

	<p>Within a local heritage precinct, extensions to existing buildings must be compatible with the local heritage precinct, having regard to:</p> <ul style="list-style-type: none"> (a) the streetscape or townscape values identified in the local historic heritage significance of the local heritage precinct, as identified in the relevant Local Provisions Schedule; (b) the character and appearance of the surrounding area; (c) the height and bulk of other buildings in the surrounding area; (d) the setbacks of other buildings in the surrounding area; and (e) any relevant design criteria or conservation policies for the local heritage precinct, as identified in the relevant Local Provisions Schedule <p>P1.3</p> <p>Within a local historic landscape precinct, design and siting of buildings and works, excluding demolition, must be compatible with the local historic landscape precinct, having regard to:</p> <ul style="list-style-type: none"> (a) the landscape values identified in the statement of local historic heritage significance for the local historic landscape precinct, as identified in the relevant Local Provisions Schedule; and (b) any relevant design criteria or conservation policies for the local historic landscape precinct, as identified in the relevant Local Provisions Schedule.
<p>Comment: N/a</p>	
<p>A2</p> <p>Within a local heritage precinct, new front fences and gates must be designed and constructed to match the existing original fences on the site.</p>	<p>P2</p> <p>Within a local heritage precinct, new front fences and gates must be compatible with the local heritage precinct, having regard to:</p> <ul style="list-style-type: none"> (a) the streetscape or townscape values identified in the local historic heritage significance of the local

	<p>heritage precinct, as identified in the relevant Local Provisions Schedule;</p> <p>(b) height, form, style and materials of the proposed fence; and</p> <p>(c) the style, characteristics and setbacks of fences and gates in the surrounding area.</p>
<p>Comment: N/a</p>	

C6.8 Development Standards for Places or Precincts of Archaeological Potential

C6.8.1 Building and Works

<p>Objective:</p>	<p>That building and works on a place or precinct of archaeological potential is implemented in a manner that seeks to retain or protect, preserve or otherwise appropriately manage archaeological evidence.</p>
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>No Acceptable Solution.</p>	<p>P1</p> <p>Building and works on places or precincts of archaeological potential must not cause an unacceptable impact on archaeological evidence, having regard to:</p> <p>(a) the nature of the archaeological evidence, either known or potential;</p> <p>(b) measures proposed to investigate the archaeological evidence to confirm statements of potential;</p> <p>(c) strategies to avoid, minimise or control impacts arising from building, works and demolition;</p> <p>(d) measures proposed to preserve significant archaeological evidence in situ; and</p> <p>(e) any advice contained in a statement of archaeological potential.</p>
<p>Comment: N/a</p>	

C6.9 Significant Trees

C6.9.1 Significant Trees

Objective:	That significant trees are not unnecessarily destroyed and are managed in a way that maintains their health, structural stability and appearance.	
Acceptable Solutions		Performance Criteria
A1	No Acceptable Solution.	P1 Works involving construction, soil disturbance or soil compaction within the tree protection zone of a significant tree must not impact the health and appearance of the tree, and be supported by a written statement to that effect prepared by a suitably qualified person.
Comment:		
A2	No Acceptable Solution.	P2 Works requiring the removal of a listed tree or which may impact on the health, structural stability or appearance of a listed tree must demonstrate: (a) that there are no feasible alternatives which could be implemented to avoid impacting on the tree and the proposed methodology of the works incorporates measures to minimise and mitigate any damage to the tree; and (b) there are environmental, economic or safety reasons of greater value to the community than the cultural significance of the tree; or the tree is determined to be dead or dying based on a written statement to that effect prepared by a suitably qualified person.
Comment: There are no significant trees to be removed on the subject site.		

