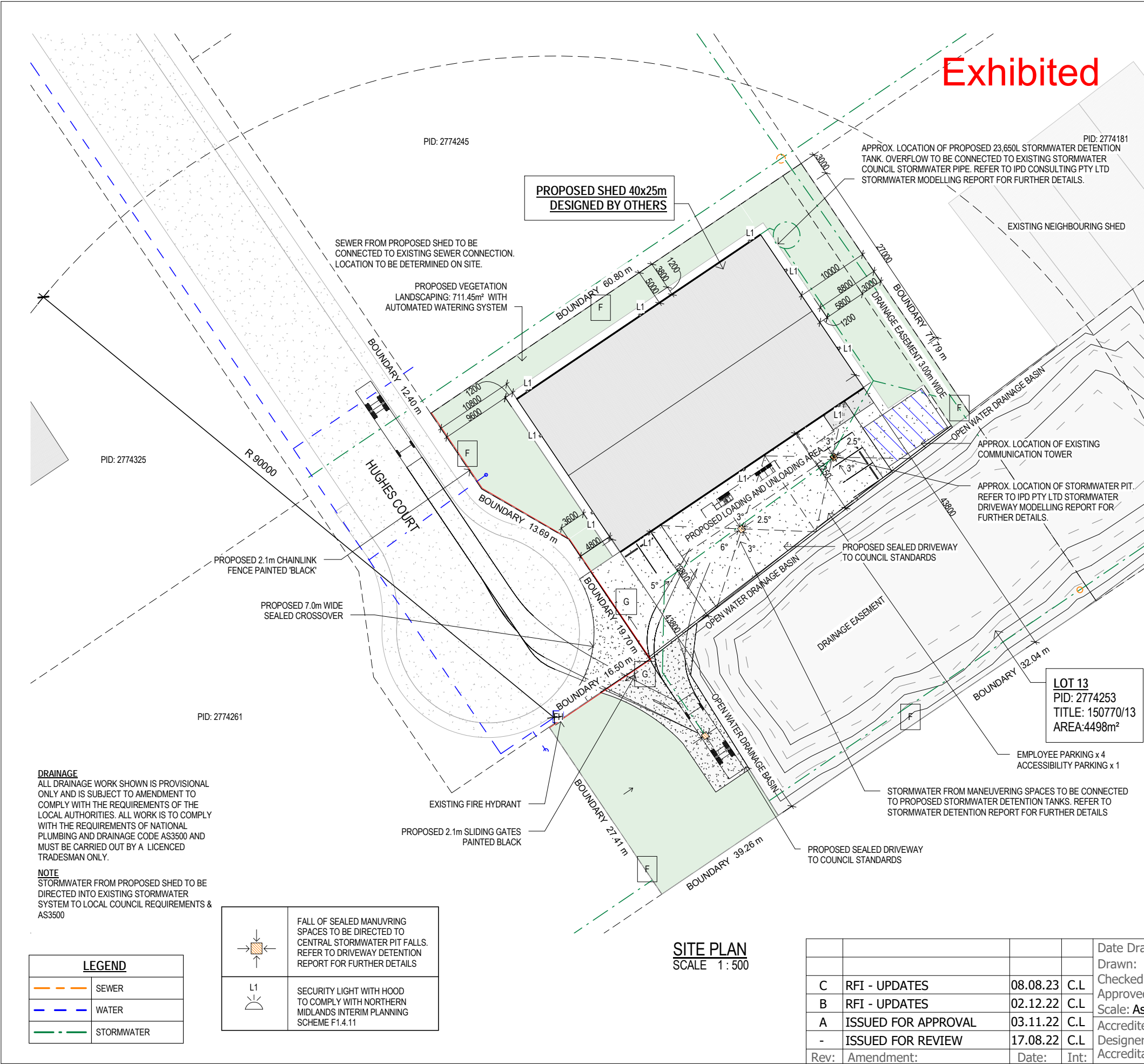
81 Elizabeth Street, Launceston, Tasmania 7250 jack@engineeringplus.com.au, trin@engineeringplus.com.au
Jack 0417 362 783 or Trin 0417 545 813



Received
08/08/2023



Exhibited



Proposed Application Information

Site Area:	4498.00m ²
Site Coverage Area:	1000.00m ²
Landscaping Area:	711.45m ²
No of Employees:	3 Non - Permanent Staff - Rented
Working Hours:	8.00am - 5.00pm
Parking Provided:	4 x Staff Parking 1 x Accessible Parking Bay with Shared Space
Carpark Class:	User Class 2 - 90° 5400 x 2500 - Aisle - 5800 In Accordance with AS 2890.1.
Accessible Parking Bay	2500x5400 Shared Bay 2500x5400 in accordance with AS 2890.6.
Delivery Trucks:	MAX. 12m Medium Rigid Truck
Uses:	Client to use half of the shed for personal use-storage while the other half are rented out for storage use only.
No of Tenants:	1 - rented 1 - Personal Storage

ISSUED FOR APPROVAL

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Client: GILLAM INVESTMENTS PTY LTD
Project: PROPOSED SHED
Address: 3 HUGHES COURT
WESTERN JUNCTION TAS 7212

Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au



C	RFI - UPDATES	08.08.23	C.L
B	RFI - UPDATES	02.12.22	C.L
A	ISSUED FOR APPROVAL	03.11.22	C.L
-	ISSUED FOR REVIEW	17.08.22	C.L
Rev:	Amendment:	Date:	Int:

Date Drawn: 17.08.22
Drawn: C. Lim
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No:	Rev
27722	A01
	C

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM PROPOSED SHED TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

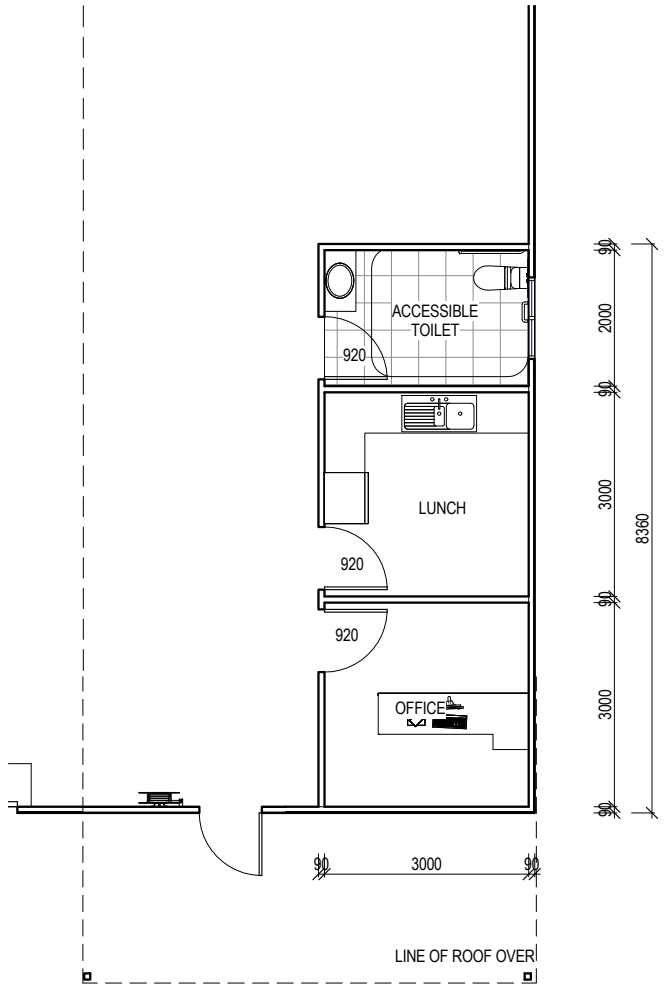
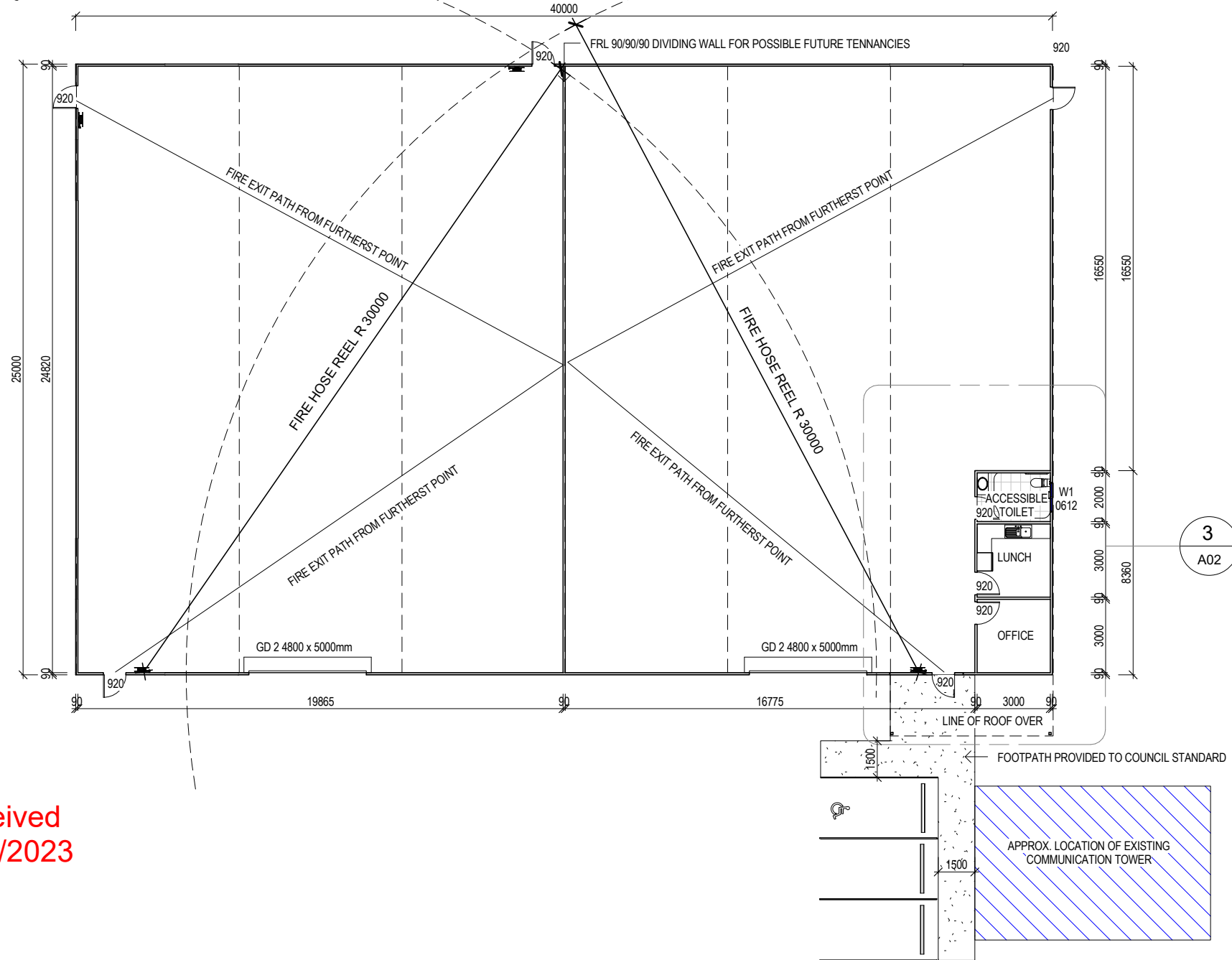
LEGEND

	SEWER
	WATER
	STORMWATER

	FALL OF SEALED MANUVRING SPACES TO BE DIRECTED TO CENTRAL STORMWATER PIT FALLS. REFER TO DRIVEWAY DETENTION REPORT FOR FURTHER DETAILS
	SECURITY LIGHT WITH HOOD TO COMPLY WITH NORTHERN MIDLANDS INTERIM PLANNING SCHEME F1.4.11

SITE PLAN
SCALE 1:500

Exhibited



CONSTRUCTION FLOOR PLAN - DETAIL
SCALE 1:100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1200	1500	DG	4.3	0.55

Received
08/08/2023

CONSTRUCTION FLOOR PLAN
SCALE 1:200

DISCLAIMER
ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

ISSUED FOR APPROVAL

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Client: GILLAM INVESTMENTS PTY LTD
Project: PROPOSED SHED
Address: 3 HUGHES COURT
WESTERN JUNCTION TAS 7212

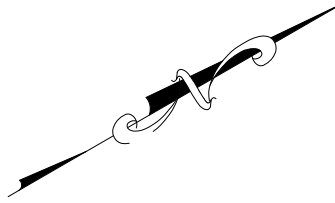
Mob 0417 362 783 or 0417 545 813
jack@engineeringplus.com.au
trin@engineeringplus.com.au



Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED SHED	1000.00 m ²	107.64
	1000.00 m ²	107.64