C6.10 Development Standards for Subdivision

C6.10.1 Lot design on a Local Heritage Place

Objective:	That subdivision does not cause an unacceptable impact on the local historic heritage significance of local heritage places.	
Acceptable Solutions		Performance Criteria

<p>A1</p> <p>No Acceptable Solution.</p>	<p>P1</p> <p>Subdivision must not cause an unacceptable impact on the local historic heritage significance of a local heritage place, having regard to:</p> <ul style="list-style-type: none"> (a) the local historic heritage significance of the local heritage place identified in the relevant Local Provisions Schedule; (b) the historic development pattern of the area; (c) the separation of buildings or structures from their original setting; (d) the lot sizes, dimensions, frontage, access and orientation; (e) the suitability of the proposed lots for their intended uses; and (f) the removal of vegetation, trees or garden settings.
<p>Comment: N/a</p>	

C6.10.2 Lot design for a Local Heritage Precinct or a Local Historic Landscape Precinct

<p>Objective:</p>	<p>That:</p> <ul style="list-style-type: none"> (a) subdivision within a local heritage precinct is consistent with historic patterns of development; and (b) subdivision within a local historic landscape precinct is compatible with the character of the precinct.
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>No Acceptable Solution.</p>	<p>P1</p> <p>Subdivision must be compatible with the local historic heritage significance of a local heritage precinct or a local historic landscape precinct, as identified in the relevant Local Provisions Schedule, having regard to:</p> <ul style="list-style-type: none"> (a) any relevant design criteria or conservation policy for a local heritage precinct or local historic landscape precinct, as identified in the relevant Local Provisions Schedule; and (b) the historic pattern of subdivision of the precinct.
<p>Comment: The proposed subdivision is on internal land and therefore, does not form part of an historic streetscape.</p>	

The layout of the proposed streets and lots is considered acceptable within the context of the site and will therefore have no adverse impact on the historic cultural significance of the precinct.

Future house designs on the new lots will be subject to assessment under the Heritage Code

C6.10.3 Subdivision works for places or precincts of archaeological potential

Objective:	That works associated with subdivision, including infrastructure, do not increase the likelihood of adverse impact on a place or precinct of archaeological potential.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No Acceptable Solution.</p>	<p>P1</p> <p>Works associated with subdivision must not increase the likelihood of adverse impact on archaeological evidence on places or precincts of archaeological potential, having regard to:</p> <ul style="list-style-type: none"> (a) the nature, extent and significance of the archaeological evidence existing on the land; (b) any significant impact upon archaeological evidence or potential; (c) any increased likelihood of future development that is incompatible with a place or precinct of archaeological potential; (d) the statement of archaeological potential for the place or precinct identified in the relevant Local Provisions Schedule; and (e) any advice contained in a statement of archaeological potential.
<p>Comment: N/a</p>	



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-23-0085	Council notice date	6/06/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00730-NMC	Date of response	17/07/2023
TasWater Contact	Shaun Verdouw	Phone No.	0467 901 425
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	7A WILLIAM ST, CAMPBELL TOWN	Property ID (PID)	9240372
Description of development	18 Lot Subdivision (15 Residential, 1 Road Lot, 2 Footway Lots)		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
RARE.	231007 – COV, C000, C101, C102, C501, C502, C531, C601, C701,	A	29/03/2023
Woolcott Surveyors	L220916	V3.0	31/01/2023
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized water supply with metered connections and sewerage system and connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
3. Prior to commencing construction of the subdivision, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
ASSET CREATION & INFRASTRUCTURE WORKS			
4. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains.			
5. Prior to applying for a Permit to Construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.			
6. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.			
7. In addition to any other conditions in this permit, all works must be constructed under the			



supervision of a suitably qualified person in accordance with TasWater's requirements.

8. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings/documents and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
9. After testing/disinfection, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
10. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved.
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made.
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee.
 - d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

Upon TasWater issuing a Certificate of Practical Completion, the newly constructed infrastructure is deemed to have transferred to TasWater.
11. After the Certificate of Practical Completion has been issued, a 12-month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12-month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". TasWater will release any security held for the defect's liability period.
12. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
13. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.
14. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

15. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for



sealing is made.

Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.

- 16. Pipeline easements and, to TasWater’s satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater’s standard pipeline easement conditions.
- 17. In the event that the property sewer connection for affected lots cannot control the lot for a gravity connection, the Plan of Subdivision Council Endorsement Page for those affected lots is to note, pursuant to Section 83 of the Local Government (Building and Miscellaneous Provisions) Act 1993, that TasWater cannot guarantee sanitary drains will be able to discharge via gravity into TasWater’s sewerage system.

Advice: See WSA 02—2014-3.1 MRWA Version 2 section 5.6.5.3 Calculating the level of the connection point

- 18. Prior to the issue of a TasWater Consent to Register a Legal Document, the applicant must submit a .dwg file, prepared by a suitably qualified person to TasWater’s satisfaction, showing:
 - a. the exact location of the existing sewerage infrastructure,
 - b. the easement protecting that infrastructure.

The developer must locate the existing TasWater infrastructure and clearly show it on the .dwg file. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost.

DEVELOPMENT ASSESSMENT FEES

- 19. The applicant or landowner as the case may be, must pay a development assessment fee of \$749.17, and a Consent to Register a Legal Document fee of \$248.30 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.
The payment is required within 30 days of the issue of an invoice by TasWater.
- 20. In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice

Advice to Planning Authority (Council) and developer on fire coverage

TasWater cannot provide a supply of water for the purposes of firefighting to the lots on the plan.

Boundary Conditions

Location	H.G.L. Peak hour	H.G.L Peak Day + 10 l/s fire flow
A262506	230	220

Please note that whilst modelling indicated there is sufficient pressures during domestic usage, the fire flow residual pressure at the property connection 22m. This is less that the required 25m (Table 3.1.5 Fire Flow TW Supplement to WSA03).

This is a known issue in all of Campbell Town.

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>



For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Water Submetering

As of July 1, 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

(a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.

Further information can be obtained from TasWater.

(b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.

(c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

REFERRAL OF DEVELOPMENT APPLICATION PLN-23-0085 TO WORKS & INFRASTRUCTURE DEPARTMENT

Property/Subdivision No: 305100.155

Date: 6 June 2023

Applicant: Woolcott Surveys

Proposal: 18 Lot Subdivision (15 Residential, 1 Road Lot, 2 Footway Lots)

Location: 7A William Street, Campbell Town

W&I referral PLN-23-0085, 7A William Street, Campbell Town

Planning admin: W&I fees paid.

Jonathan - if you require further information, advise planning section as soon as possible – there are only 14 days from receipt of permitted applications and 21 days from receipt of discretionary applications to stop the clock.

Please inspect the property and advise regarding stormwater/drainage, access, traffic, and any other engineering concerns.

Is there is a house on one of the lots?	No
Is it connected to all Council services?	N/A
Are any changes / works required to the house lot?	N/A
Are the discharge points for stormwater, infrastructure that is maintained by Council? (This requires a check to ensure the downstream infrastructure is entirely owned, maintained, operated by Council and have been taken over as Council assets.)	Yes

Stormwater:

Does the physical location of stormwater services match the location shown on the plan? (Requires an on-site inspection)	Yes
Is the property connected to Council's stormwater services?	Yes
If so, where is the current connection/s?	Existing main near northern boundary
Can all lots access stormwater services?	Yes
If so, are any works required?	Yes, as per plan
Is stormwater detention required	N/A
Has a stormwater detention design been submitted	N/A
If so, is it designed for 20- year ARI with overland flow path to road or any other low risk Council approved place of discharge.	N/A
If no to above , has the design for 100 – year ARI been done.	N/A
If yes to any of the above, does it comply with Councils stormwater policy	N/A
Is the design approved by works & infrastructure	N/A
Please quote drawing numbers and any other relate documentation (email etc.)	#:
Additional Comments/information	N/A

Stormwater works required:

<i>Works to be in accordance with Standard Drawing TSD-SW25 – a 100mm stormwater connection to each lot.</i>	
Is there kerb and gutter at the front of the property?	Yes
Are any kerb-and-gutter works required?	Yes, as per design plans

Road Access:

Does the property have access to a made road?	Yes
If so, is the existing access suitable?	Yes
Does the new lot/s have access to a made road?	Yes
If so, are any works required?	As per design plans

Is off-street parking available/provided?	Yes
Road / access works required:	
<i>Works to be in accordance with Standard Drawing TSD R09 - concrete driveway crossover & hotmix sealed apron from the edge of ... Street/Road to the property boundary of Lot/s ...</i>	
Is an application for vehicular crossing form required?	No as all lots are on a new road
Is a footpath required?	Yes
Extra information required regarding driveway approach and departure angles	No
Are any road works required?	No
Are street trees required?	Yes
Additional Comments:	An Engineer's design is not required.

Engineer's comment:

It should be noted that the stormwater mains are very shallow and it will be difficult to fully drain some lots. I have asked for building envelopes to be shown on plans as a condition.

WORKS & INFRASTRUCTURE DEPARTMENT CONDITIONS

STANDARD CONDITIONS FOR SMALL SUBDIVISIONS

W.1 Stormwater

- a) Each lot must be provided with a connection to the Council's stormwater system, constructed in accordance with Council standards and to the satisfaction of Council's Works & Infrastructure Department.
- b) A stormwater report and design plans, including calculations long sections and the depth, size and grade of all mains is to be provided to Council for approval prior to the commencement of any works on site.
- c) A building envelope show be shown on any lots where the stormwater connection cannot provide drainage for the entire lot

W.2 Access (Urban)

- d) A concrete driveway crossover and apron must be constructed from the edge of the street to the property boundary of each Lot in accordance with Council standards.

W.3 Roadworks

- e) Kerb and channel and a 1.8m wide concrete footpath shall be constructed to service all.
- f) All new roads or road widening works are to be hotmix sealed.
- g) An engineering design of the road footpath and drainage system including pavement long sections and cross sections is to be approved by Council before the commencement of works on site.

W.3 As constructed information

As Constructed Plans and Asset Management Information must be provided in accordance with Council's standard requirements.

W.4 Municipal standards & certification of works

Unless otherwise specified within a condition, all works must comply with the Municipal Standards including specifications and standard drawings. Any design must be completed in accordance with Council's subdivision design guidelines to the satisfaction of the Works & Infrastructure Department. Any construction, including maintenance periods, must also be completed to the approval of the Works & Infrastructure Department.

W.5 Works in Council road reserve

- a) Works must not be undertaken within the public road reserve, including crossovers, driveways or kerb and guttering, without prior approval for the works by the Works Manager.
- b) Twenty-four (24) hours notice must be given to the Works & Infrastructure Department to inspect works within road reserve, and before placement of concrete or seal. Failure to do so may result in rejection of the vehicular access or other works and its reconstruction.

W.5 Works on Council Infrastructure

The applicant must complete a Council Road Opening Permit prior to constructing any infrastructure in the road reserve which will become Council responsibility including kerb and channel, footpaths and stormwater. Works must not commence until the permit has been approved by Council.

W.7 Easements to be created

Easements must be created over all Council owned services in favour of the Northern Midlands Council. Such easements must be created on the final plan to the satisfaction of the General Manager.

W.8 Pollutants

- a) The developer/property owner must ensure that pollutants such as mud, silt or chemicals are not released from the site.
- b) Prior to the commencement of the development authorised by this permit the developer/property owner must install all necessary silt fences and cut-off drains to prevent soil, gravel and other debris from escaping the site. Material or debris must not be transported onto the road reserve (including the nature strip, footpath and road pavement). Any material that is deposited on the road reserve must be removed by the developer/property owner. Should Council be required to clean or carry out works on any of their infrastructure as a result of pollutants being released from the site the cost of these works may be charged to the developer/property owner.