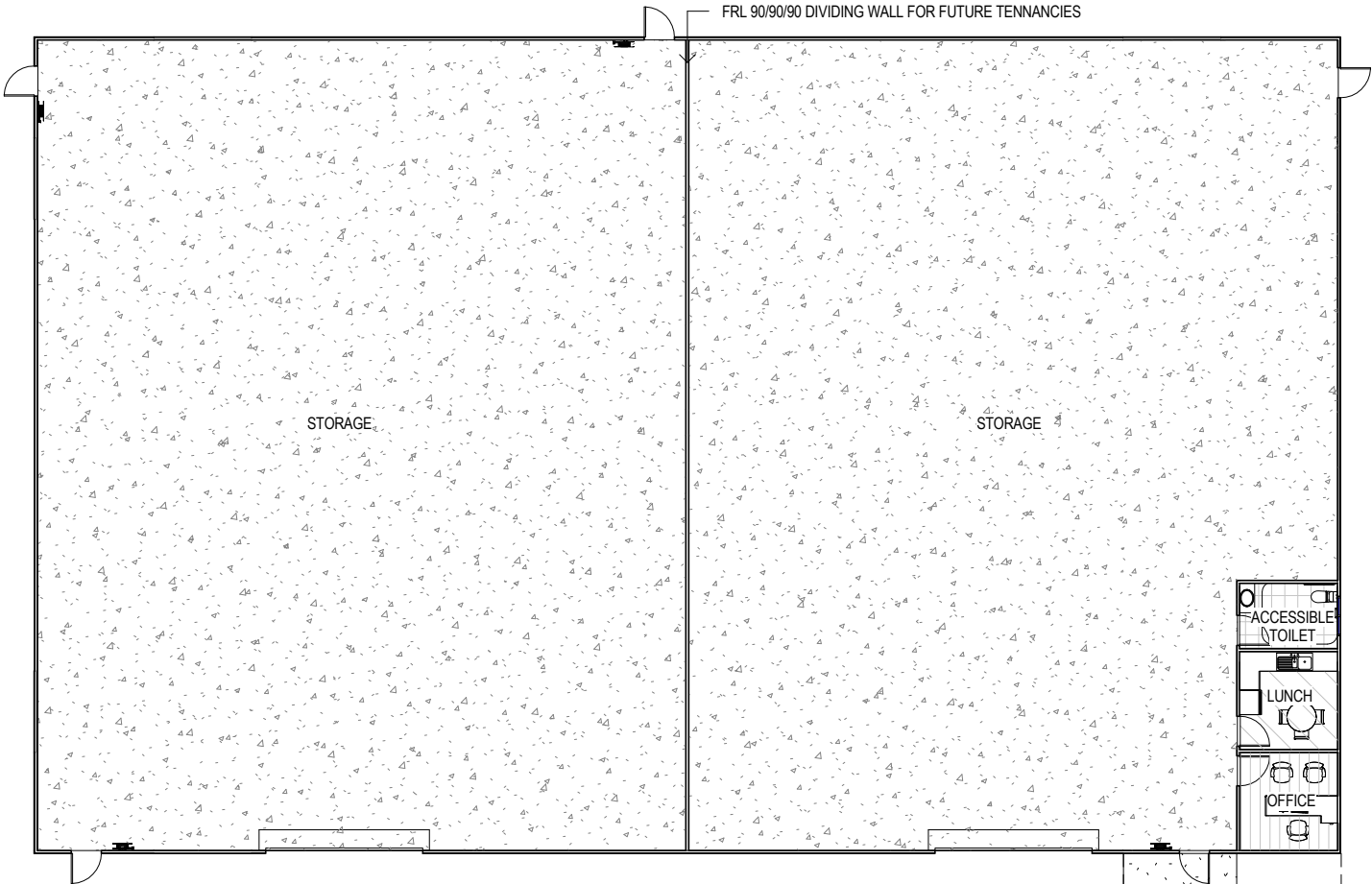
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B	RFI - UPDATES	02.12.22	C.L	Drawn: C. Lim
A	ISSUED FOR APPROVAL	03.11.22	C.L	Checked: A. Taylor
-	ISSUED FOR REVIEW	17.08.22	C.L	Approved: J. Pfeiffer
Rev:	Amendment:	Date:	Int:	Scale: As Shown @ A3
				Accredited Building Designer
				Designer Name: J.Pfeiffer
				Accreditation No: CC2211T

Drawing No: 27722
A02
Rev: C

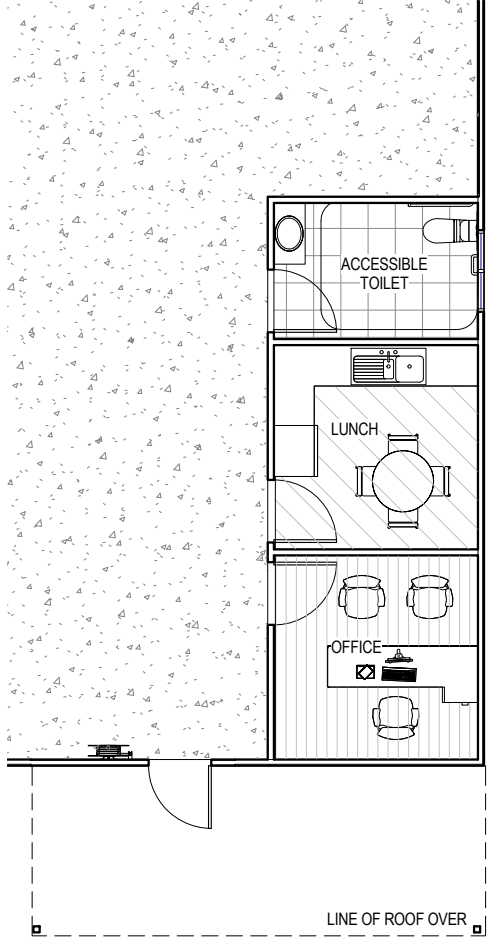


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08/08/2023

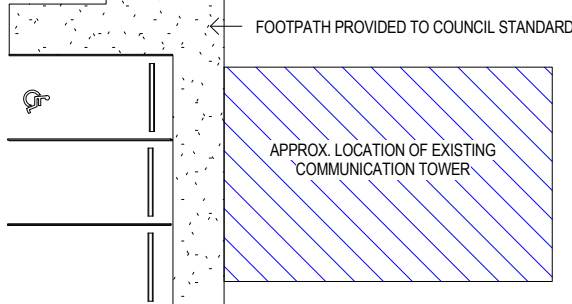
Exhibited



FLOOR PLAN - COVERINGS
SCALE 1:200



FLOOR PLAN
SCALE 1:100



Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED SHED	1000.00 m ²	107.64
	1000.00 m ²	107.64

FLOOR COVERINGS	
	COMMERCIAL GRADE VINYL FLOOR PLANKS & AL. SKIRTING. TO OWNERS SPECIFICATIONS.
	CONCRETE FLOOR, BURNISHED FINISH AND SEALED WITH CONCURE CR OR SIMILAR APPROVED CHLORINATED RUBBER CURING COMPOUND/FLOOR SEALER.
	SLIP RESISTANT VIRTRIFIED CERAMIC FLOOR TILES OR SIMILAR. TO OWNERS SPECIFICATIONS

C	RFI - UPDATES	08.08.23	C.L
B	RFI - UPDATES	02.12.22	C.L
A	ISSUED FOR APPROVAL	03.11.22	C.L
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Rev:	Amendment:	Date:	Int:

Date Drawn: 17.08.22
 Drawn: C. Lim
 Checked: A. Taylor
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

Client: GILLAM INVESTMENTS PTY LTD
 Project: PROPOSED SHED
 Address: 3 HUGHES COURT
 WESTERN JUNCTION TAS 7212
 Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au



Accredited Building Designer
 Designer Name: J.Pfeiffer
 Accreditation No: CC2211T

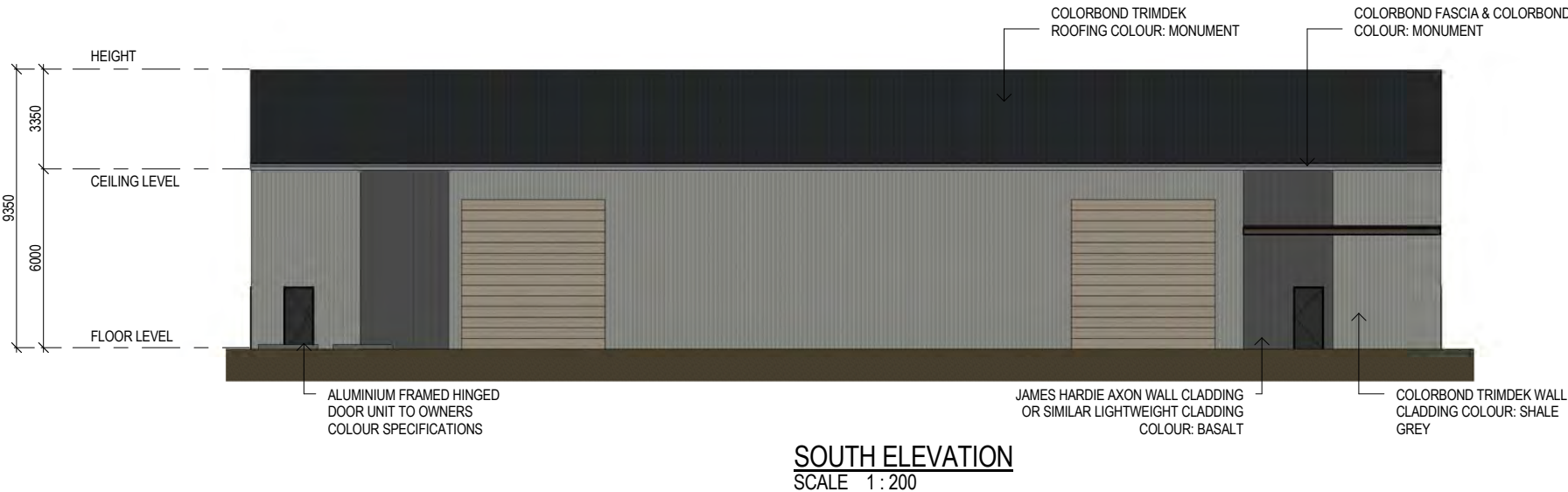
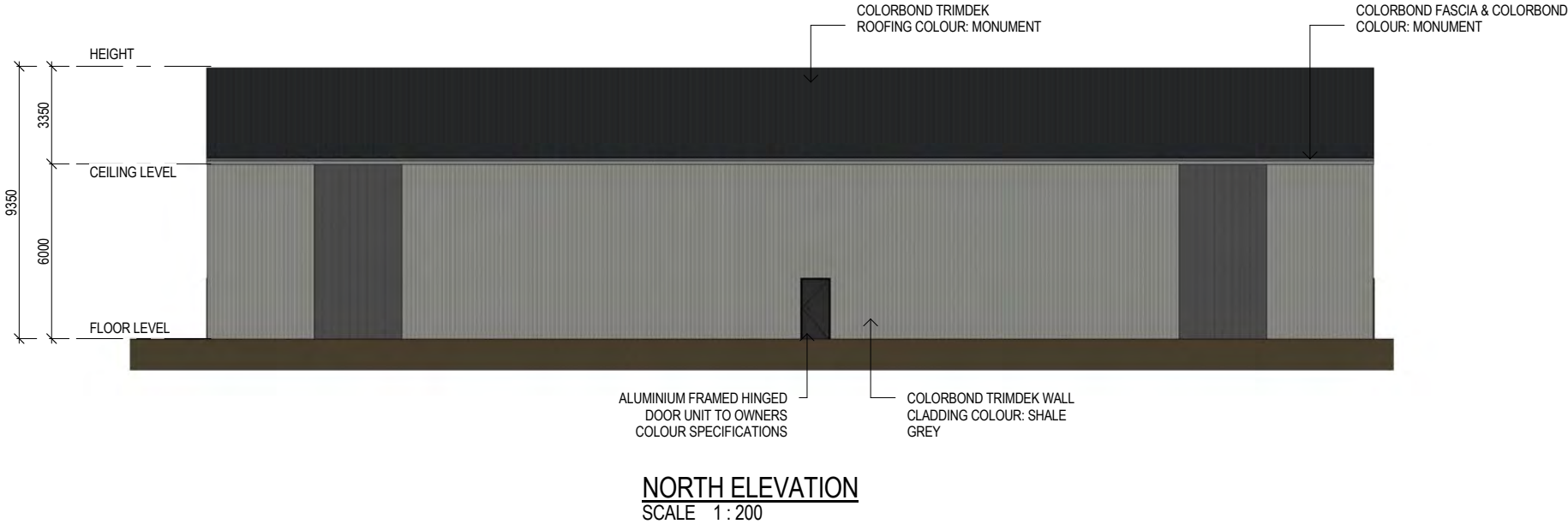
Drawing No: 27722
 A03
 Rev C

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SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6
 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
 TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
 ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N2 33M/s
- TERRAIN CATEGORY: T2.5 (PS)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1000
- WATER RESISTANCE: 150

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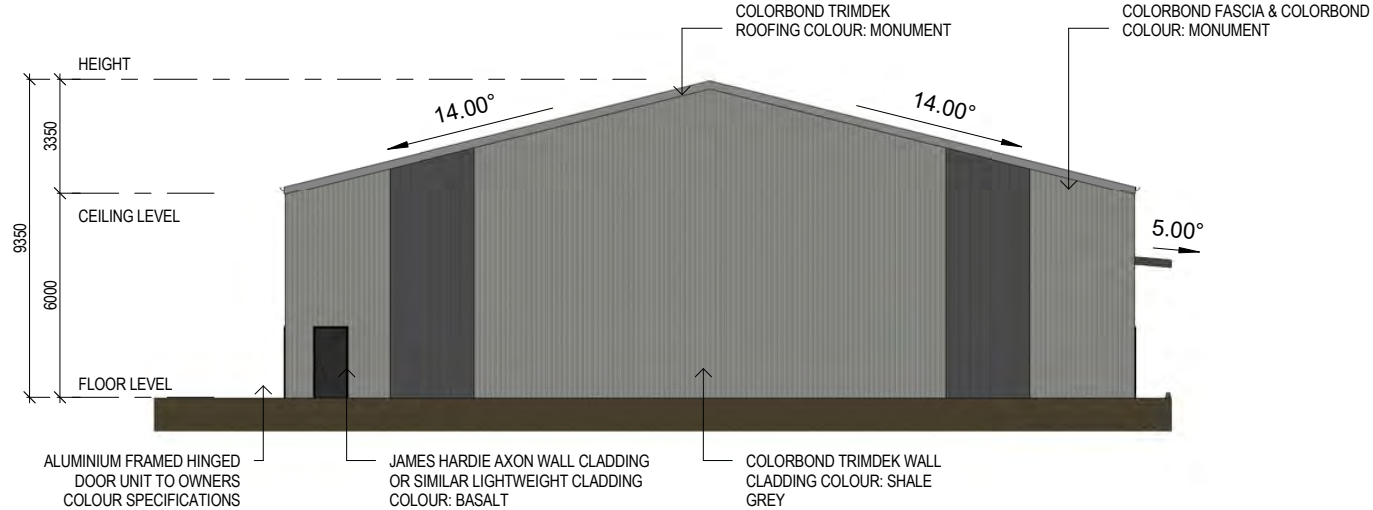
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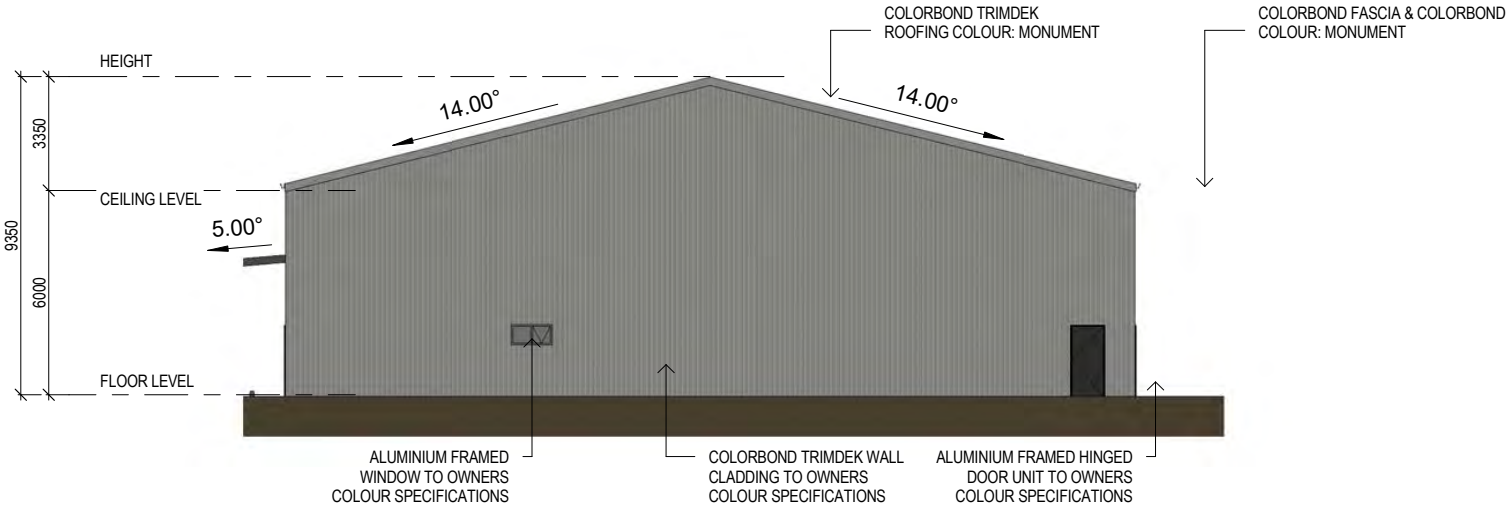
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C	RFI - UPDATES	08.08.23	C.L	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T
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				Rev C

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WEST ELEVATION
SCALE 1:200



EAST ELEVATION
SCALE 1:200

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INSULATION

PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

CEILING

R4.0 "ROCKWOOL" BULK INSULATION OR R4.0 GLASSWOOL BATTS BETWEEN CEILING JOISTS UNDER ROOF COMPOSITE FOIL & R1.8 BLANKET

EXTERNAL WALLS

'TYVEK' HOUSE WRAP TO EXTERNAL FACE R2.5 GLASSWOOL BATTS BETWEEN STUDS

SUB FLOOR

75mm POLYSTYRENE BETWEEN JOISTS OR R2.0 BATTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

WALL FRAMING

ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF AS1684 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION) & THE BCA CODE PART 3.4.3 WALL FRAMING TO BE MGP10 RADIATA PINE. COMMON STUDS - 90x35 @ 450 CRS. NOGGINGS - 90x35 OPEN STUDS - 90x35 TOP & BOTTOM PLATES - 90x35 BRACING TO AS 1684 & BCA CODE

WET AREAS

WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH BCA PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE. AND TABLE 3.8.1.1

DOWNPIPES:

DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000 AND LOCATED SO AS TO COMPLY WITH PART 3.5.2.5 OF THE NCC

FASCIA

COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

ROOF FRAMING

COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC

CAPPINGS & FLASHINGS

ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

EAVES

OVERHANG ROOFS 600mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING

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SECTION
SCALE 1:100

SMOKE ALARMS

CLIPSAL LIFESAVER 755 IONISATION SMOKE ALARM 240V HARDWIRED CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH BCA PART 3.7.5.2

SLABS & FOOTINGS

ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

EXTERNAL CLADDING

EXTERNAL WALL CLADDING REFER ELEVATIONS
SUB FLOOR REFER ELEVATIONS

WINDOWS

COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT BCA STANDARDS.

PLASTER

LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SCOTIA CORNICE MOULDING TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

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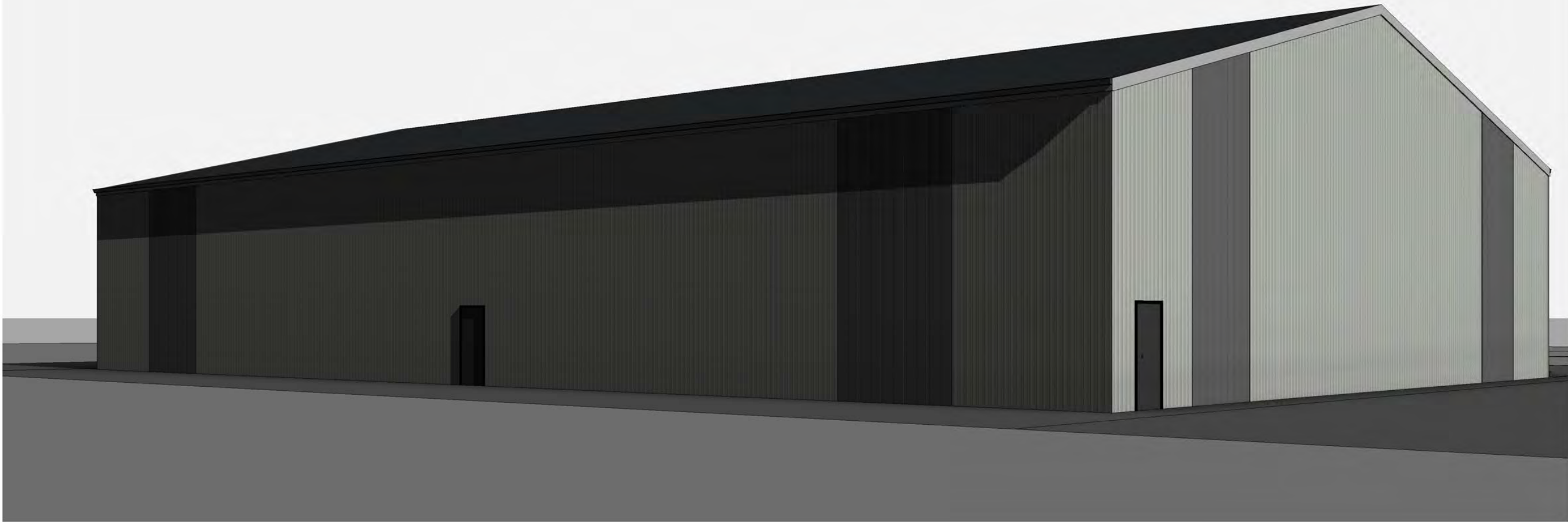


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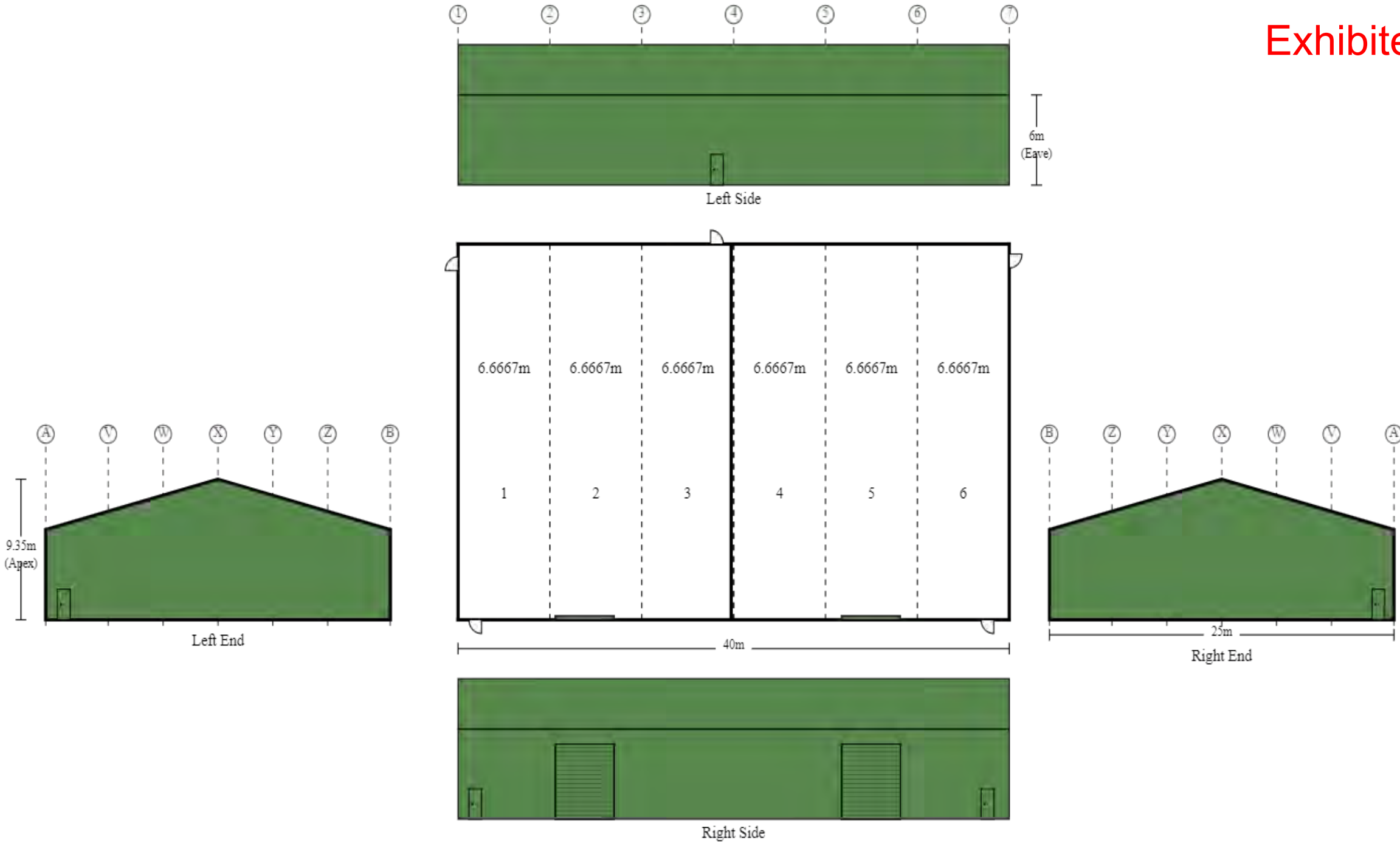
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Purchaser Name: Chris Gillam	
Site Address: 3 Hughes Ct Western Junction TAS 7212 Australia	
Drawing # RAYHEAL2202014-7	Print Date: 23/08/22

Layout
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Seller: The Shed Company Launceston
Name: Raymond Heald
Phone: 03 9002 4272
Fax:
Email: ray.heald@theshedcompany.com.au

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Traffic Impact Statement



9th August 2023

Ms Narelle Lobdale

Office Manager

Engineering Plus

Dear Narelle,

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TRAFFIC IMPACT ASSESSMENT 3 HUGHES COURT, WESTERN JUNCTION

This traffic impact statement assesses the proposal at 3 Hughes Court in terms of traffic engineering principles and the Tasmanian Planning Scheme - Northern Midlands 2022 requirements including:

- site inspection and review of available sight distances and the speed environment
- consideration of references on property access requirements including Council guidelines and Australian Standard provisions
- consideration of safety issues regarding all road users including pedestrians and cyclists

1) Background and Site

A 40m*25m shed at 3 Hughes Court, Western Junction as shown in the plans in Appendix A and site shown in Figures 1-3.