W.9 Nature strips

Any new nature strips, or areas of nature strip that are disturbed during construction, must be topped with 100mm of good quality topsoil and sown with grass. Grass must be established and free of weeds prior to Council accepting the development.

W. 10 Planting of Street Trees

- c) Prior to the commencement of works on site a plan must be provided showing the proposed location of all street trees for approval by Council. Where possible a street tree must be provided for each lot.
- d) PLEASE INCLUDE MOST RECENT CONDITIONS ABOUT STREET TREE PLANTING

W.11 Bonds

The subdivision shall be subject to a maintenance period and a bond shall be held by Council until the completion of the maintenance period and a satisfactory final completion inspection. The bond shall be calculated based on 5% of the total cost of works based on Council's standard road construction rates.

Jonathan Galbraith (Engineering Officer)

Stormwater discussed with Leigh McCullagh (Works Manager)

Date: 8/9/23

8th August 2023

Received
09/08/2023

Keryn Smith-Harvey and Luke Harvey
Gallery 81
81 High Street
CAMPBELL TOWN TAS 7210

General Manager
Northern Midlands Council
PO Box 156
LONGFORD TAS 7301

Dear Planning Committee,

RE: REPRESENTATION FOR PLN-23-0085 7A WILLIAM STREET CAMPBELL TOWN

We would like to state our concerns/objections to the proposed development behind our business and home.

We invested a substantial amount of funds in building our art gallery and home at 81 High Street Campbell Town in 2016 largely due to view that this position provided. The “wall of glass” installed was to enhance our customers experience when visiting our establishment, see photo below.



By approving this development, it will impact on this experience. As we live onsite our view from our home will also be impacted. This will severely affect our property value.

Having to look at **15 houses** on small blocks of land is not what we envisaged would be contemplated or approved for future use of this land. I don't believe this development is in the spirit of “retaining the rural township character”.

The original masterplan was for **10 lots** (NOR-S2.2.2) which is still disappointing but more acceptable.

NORTHERN MIDLANDS COUNCIL					
File No.					
Property					
Attachment					
REC'D 16 AUG 2023					
	L	A		L	A
GM			PLN		✓
D&DM			PLD		
CSM			LYB		
WM			EA		
HR					
PLT					

9th August 2023

Liz Chivers
 9 William Street
 CAMPBELL TOWN TAS 7210

General Manager
 Northern Midlands Council
 PO Box 156
 LONGFORD TAS 7301

Dear Planning Committee,

RE: REPRESENTATION FOR PLN-23-0085 7A WILLIAM STREET CAMPBELL TOWN

I would like to state my concerns/objections to the proposed development behind and next to my home.

By approving this development, it will impact on my every day life. The increase in traffic is predicted to be 135 vehicles per day going in and out of this new development. My home is situation on the corner of the proposed new road therefore there will be increase traffic noise as well as increased pedestrian activity. With no parking/standing signs recommended for both cul-de-sacs this may lead to more on-street parking around my house for visitors to these 15 lots.

Having **15 houses** on small blocks of land doesn't seem to align with the objective of "retaining the rural township character" especially installing solid metal 2.1m and 2.4m high fences on the southern and eastern sides for Bushfire Management and Noise Reduction.

The original masterplan was for **10 lots** (NOR-S2.2.2) which is still disappointing but more acceptable. The increase in traffic movement would be considerably less.

In conclusion my reasons to objecting to this development are:

- Increase to the number of lots from the original masterplan
- Increasing the traffic and pedestrian activity from the original masterplan
- Does not truly meet the objective "Retains the rural township character"

I thank you for taking the time to read my communication.

Yours sincerely,



Liz Chivers

Rosemary Jones

From: Jennifer Jarvis <
Sent: Friday, August 18, 2023 12:29 PM
To: NMC Planning <planning@nmc.tas.gov.au>
Subject: Urgent Attention of the Planning Department

Your reference – PLN-23-0085 – 7A William Street & East Street Campbell Town.