Traffic Impact Statement



Figure 1 – Development site and adjacent road network



Source: LISTmap, DPIPWE

Figure 2 – Development site and adjacent road network



Source: LISTmap, DPIPWE

Traffic Impact Statement

**Figure 3 – Aerial view of development site**

Source: LISTmap, DPIPWE

2) Development Description

3 Hughes Court is 4,498m² in area and is cleared with a flat topography at similar level to the road.

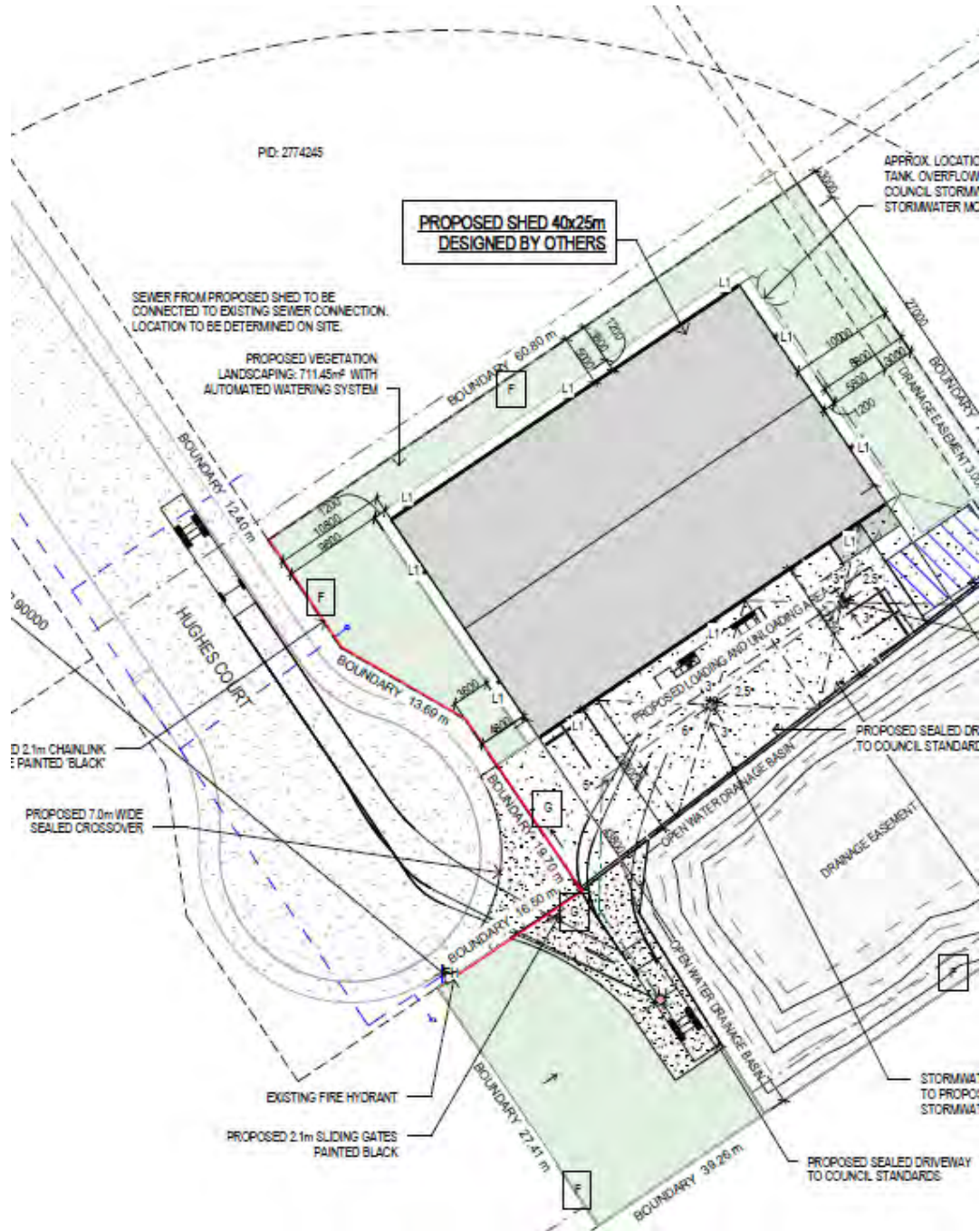
The proposed driveway, parking and site layout is shown in Figure 4.

The proposal is to install a 40m*25m shed with 12m medium rigid truck access.

Traffic Impact Statement



Figure 4 – Proposed property layout



Traffic Impact Statement



Figure 5 – Proposed Application Information

<u>Proposed Application Information</u>	
Site Area:	4498.00m ²
Site Coverage Area:	1000.00m ²
Landscaping Area:	711.45m ²
No of Employees:	
3 Non - Permanent Staff - Rented	
Working Hours:	8.00am - 5.00pm
Parking Provided:	
4 x Staff Parking	
1 x Accessible Parking Bay with Shared Space	
Carpark Class:	
User Class 2 - 90° 5400 x 2500 - Aisle - 5800 In Accordance with AS 2890.1.	
Accessible Parking Bay 2500x5400 Shared Bay 2500X5400 in accordance with AS 2890.6.	
Delivery Trucks:	
MAX. 12m Medium Rigid Truck	
Uses:	
Client to use half of the shed for personal use-storage while the other half are rented out for storage use only.	
No of Tenants:	
1 - rented	
1 - Personal Storage	

Traffic Impact Statement



3) Development Criteria

3.1 Planning Scheme

The applicable Land use zoning for the development site as per the Tasmanian Planning Scheme – Northern Midlands is shown in Figure 6.

Figure 6 – 3 Hughes Court is zoned General Industrial



Source: LISTmap, DPIPW

3.2 Local Road Authority Objectives

Northern Midlands Council objectives are to maintain traffic safety and transport efficiency on the Council Road network for all road users, including pedestrians and cyclists.

Traffic Impact Statement



4) Existing Conditions

4.1 Translink Avenue

Translink Avenue has a minor collector road function and connects the General Industrial Zone West of Evandale Main Road with Evandale Main Road. Translink Avenue and Evandale Main Road are part of the Tas. 26m B Double Network, see Appendix B. Estimated AADT is 1,000vpd (2023), see Appendix C and the General Urban Speed Limit of 50km/h applies. Translink Avenue is typically 13m wide from face to face of kerb. Footpath is provided both sides of the road.

4.2 Hughes Court

Hughes Court is an access road and part of the Tas. 26m B Double Network, see Appendix B. Estimated AADT is 150vpd (2023), see Appendix C and the General Urban Speed Limit of 50km/h applies. Hughes Court is typically 13m wide from face to face of kerb with a 25.5m Cul-De-Sac diameter. Footpath is provided both sides of the road. Figure 7 shows the road network in the vicinity of Hughes Court.

Figure 7 – Aerial view of Translink Avenue and Hughes Court.



Source: LISTmap, DPIPWE

Traffic Impact Statement



4.3 3 Hughes Court

The 3 Hughes Court access and approaches are shown in Figures 8-13.

Figure 8 – Aerial view of 3 Hughes Court road frontage.



Source: LISTmap, DPIPWE

Figure 9 – Elevation view of existing 3 Hughes Court access



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Traffic Impact Statement



Figure 10 – Looking right along Hughes Court from proposed driveway



Sight distance
right is 180m.

Figure 11 – Looking left along Hughes Court from proposed driveway



Sight distance
left is 80m.

Figure 12 – Hughes Court approach to proposed driveway



Traffic Impact Statement



Figure 13 – Hughes Court Eastern approach to proposed driveway



4.4 Traffic Generation

The proposed shed consists of an office and warehouse. The applicable traffic generation rates for the proposal are as follows:

Warehouses:

- 4 vehicle trips / day / 100m² GFA and 0.5 vehicle trips / hour/GFA

Offices at commercial premises:

- 10 vehicle trips / day / 100m² GFA and 2 vehicle trips / hour/GFA

The warehouse GFA is 974m².

(40m*25m i.e 1,000m² less the office space of 3.1m*8.4m i.e 26m²)

The office space GFA is 26m² including lunchroom and toilet.

Accordingly:

- Warehouse traffic generation is 39 vpd and 5 vph.
- Office traffic generation is 4vpd and 1 vph.

Total traffic of 43vpd and 6 vph.

Traffic Impact Statement



4.5 Services

Water (Fire Hydrant) , Sewer and Communications site services are indicated in Figure 14. Other services infrastructure present include:

- Street light, water connection & telco infrastructure, see Figure 15.
- Telco pit East of existing driveway crossover, see Figures 16 & 17.
- Stormwater side entry pit and chamber West of the existing driveway crossover, see Figures 18 & 19.

Figure 14 – Hughes Court Eastern approach to proposed driveway



Source: LISTmap, DPIPWE

Traffic Impact Statement



Figure 15 – Hughes Court Services East side of proposed driveway



Street light, water connection and telecommunications infrastructure.

Figure 16 – Hughes Court Services East side of proposed driveway



Telecommunications infrastructure.

Figure 17 – Hughes Court Services East side of proposed driveway



Telecommunications infrastructure. The pictured lid is broken.

Traffic Impact Statement



Figure 18 – Hughes Court Services West side of proposed driveway

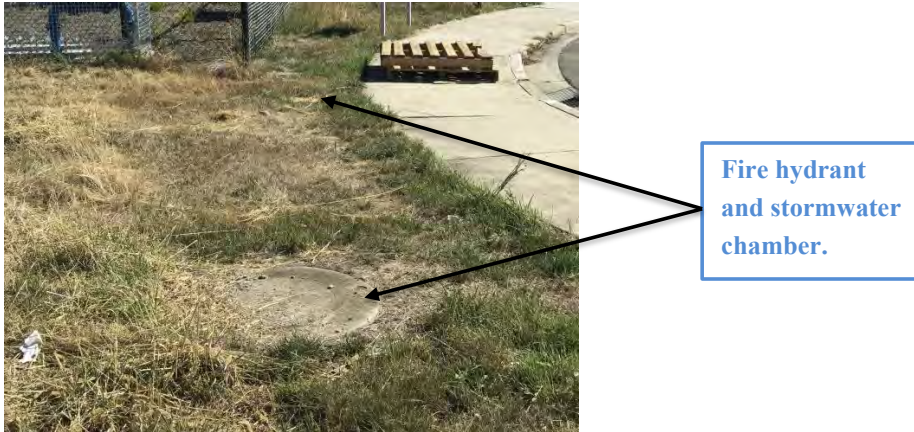
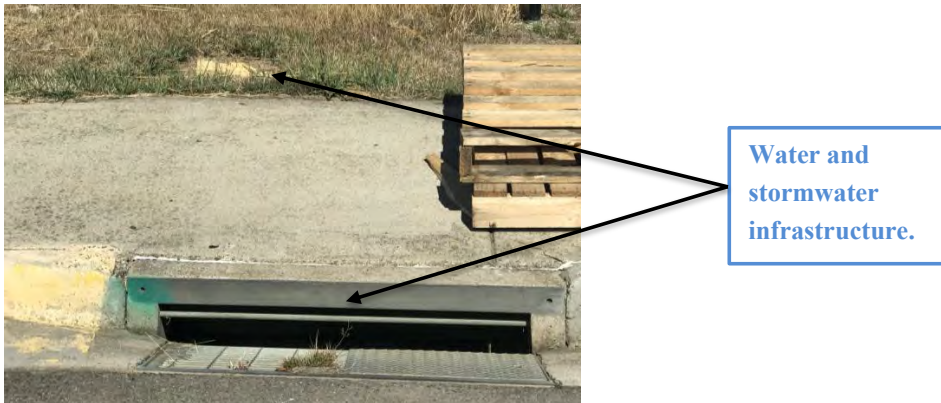


Figure 19 – Hughes Court Services West side of proposed driveway



4.6 Austroads Safe System Assessment

From Austroads Safe System Assessment the proposed access has:

- low crash exposure – 150 vpd on Hughes Court
- low crash severity – 50km/h speed limit and 40 km/h speed environment.
- Low crash likelihood – high infrastructure standard.

This equates to a very low crash risk.

Traffic Impact Statement



4.7 Sight Distance Review – Figure 20

Figure 20– Sight Distance Summary for proposed 3 Hughes Court driveway

		Austrroads	Current Provision	AS / NZS 2890.1		
Junction Major Rd - Minor Rd	Speed Limit (km/h)	Speed Environ. (km/h)	Road frontage sight distance			
			SISD (m)	Available		SSD (m)
Left(m)	Right(m)					
#3 Hughes Crt	50	40	73	80	180	35

Austrroads Compliant

4.8 Road Safety Review

From site observations no road safety issues were identified.

Traffic Impact Statement



5) *Tasmanian Planning Scheme – Northern Midlands*

Parking and Sustainable Transport Code C2

C2.5.1 Car parking numbers

Acceptable Solution A1: The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:

- (a) The site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash in lieu) must be in accordance with that plan,*
- (b) The site is contained within a parking precinct plan and subject to Clause C2.7,*
- (c) The site is subject to Clause C2.5.5; or*
- (d) It relates to an intensification of an existing use or development or a change of use where:*
 - i. The number of onsite car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional onsite car parking is required; or*
 - ii. The number of onsite car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:*

$$N = A + (C - B)$$

N = Number of on-site car parking spaces required

A = Number of existing on-site car parking spaces

B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1

C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1

Traffic Impact Statement

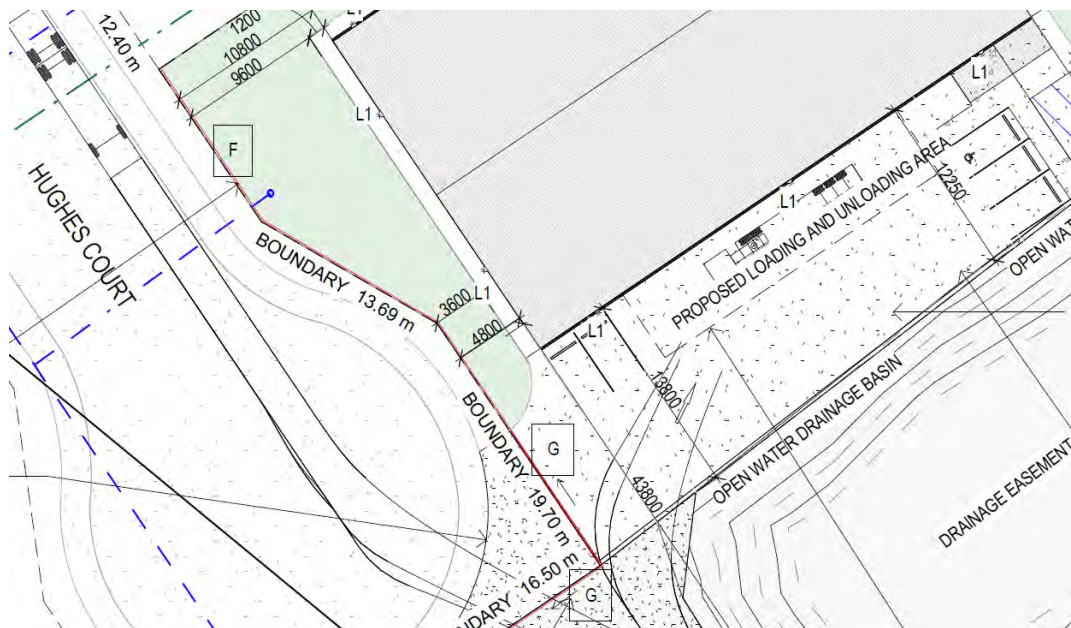


The applicable C2.1 parking requirements for storage are:

- 1 space per 200m² of the site area or 1 space per 2 employees , whichever is greater.
- Site shed area is 1,000m² with 3 non-permanent staff
- Parking requirement is 5 car parking spaces.
- Proposal provides 5 car parking spaces including an accessible space, see Figure 21.

A1 is satisfied.

Figure 21– Off Street parking proposal for 3 Hughes Crt – 4 staff & accessible space.



Traffic Impact Statement



C2.5.2 Bicycle parking numbers

Acceptable Solution A1: Bicycle parking spaces must:

- (a) Be provided on the site or within 50m of the site; and*
- (b) Be no less than the number specified in Table C2.1.*

Table C2.1 has no requirement. A1 is not applicable.

C2.5.3 Motorcycle parking numbers

Acceptable Solution A1: The number of on-site motorcycle parking spaces for all uses must:

- (a) Be no less no less than the number specified in Table C2.4. and*
- (b) if an existing use or development is extended or intensified, the number of on-site motorcycle parking spaces must be based on the proposed extension or intensification, provided the existing number of motorcycle spaces is maintained.*

Table C2.4 has no requirement. A1 is not applicable.

C2.5.4 Loading Bays

Acceptable Solution A1: A loading bay must be provided for uses with a floor area of more than 1000m² in a single occupancy.

Allowing for office space, floor area is < 1,000m², however a loading bay is proposed, see Figure 22. A1 is not applicable.

C2.6.1 Construction of parking areas

Acceptable Solution A1: All parking, access ways, manoeuvring and circulation spaces must:

- (a) be constructed with a durable all-weather pavement,*
- (b) be drained to the public stormwater system, or contain stormwater on the site; and*
- (c) excluding all uses in the Rural Zone, Agricultural Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Public Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.*

Sealed driveway & parking is proposed, see Appendix A. A1 is satisfied.

Traffic Impact Statement



C2.6.2 Design and layout of parking areas

Acceptable Solution A1.1: Parking, accessways, manoeuvring and circulation spaces must All parking, access ways, manoeuvring and circulation spaces must either:

(a) comply with the following:

- i. *have a gradient in accordance with Australian Standard AS 2890 Parking facilities, Parts 1-6. Satisfied.*
- ii. *Provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces. Satisfied*
- iii. *Have an access width not less than the requirements in Table C2.2. Proposal provides an access width of > 3.0m which satisfies Table C2.2 where 1 to 5 car parking spaces are provided.*
- iv. *Have car parking space dimensions satisfying Table C2.3.*

90 Degree parking spaces are 2.5m* 5.4m consistent with AS2890.6. Table C2.3 requires 2.6m*5.4m. However, as the proposed spaces have effective clearance width of greater than the 2.5m proposed, the spaces are deemed to satisfy the requirement.
- v. *Have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces.*
 - *Manoeuvre space for cars satisfies Table C2.3.*
 - *12m medium rigid trucks can enter & exit the property in a forward direction, see Figure 22.*
- vi. *Have a vertical clearance of not less than 2.1 metres above the parking surface level, Satisfied.*
- vii. *Excluding a single dwelling, be delineated by line marking or other clear physical means. Satisfied.*

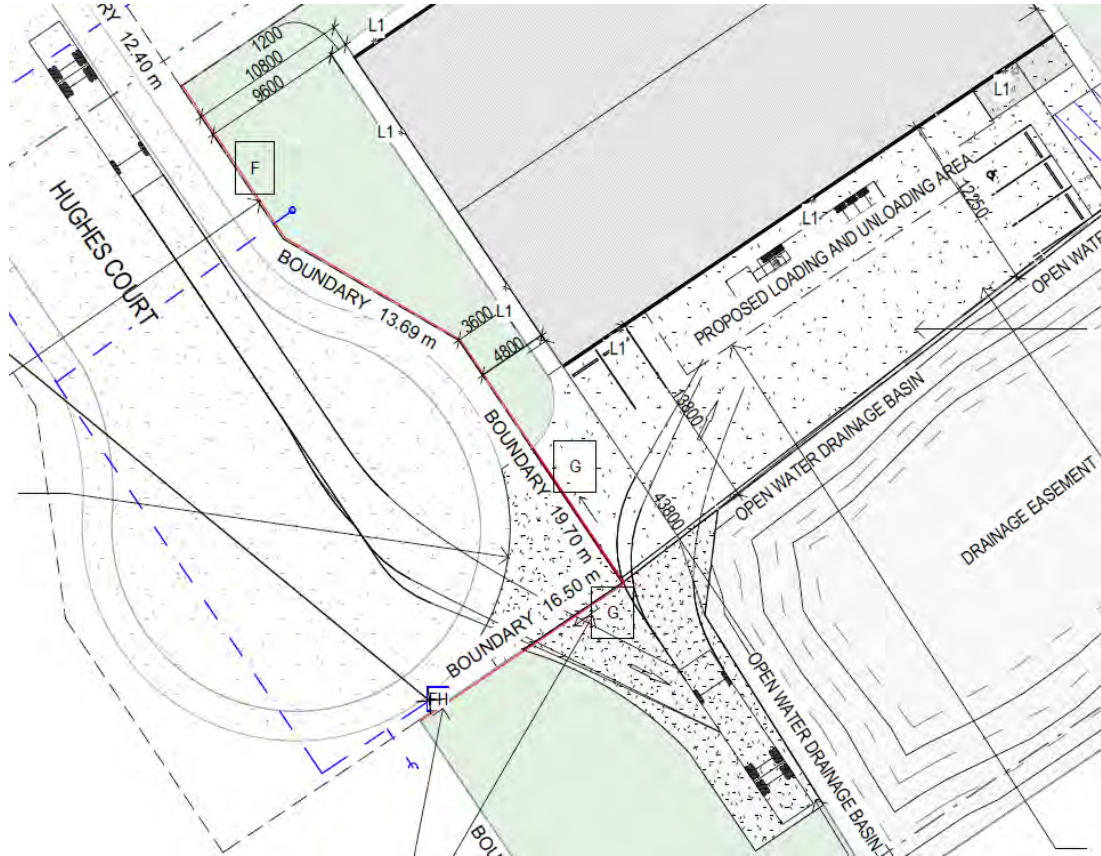
(b) Comply with Aust. Stand. AS2890 Parking facilities, Parts 1-6. Satisfied.

A1.1 is satisfied.

Traffic Impact Statement



Figure 22– Turn path check for 12m medium rigid truck accessing 3 Hughes Court.



Acceptable Solution A1.2

Parking spaces provided for use by persons with a disability must satisfy the following:

- (a) Be located as close as practical to the main entry point to the building. Satisfied.*
- (b) be incorporated into the overall car park design. Satisfied.*
- (c) be designed and constructed in accordance with Australian/ New Zealand Standard AS/NZS 2890.6-2009 Parking facilities - Off-street parking for people with disabilities.*

Guideline from D3 of the National Construction Code 2016 is 1 accessible space per 100 car parking spaces. A1.2 is satisfied.

Traffic Impact Statement



C2.6.3 Number of accesses for vehicles

Acceptable Solution A1: The number of accesses provided for each frontage must:

- (a) be no more than 1; or*
- (b) no more than the existing number of accesses whichever is greater.*

A widened of the existing two-way access is proposed. A1 is satisfied.

C2.6.5 Pedestrian access

Acceptable Solution A1.1: Applies to uses that require 10 or more car parking space must:

(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:

- i. a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or*
 - ii. protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and*
- (b) be signed and line marked at points where pedestrians cross access ways or parking aisles.*

The proposal involves 5 car parking spaces so pedestrians may share the driveway. A1.1 is satisfied.

Traffic Impact Statement



Road and Railway Assets Code C3

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

Acceptable Solution A1.1: Not applicable as the roads under consideration are not Category 1.

Acceptable Solution A1.2 – For a road, excluding a Category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.

Not applicable as an existing access is proposed.

Acceptable Solution A1.3 – Not applicable as no rail-line is impacted.

Acceptable solution A1.4:

Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing will not increase by more than:

- (a) The amounts in Table C3.1*
- (b) Allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road; and*

Estimated traffic due to the proposal is up to 43 vpd with > 20% trucks.

The acceptable increase in AADT on *other* roads is 40 vpd.

Technically A1.4 is not satisfied.

Performance Criteria P1

Vehicular traffic to and from the site must minimise and adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:

- (a) any increase in traffic caused by the use, estimated increase in traffic on Hughes Court is from 150 to 193 vpd i.e 43 vpd.*
- (b) the nature of the traffic generated by the use. Estimated traffic will consist of light vehicles & 12m medium rigid trucks.*

Traffic Impact Statement



- (c) *the nature of the road.* Hughes Court is part of the Tasmanian 26m B Double network, see Appendix B and considered suitable for access to 3 Hughes Court.
- (d) *the speed limit and traffic flow of the road.* The speed limit on Hughes Court is 50km/h and considered suitable for the situation.
- (e) *any alternative access to a road.* There is no alternative access.
- (f) *The need for the use.* The use is required for access to the property and proposed business.
- (g) *Any traffic impact assessment.* This traffic impact statement considers the proposal to be safe and efficient in terms of impact on Hughes Court.
- (h) *Any advice received from the rail or road authority.* No advice has been received.

The proposal does not disaffect operation of traffic on Hughes Court. From Austroad Safe System Assessment Hughes Court has a very low crash risk, see Section 3.4. The proposed driveway arrangement is assessed as safe. P1 is satisfied.

A1.5: Vehicular traffic must be able to enter and leave a major road in a forward direction.

A1.5 is satisfied.

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

Proposal does not involve sensitive uses.

C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area

Not applicable as no subdivision is proposed.

Traffic Impact Statement



6) Impacts on the environment and road users

6.1 Environment

- No adverse environmental impacts are anticipated in terms of:
 - Noise, Vibration, Visual Impact and Pedestrian Amenity
 - Ecological Impacts, Heritage and Conservation
- Street lighting is provided in Hughes Court. No additional roadside furniture is considered necessary.

6.2 Road users

- Public Transport - No impact.
- Delivery Vehicles - No impact on delivery vehicles.
- Pedestrians and Cyclists

Adequate pedestrian facilities are available in the form of footpath both sides of Hughes Court. No additional provisions for pedestrians and cyclists are necessary for the estimated increase in traffic due to the proposal.