1

Dear Planning Department,

Please see below and attached TasRail correspondence with Council Planning in relation to the proposed subdivision as per the above reference.

I note TasRail has not received any follow-up correspondence from Council since our emails of 17 June 2023 – nor have we had any contact from WoolcoH Surveys.

However, a random search of the NMC website today identified a planning application for PLN-23-0085 open for public comment, but with a closing date of today – 18 August 2023.

Can you please advise why TasRail has not been notified, why TasRail was not sent the hydrology report that we requested in my email of June 17 2023 and no detail of the NMC plans to improve existing open drainage. From a very quick review of the documents, we note the proposal still appears to include headwalls discharging into the rail corridor; and we also note the commentary in the documents that there are no impacts predicted for the railway line.

In light of the above, and given TasRail has not had time to appropriately read the documents it has only just discovered, can you please provide us with an extension of time to ensure we can consider review the information?

Kind regards

Jennifer Jarvis



Group Manager Property and Compliance | Property

11 Techno Park Drive, Kings Meadows, Tasmania, 7249

'Tasmania's trusted provider of safe and dependable rail logistics solutions'



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Planning Department
Attention: Paul Godier
Northern Midlands Council
By email: Planning@nmc.tas.gov.au

3 October 2023

Dear Planning

Regarding representations received to PLN-23-0085 for 7a William Street Campbell Town and additional matters discussed regarding the proposal.

Thank you for the opportunity to provide a response to the representations received from advertising of the above-mentioned application. The matters mentioned are summarised and discussed as follows.

The underlying zone of the land is General Residential. It stands to reason that the land will be developed accordingly. The purpose of the General Residential Zone (GRZ) is to provide for (among other things) residential use or development that accommodates a range of dwelling types with reticulated services. The Specific Area Plan (SAP) adds to this by seeking the provision of residential use and development that is *compatible* with the existing rural township character (NOR-S2.8.1) and lots that are suitable for development appropriate to the purpose of the *zone* and SAP... (NOR-S2-8.2).

Both the zone and the SAP provide for residential development. The SAP also seeks to encourage subdivision of key development sites, with *large lots* and *minimal internal lots* (NOR-S2.1.6).

The objective of '*rural township character*' is not defined, and '*large lots*' are not defined in measurement of area.

The proposed seeks residential subdivision on a key development site. The proposal plan before you has an increase of 4 lots from the ten lot design in the masterplan. Each proposed lot is over 600m² in area and as negotiated, no internal lots included in the plan. The GRZ minimum lot size is 450m² so the lots are large in comparison. Clause NOR-S2.8.1 does not specify a preferred lot size. Clause NOR-S2.8.2 Lot design specifies 600m² under the acceptable solutions. 'Large lots' is not defined, so it is reasonable to infer that 600m² is considered acceptable, or reasonable under the SAP.

We also refer to the phrasing of NOR-S2.8 P1 which dictates the test of the clause:

'Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable are and dimensions suitable for it's intended use...' Given that the acceptable solution is 600m² it is reasonable to assume

LAUNCESTON

10 Goodman Court INVERMAY
PO Box 593 Mowbray TAS 7250
03 6332 3760

ST HELENS

48 Cecilia Street ST HELENS
PO Box 430 St. Helens TAS 7216
03 6376 1972

HOBART

Rear Studio 132 Davey Street
Hobart TAS 7000
6227 7968



that the lots are acceptable to the performance criteria as they all exceed this size, and they are suitable for the intended use.

In comparing the proposed development to the surrounding area, there are many lots that are larger, but they include alternative uses, not residential, including Open Space Zone and Community Purpose Zone. The adjoining existing residential development, on William Street, includes standard lots of 600m² – 700m² (predominantly). The proposed lots are entirely compatible in lot size. (The areas for each lot are shown here, as taken from LISTMap).