6.3 Property Access Standard

The relevant property access standard for urban driveways is Local Government Association of Tasmania (LGAT) standard drawing TSD-R09. Due to proposed 12m medium rigid truck operation the driveway should be designed to cater for expected loading.

LGAT standard drawings are available online at the following link:

https://www.lgat.tas.gov.au/_data/assets/pdf_file/0027/813735/Tasmanian-Municipal-Standards-Drawings-v3-December-20202.pdf

Traffic Impact Statement



7) Recommendations and Conclusions

This traffic impact statement (TIS) has been prepared to assess the operation and safety of the proposed 40m* 25m shed and office at 3 Hughes Court, Western Junction.

Existing road conditions have been reviewed including the speed environment and available sight distances.

It is assessed that the safety for all road users, including pedestrians and cyclists, will not be adversely impacted by the proposal.

From Austroads Safe System Assessment guidelines the proposed access has a low crash risk.

It is estimated that the proposal will increase traffic activity on Hughes Court from 150vpd (2023) to 193 vpd once fully developed i.e a 43 vpd increase. This increase can be efficiently and safely absorbed.

Evidence is presented that demonstrates the proposal satisfies the Tasmanian Planning Scheme - Northern Midlands Parking & Sustainable Transport Code C2 and Road & Railway Assets Code C3 requirements.

Recommendations:

- *Structurally design proposed driveway slab at #3 Hughes Court to cater for 12m medium rigid truck loading.*
- *Take into consideration existing in ground services in design of driveway, see Figures 14 to 19. Where necessary provide driveable heavy-duty lids to access chambers. Note that the existing telecommunications pit on the East side of the existing driveway has a broken light weight lid, see Figures 16 & 17. This pit may need to be relocated or replaced with a heavy-duty lid.*

Overall, it is concluded that the proposed development will not create any traffic issues and traffic will continue to operate safely and efficiently along Hughes Court and at the proposed driveway to 3 Hughes Court.

Based on the finding of this report the proposed development is supported on traffic grounds.

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Traffic Impact Statement



8) Assessor Credentials

This traffic impact statement has been prepared by Richard Burk, an experienced and qualified traffic engineer in accordance with the **requirements of the Department of State Growth's guidelines and Council's requirements. Richard's experience and qualifications include:**

- 36 years of experience in the road & traffic engineering industry
- Previous Manager Traffic Engineering, Department of State Growth
- National committee involvement:
 - Austroads Traffic Management Working Group
 - State Road Authorities Pavement Marking Working Group
- Master of Traffic, Monash University, 2004
- Post Graduate Diploma in Management, Deakin University, 1995
- Bachelor of Civil Engineering, University of Tasmania, 1987

Yours sincerely

Richard Burk

Director

Traffic and Civil Services

M: 0456 535 746

P: 03 63341868

E: Richard.burk@trafficandcivil.com.au

Appendices:

Appendix A – Location and site plans


Appendix B – Tasmanian 26m B Double Network

Appendix C – Gorge Road Traffic Data

Traffic Impact Statement



Appendix A – Location and site plans



DRAWING SCHEDULE

A00	COVER PAGE
A01	SITE PLAN
A02	CONSTRUCTION PLAN
A03	FLOOR PLAN
A05	ELEVATIONS #1
A06	ELEVATIONS #2
A08	30 PERSPECTIVE #1
A09	30 PERSPECTIVE #2
A10	30 PERSPECTIVE #3
A11	30 PERSPECTIVE #4

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	15077013
PROPOSED SHED AREA:	1,000m ²
DESIGN WIND SPEED:	N2
SOIL CLASSIFICATION:	TBC
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

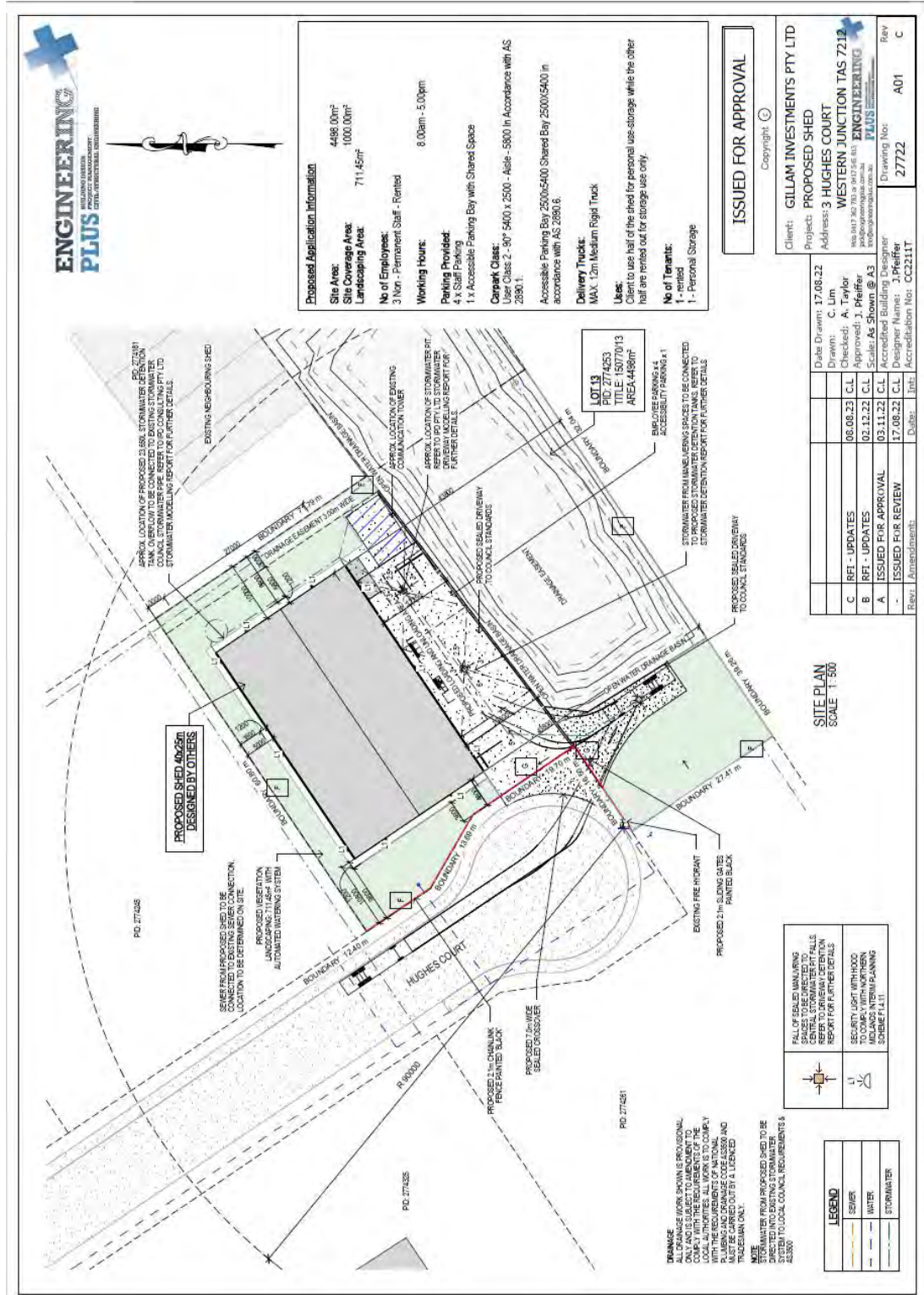
PROPOSED SHED

GILLAM INVESTMENTS PTY LTD
 3 HUGHES COURT
 WESTERN JUNCTION TAS 7212
 NORTHERN MIDLAND COUNCIL

ISSUED FOR APPROVAL

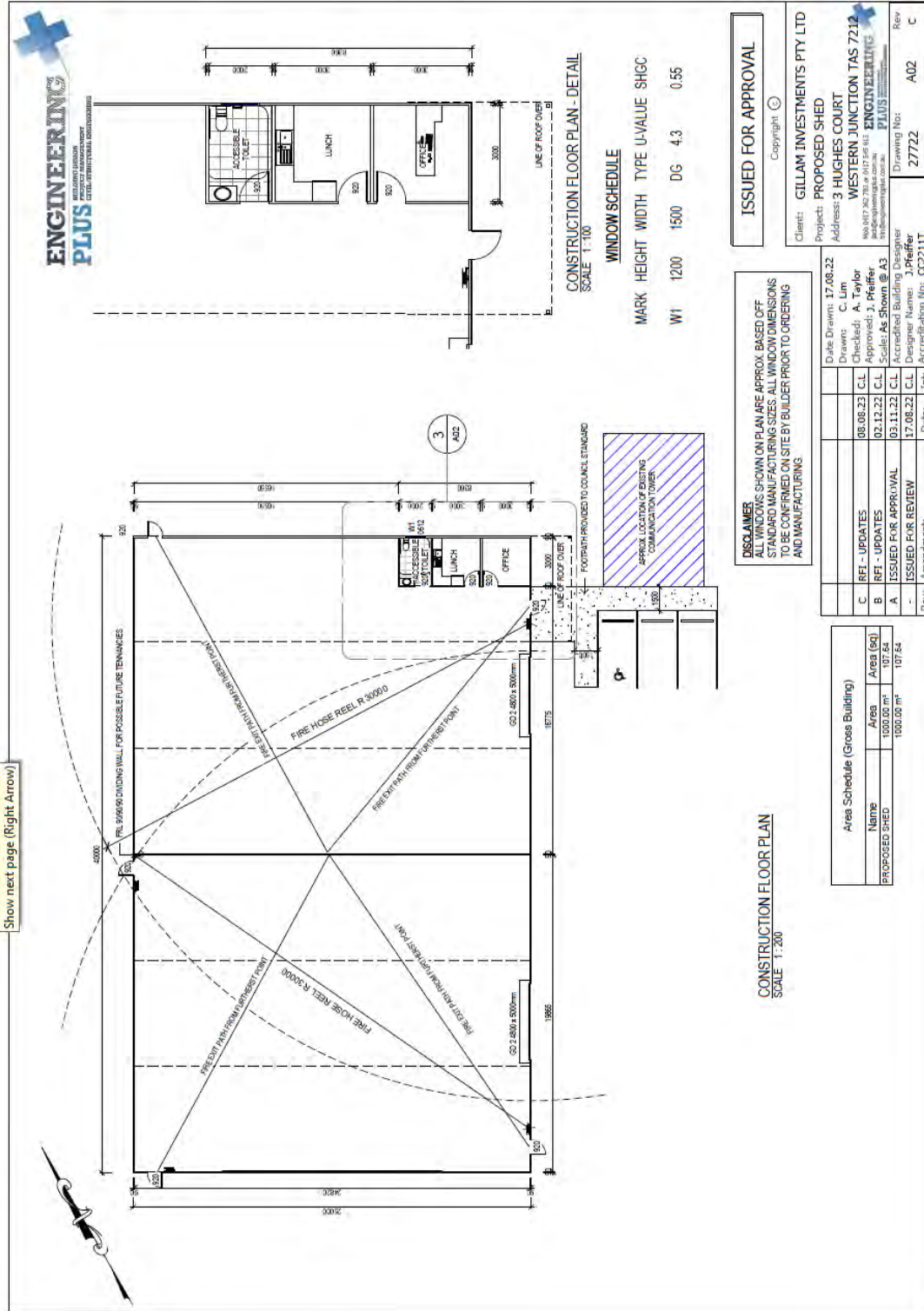
81 Elizabeth Street, Launceston, Tasmania 7250 jack@engineerplus.com.au, trin@engineerplus.com.au
 Jack 0417 362 783 or Trin 0417 545 813

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Project: PROPOSED SHED
Address: 3 HUGHES COURT
WESTERN JUNCTION TAS 7212
Mod 017 362 750 or 017 545 811
www.gillam-engineering.com.au
GILLAM ENGINEERING
TRAFFIC & CIVIL SERVICES

Drawing No: 27722 A02
Rev: C

DISCLAIMER
ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Date: 17.08.22
Drawn: C. Lim
Checked: A. Taylor
Approved: J. Pfeiffer
Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Rev.	Amendments	Date	Int.
A	ISSUED FOR APPROVAL	03.11.22	C.L.
B	RFI - UPDATES	02.12.22	C.L.
C	RFI - UPDATES	08.08.23	C.L.

CONSTRUCTION FLOOR PLAN
SCALE 1:200

Area Schedule (Gross Building)	
Name	Area (sq)
PROPOSED SHED	1000.00 m ²
	107.84
	107.84

Show next page (Right Arrow)

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Traffic Impact Statement



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Client: GILLAM INVESTMENTS PTY LTD
 Project: PROPOSED SHED
 Address: 3 HUGHES COURT
 WESTERN JUNCTION TAS 7212
REG 0417 202 TBS or 0415 546 813 ENGINEERING PLUS
 info@engineeringplus.com.au

Date Drawn: 17.08.22	Drawn: C. Lim
Checked: A. Taylor	Approved: J. Pfeiffer
02.11.23 C.L.	Scale: As Shown @ A3
03.11.23 C.L.	Accredited Building Designer
17.08.23 C.L.	Designer Name: J. Pfeiffer
Date:	Int: A03
Amendment:	Accreditation No: CC2211T

Drawing No: 27722
Rev: C

FLOOR COVERINGS

- COMMERCIAL GRADE (INT. FLOOR PLANKS & L. SKIRTING TO OWNERS SPECIFICATIONS)
- POLISHED CONCRETE FINISHING AND COATED WITH POLYURETHANE OR SIMILAR FINISH TO MATCH EXISTING (OWNERS SPECIFICATIONS)
- SUPERSTAIN VITRIFIED CERAMIC FLOOR TILES OR SIMILAR TO OWNERS SPECIFICATIONS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED SHED	1002.07 m ²	107.64
	1000.00 m ²	107.64

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Traffic Impact Statement



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PROFESSIONAL ENGINEERING
CITY OF PERTH DISTRICTS

NORTH ELEVATION
SCALE 1:200

SOUTH ELEVATION
SCALE 1:200

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SELECTED ALUMINIUM FRAMED WINDOWS - BCA VOLUME 2 PART 3.6
 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
 TADHAKIAN SAK REVEALS AND TRIMS, ALL FLASHING AND FRINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
 ALL FRINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

- WIND CLASSIFICATION AS4055 WIND DESIGN: N2 33m/s
- TERRAIN CATEGORY: T2.8 (P2)
- SERVICEABILITY DESIGN & WIND PRESSURE: 1002
- WATER RESISTANCE: 150

Date Drawn: 17.08.22	Date: 17.08.22	Client: GILLAM INVESTMENTS PTY LTD
Drawn: C. Lim	Project: PROPOSED SHED	Address: 3 WESTERN COURT
Checked: A. Taylor	Project: WESTERN JUNCTION TAS 7212	Address: 3 WESTERN COURT
Approved: J. Pfeiffer	Project: WESTERN JUNCTION TAS 7212	Address: 3 WESTERN COURT
Scale: As Shown @ A3	Project: WESTERN JUNCTION TAS 7212	Address: 3 WESTERN COURT
Accredited Building Designer	Project: WESTERN JUNCTION TAS 7212	Address: 3 WESTERN COURT
Designer Name: J. Pfeiffer	Project: WESTERN JUNCTION TAS 7212	Address: 3 WESTERN COURT
Accreditation No: CC2211T	Project: WESTERN JUNCTION TAS 7212	Address: 3 WESTERN COURT
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WEST ELEVATION
SCALE 1:200

EAST ELEVATION
SCALE 1:200

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-	ISSUED FOR REVIEW	17.08.22	J Pfeiffer	CC22111
A	ISSUED FOR APPROVAL	03.11.22	J Pfeiffer	CC22111
B	RFI - UPDATES	02.12.22	J Pfeiffer	CC22111
C	RFI - UPDATES	08.06.23	A Taylor	CC22111
D	DATE DRAWN	17.08.22	C Lim	CC22111

Client:	GILLAM INVESTMENTS PTY LTD
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Mobile:	0417 302 703, 0417 542 512
Email:	info@engineeringplus.com.au
Website:	www.engineeringplus.com.au
Accreditation:	PLUS
Drawing No:	27722
Rev	C





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CONSULTING ENGINEER
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INSULATION
PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

CEILING
R4.0 'RODWOOL' WULF INSULATION OR EQUIVALENT TO BE INSTALLED UNDER ROOF COMPOSITE PURLIN & R4.0 BLANKET

EXTERNAL WALLS
'TYVEK' HOUSE WRAP TO EXTERNAL FACE

R2.5 GLASSWOL BATTIS BETWEEN STUDS

SUB FLOOR
75mm POLYSTYRENE BETWEEN JOISTS OR R2.0 BATTIS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO BE FORWARDED TO THE BUILDING SURVEYOR.

WALL FRAMING
CONSTRUCTION GENERALLY AS TO COMPLY WITH THE REQUIREMENTS OF AS1684 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION) & THE BCA CODE PART 3.4.3

WALL FRAMING TO BE NFP10 RAUATA PHE MOISTURE - 90/35
OPEN STUDS - 90/35
TOP & BOTTOM PLATES - 90/35
BRACING TO AS 1684 & BCA CODE

WET AREAS
WATERPROOFING OF WET AREAS WITHIN THE DWELLING (E. SHOWERS, BATHROOMS, LAUNDRY ROOMS) TO BE INSTALLED TO AS 4637 PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE, AND TABLE 3.8.1.1

DOWNPIPPERS
DOWNPIPPERS TO BE 100mm x 100mm x 100mm (MIN) WITH BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW

HOLLOW CENTRES FOR GUTTERS TO BE 100mm x 100mm x 100mm (MIN) WITH PART 3.5.2.5 OF THE NCC

FASCIA
COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH OWNERS SPECIFICATIONS. COLOR TO OWNERS SPECIFICATIONS.

ROOF FRAMING
OWNERS CUSTOM ORB, COLOR TO OWNERS SPECIFICATIONS

ALL TRUSSES TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS JOINT DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH 3x10mm GALV. NAILS. ALL TRUSSES TO BE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No. 30x1.5 NAILS INTO DOUBLE PLATE. WIND BRACING TO COMPLY WITH NCC.

CARPINGS & FLASHINGS
ALLOW FOR PREPARED CARPINGS & FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH OWNERS SPECIFICATIONS. ALL FLASHINGS TO ROOF WENTS, FLASHES ETC. ALTERNATIVELY USE 'DROTTIE' OR SIMILAR FITTINGS TO ROOF PENETRATIONS

EAVES
OVERHANG ROOFS 600mm WHERE ROOFS OVERHANG LINE WITH FLEXIBOARD SHEETING.

EXTERNAL CLADDING
EXTERNAL WALL CLADDING - REFER ELEVATIONS
SUB FLOOR - REFER ELEVATIONS

WINDOWS
COLOURED ALUMINIUM WINDOW FRAMES, AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS. ALL DOORS AND WINDOWS TO BE INSTALLED IN ACCORDANCE WITH REFER AS 1238 & CURRENT BCA STANDARDS.

PLASTER
LINE WALLS AND CEILING INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SCOTIA CORNICE HOLDING TO CEILING JOINTION WITH WALL PLASTERBOARD SHEETING TO CEILING JOINTION. 'VULGARBOARD' MFR. BOARD OR OTHER APPROVED WATERPROOF LINING

SMOKE ALARMS
CIPSAL LIVESAVER 735 DIMENSIONAL SMOKE ALARM 200mm HARDWARED CEILING MOUNTED WITH 90CC TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH BCA PART 3.7.5.2.

SLABS & FOOTINGS
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO SOIL REPORT FOR FOOTING & CONCRETE SUB DETAILS. REFER DRAWINGS FOR FOOTING & CONCRETE SUB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

GUTTERS
INSTALL SELECTED COLORBOND QUAD GUTTERS WITH 100mm x 100mm x 100mm (MIN) WITH BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW

GUTTERS TO BE 450 WIDE COLORBOND STEEL TO COMPLY WITH OWNERS SPECIFICATIONS AND TURN UP ON BOTH SIDES LAP 150MM IN DIRECTION OF FLOW

SECTION
SCALE 1:100

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Client: GILLAM INVESTMENTS PTY LTD

Project: PROPOSED SHED

Address: 3 HUGHES COURT
WESTERN JUNCTION TAS 7212

Web: 0813 262 262
Email: info@engineeringplus.com.au
info@engineeringplus.com.au

Date Drawn: 17.06.22

Drawn: C. Lim

Checked: A. Taylor

Approved: J. Pfeiffer

Scaler: As Shown @ A3

Accredited Building Designer: J. Pfeiffer

Designer Name: J. Pfeiffer

Accreditation No.: CC21117

Rev: Amendment:

Rev	Int	Date
-	-	17.06.22
A	-	03.11.22
B	-	02.12.22
C	-	08.08.23

Date: 27722

Rev: A07

Rev: C

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INFRASTRUCTURAL DEVELOPMENT

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B	RFI - UPDATES	02.12.22	CL	Approved: J. Pfeiffer	WESTERN JUNCTION TAS 7212
A	ISSUED FOR APPROVAL	03.11.22	CL	Scale: As Shown @ A3	980 9417 362 783 or 0417 946 813 Engineering Plus info@engineeringplus.com.au
-	ISSUED FOR REVIEW	17.08.22	CL	Accredited Building Designer	Drawing No: 27722
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				Int: Accreditation No: CC2311T	

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RFT - UPDATES	02.12.22	C.L.	Accred:	As Shown @ A3	Accred:
ISSUED FOR APPROVAL	03.11.22	C.L.	Accred:	As Shown @ A3	Accred:
ISSUED FOR REVIEW	17.08.22	C.L.	Designer Name:	J. Pfeiffer	Accred:
Amendment:			Accred:		

Drawing No: 27722
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C - RFI - UPDATES	Drawn: C. Lim	06.08.23	C.L.	
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A - ISSUED FOR APPROVAL	Approved: J. Pfeiffer	03.11.22	C.L.	
- ISSUED FOR REVIEW	Scale: As Shown @ A3	17.08.22	C.L.	
Rev: Amendment:	Accredited Building Designer			
	Designer Name: J. Pfeiffer			
	Accreditation No: CC211T			

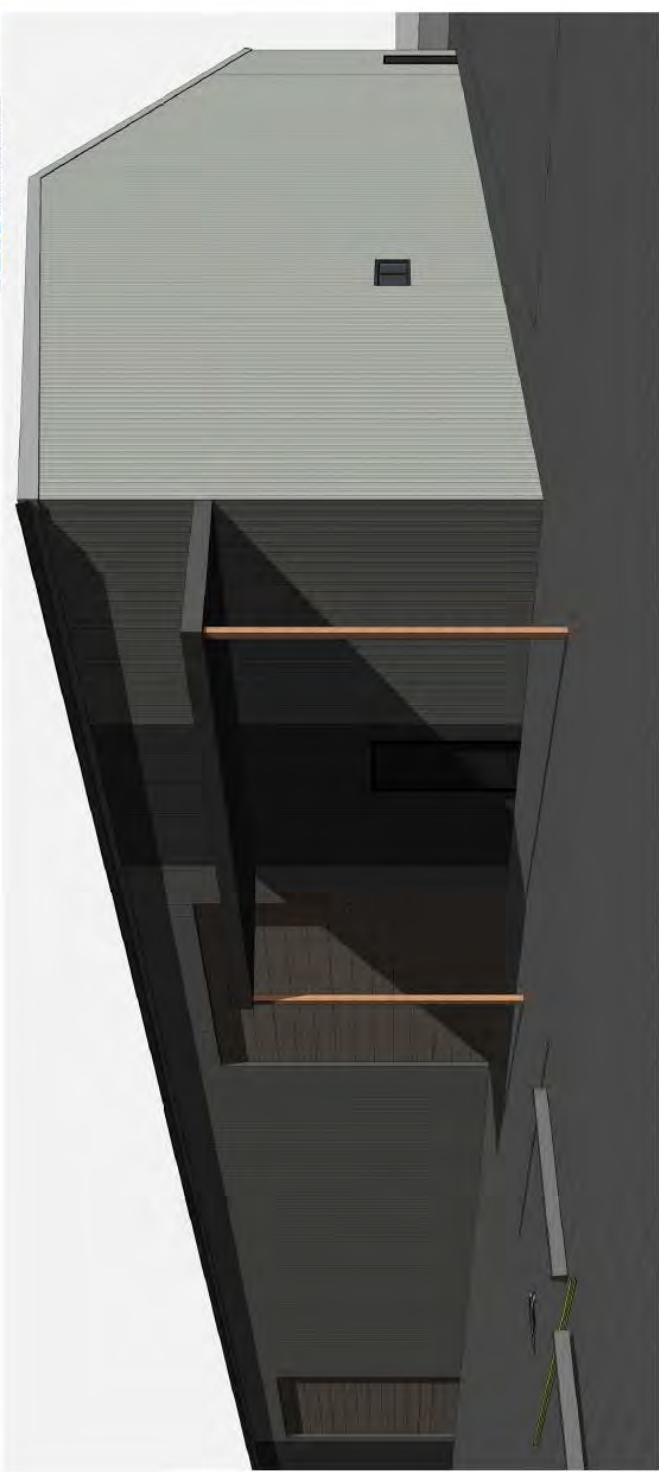
Client: GILLAM INVESTMENTS PTY LTD
 Project: PROPOSED SHED
 Address: 3 HUGHES COURT
 WESTERN JUNCTION TAS 7212
REG 0417 302 783 9 3642 746 813
 170/0417 302 783 9 3642 746 813
 170/0417 302 783 9 3642 746 813
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 Drawing No: 27722 Rev: A10 C

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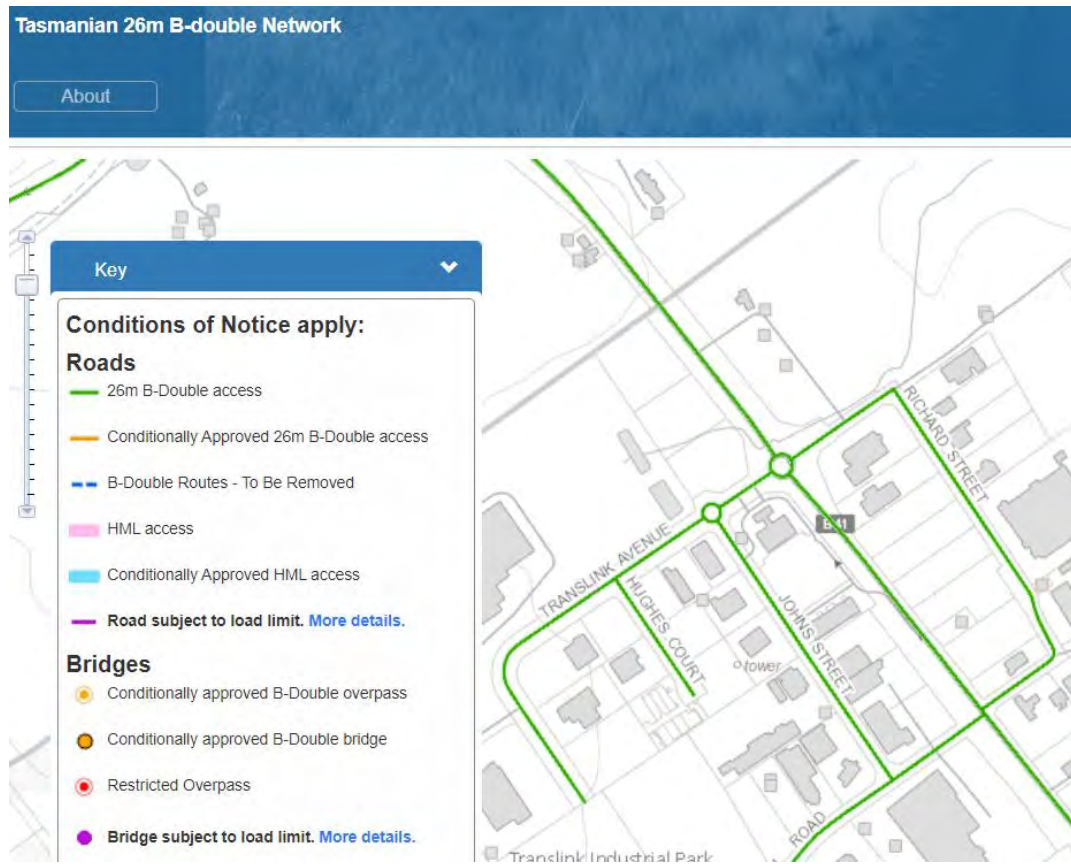
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Client: GILLAM INVESTMENTS PTY LTD	
Project: PROPOSED SHED	
Address: 3 HUGHES COURT	
WESTERN JUNCTION TAS 7212	
 110/113 300 parkwayengineering.com.au 011 834 2222 110/113 300 parkwayengineering.com.au 011 834 2222	
Date Drawn: 17.08.22	Drawn: C. Lim
C RFL - UPDATES 08.08.23 C.L	Checked: A. Taylor
B RFL - UPDATES 02.12.23 C.L	Approved: J. Pfeiffer
A ISSUED FOR APPROVAL 03.11.23 C.L	Scale: As Shown @ A3
- ISSUED FOR REVIEW 17.08.23 C.L	Accredited Building Designer
Rev. Amendment:	Designer Name: J Pfeiffer
	Accreditation No: CC2211
	Drawing No: 27722
	Rev. A11
	C

Traffic Impact Statement



Appendix B – Tasmanian 26m B Double Network



Traffic Impact Statement



Appendix C – Hughes Court Traffic Data

From site observations during March 2023, traffic activity on Hughes Court is estimated at up to 150vpd (2023).

From recent traffic impact assessments for other developments:

- Evandale Main Road (Translink Ave.) est. AADT is 9,650vpd (2022)
- Translink Ave. (Evandale MR) est. AADT is 1,000vpd (2023)

Received
17/04/2023

Exhibited

11th April 2023

Narelle Lobdale
Engineering Plus
81 Elizabeth Street
Launceston TAS 7250

Our ref: 2188

Your ref:

Dear Narelle,

Re: 3 Hughes Court– Stormwater Detention Modelling Investigation

Please see below a hydraulic summary of the stormwater detention design for the proposed industrial development at 3 Hughes Court, Western Junction.

1 Project Background

IPD Consulting Pty Ltd (IPD) has been engaged to design a stormwater detention system for the proposed industrial development at 3 Hughes Court, Western Junction. As per Northern Midlands Council's requirements, IPD have estimated the pre-development flow rate of stormwater discharged by this parcel by assuming 100% pervious site coverage, IPD have determined a gravity stormwater system is viable for this site and propose a combination of above and below-ground storage to ensure the post-development flow rate does not exceed than the pre-development flow rate.

2 Stormwater Design Criteria

To satisfy the conditions of the Council's planning scheme, the post-development stormwater flow rate is required to be limited to the pre-development flow rate in the peak 1% AEP event. IPD contacted Council for a downstream condition at the proposed connection point. From this discussion, IPD propose that outlet control be implemented with the assumption that council's pipe is flowing full.

3 Stormwater Modelling

3.1 Modelling Overview

IPD undertook an assessment of the development site using a 1D Infoworks ICM model to estimate the peak flows during the 1% AEP Event. Hydrology was initially modelled using ARR suggested parameters of a storm initial loss of 18mm and storm continuing loss of 5mm/h, however, no runoff was generated. Detention cannot be calculated unless some pre-development runoff is present, so based on experience, IPD have applied an initial loss of 10mm and continuing loss of 2mm/h for all pervious surfaces in both the pre and post-development models.

A portion of the site noted as Council Detention Basin is an existing detention basin, owned and maintained by Council that forms part of the public stormwater system. For the purpose of this report, this section of the parcel has been excluded from the assessment.

The proposed detention system consists of a 29.2m³ above ground detention formed in the driveway, 4.6m³ storage in DN300 pipe and 600mm square grated pits, and a 23.65m³ round corrugated tank with a 35mm tank orifice and 100mm high-level overflow, noting that tank overflow is captured by the below-ground detention system.

3.2 Sub-catchment Land Coverage

Each sub-catchment was modelled as varying percentages of pervious and impervious site coverage, with runoff parameters as outlined in previous section 3.1. The legend for land coverage used in the following model figures are shown below in Table 1.



Sub-catchment	Land coverage	Style
Hardstand	100% impervious	
Natural Ground	0% impervious	

Table 1: Sub-catchment Legend

3.3 Pre-Development Site Model

The pre-development model is created based on Engineering Plus' plan, available cadastral parcel information, and LiDAR. An extract of the model is shown in Figure 1



Figure 1: Pre-Development site model

The peak pre-development flow rate in the range of 1% AEP stormwater events is estimated to be 16.2L/s. This result was checked against a Rational Method calculation for the site with 10% impervious site coverage, and a result of 15L/s was determined with this method.

3.4 Post-Development Site Model

The post-development model was created based on the proposed Engineering Plus Development Layout plan as shown below in Figure 2:

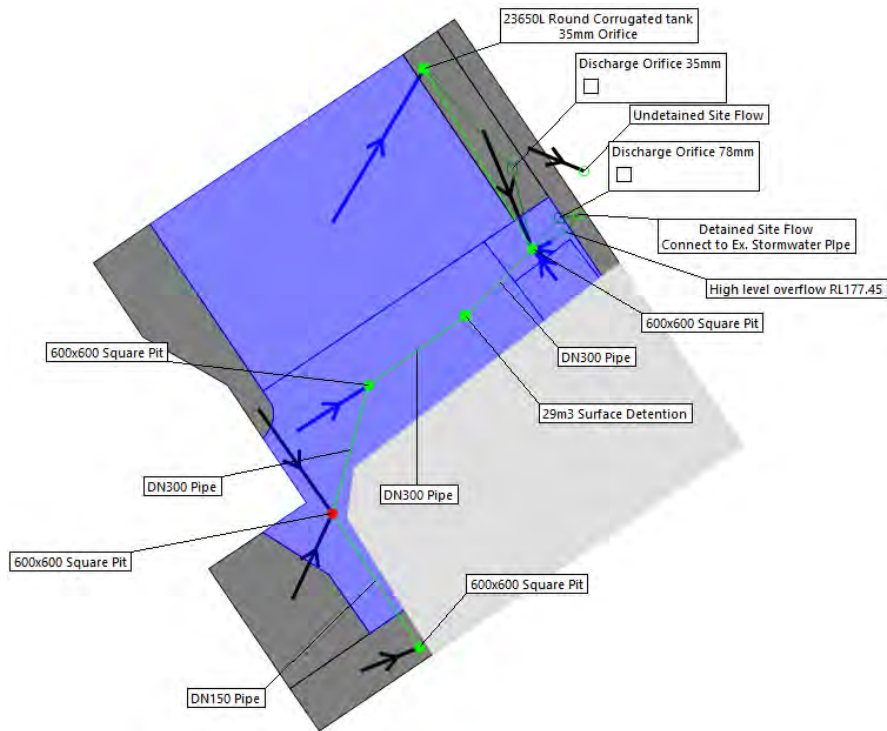


Figure 2: Post-Development Site Model

In this model, it has been assumed that some pervious areas bypass the detention system. These flows have been considered when sizing the detention system for the remainder of the site. Runoff from the remainder of the property is directed into the site stormwater system, before being collected by the detention system in the driveway.

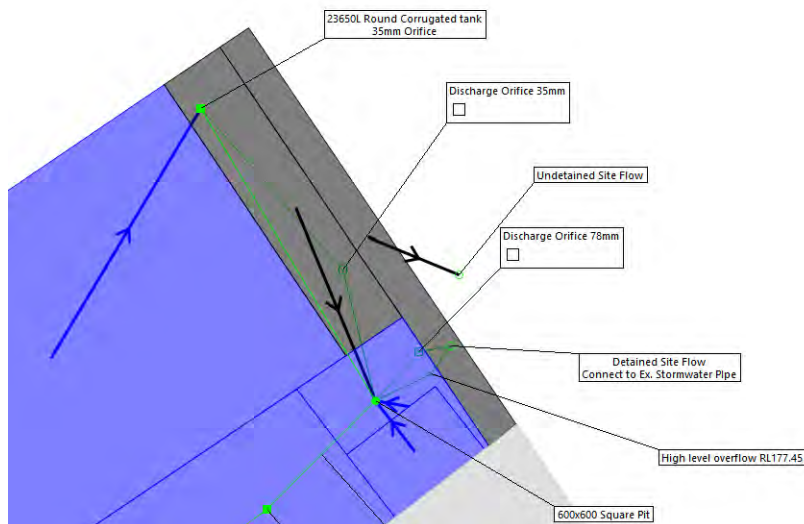


Figure 3: Post-Development Site Model – Outlet Details

The detention infrastructure has been sized such that the detention basin does not overtop during the peak 1% event. A 78mm orifice plate has been applied to the outlet with a max working head of 167mm. This effectively limits the site discharge in the 1% event to 15.6 L/s.

4 Proposed Infrastructure

The detention infrastructure proposed to meet Council's requirements is summarised in Table 2 below:

Proposed Infrastructure	Detention volume
33x14m Driveway surface detention	29.2 m ³
3(No) 600x600 Square grated pit	1.1m ³
49m DN300 BlackMAX	3.5 m ³
1(No) 23650L Round corrugated tank	23.65 m ³
Total	57.5 m³

Table 2: Proposed Infrastructure

5 Detention Performance

The above ground storage area does not surcharge in the 20% AEP event, with the entire detention volume being contained in underground and tank infrastructure. This is considered a reasonable level of amenity, as the above ground storage is not utilised on a regular basis to control site flows.

During the peak 1% event, water levels in the driveway reach a depth of 167mm at the deepest point above the pit. The detention system is also able to fully detain the 1% event, providing the performance outcome which is required by Council. A longsection of the in-ground detention during the 1% event can be seen in Appendix A.

Surcharge levels in the driveway have been checked against the Australian Disaster Resilience Handbook Collection Guideline - Flood Hazard. With a maximum water depth of 167mm and a velocity of 0m/s, the detention basin is in the H1 Hazard Vulnerability Classification, which is described as generally safe for vehicles, people, and buildings.

6 Key Assumptions

- Sub-catchment land use and levels of development infill are assumed to be as shown in the figures contained within this report.
- Sub-catchments are assumed to be routed into the network as shown.
- Stormwater pit and driveway detention levels constructed as specified in this report.
- Assumed proposed building finish floor level to be RL177.5 and 600mm square grated stormwater pit, lid level to be RL177.25.
- A new 100mm diameter stormwater lot connection is able to be installed as shown at IL176.24, which has been interpolated from upstream and downstream levels from Council's GIS.

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Exhibited

7 Discussion and Conclusion

As demonstrated in this report, the proposed industrial development is able to fully detain the peak 1% AEP storm event on-site, without exceeding the pre-development site discharge.

On this basis, IPD considers the proposed stormwater system adequate to achieve the conditions required by Northern Midlands Council and kindly request a planning permit be issued to the applicant.

We trust that the above letter provides the information you require. If you require any further information or clarification on any aspect of the above, please don't hesitate to contact me on Mob: 0467 246 156 or Email: dmayne@ipdconsulting.com.au

Yours faithfully

IPD Consulting Pty Ltd



Duncan Mayne

Civil Engineer