The SAP plan purpose expresses a goal for the provision for ‘*rural*’ character, but it should be remembered, that as a part of this, the SAP seeks a **township**, which requires people living and taking part in local life, and somewhere for them to live. Further, the objective is not to retain ‘*rural character*’ but seek *compatibility* with it. The proposed does not diminish the existing built form that contributes to ‘character’ in Campbell Town.

The other aspect to NOR-s2.8.1 P1, is the provision of public open space in optimal locations. This has been replicated in the proposal plan without variation.

The proposal plan replicates the cul-de-sac road design, without variation.

In all, the proposed plan of subdivision is reasonable in how it responds to the masterplan.

The proposed fence is required from a bushfire safety perspective. It is not in a location that is highly visible from public places, such as High Street, or Valentine Park. It covers a short section adjoining

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the public land on East Street and a part of the south side boundary. The inclusion of a fence on sections of the boundary are not thought to have a major impact on the rural character of the township.

In relation to the query of boundary fences against the neighbouring lot, specifically to 'The Grange' - 4 Commonwealth Lane, Campbell Town, I refer to Table C6.4.1 Exempt Development.

Exempt Development	Qualifications
Development within a local heritage place, local heritage precinct or local historic landscape precinct	b) the construction or demolition of: <ul style="list-style-type: none"> i. side and rear boundary fences: <ul style="list-style-type: none"> a. not adjoining a road or public reserve; and b. not more than a total height of 2.1m above existing ground level, except where they are within a garden or grounds that is specifically part of a local heritage place listed in the relevant Local Provisions Schedule; or ii. fencing of agricultural land or for protection of wetlands and watercourses;

I cannot find any information that includes the fencing as having any heritage importance of value to the site, and suggest that it is exempt under C6.4.1. In addition, we understand that the fence is mostly hidden from view by existing vegetation, and so the visual impact would be minimal in relation to this site.

Thank you for your consideration,

With regards

Michelle Schleiger

Land use and development planner

Woolcott Surveys

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Paul Godier

From: Michelle Schleiger <michelle@woolcottsurveys.com.au>
Sent: Tuesday, 3 October 2023 3:30 PM
To: NMC Planning; Paul Godier
Cc: Rebecca Green; Colin Smith; James Stewart; Brett Woolcott
Subject: RE: 7a William Street Campbell Town - post meeting
Attachments: L220916 - 305100.155PLN-23-0085.pdf; L220916_Proposal Plan_V4.2_021023_Draft.pdf

Hi Paul

Please see attached amended plan for 7a William Street (as a draft for now).

This was discussed with the developers, who were obliging toward your request regarding lot design with the consideration towards lots 9 and 10 each being able to potentially include multiple dwellings. We discussed this at length with the following considerations:

Lot 10 is likely to hold multiple dwellings regardless, as it would in the masterplan. The masterplan, overall, could house 12 multiple dwellings over 4 lots. This proposal plan could hold 5 multiple dwellings over 2 lots. The two lots with multiple dwelling potential are adjoining, that way there is increased buyer potential and incentive to develop these in a consistent and sympathetic manner. In other words, we see potential for a very nice two lot development that responds well to the Grange in design response. I believe there is potential for a very nice outcome here, of course, it would be subject to a separate application.

As requested, 6, 7, and 8 share the remainder area.

There is no internal lot, the lot design was made to work with the infrastructure, so an exact replication of 12/13 lot layout was not possible.

(Please note, the lot numbers from 12-15 have not been changed despite one less lot).

So overall, the difference from the masterplan is from 10 to 14 lots; there are no internal lots and there is decreased potential in housing density from the masterplan.

The cul-de-sac pattern of the masterplan is replicated.

*Noted the request to increase the road widths. I am not able to facilitate this with the engineers in this timeframe, but I understand the road lot will allow it. As such, I think it can be done under conditioned plans and at detail engineering stage (as agreed below).

The open space pathways of the masterplan are replicated.

Please see the supplementary report attached that includes this information as well as a further supporting argument for the plan.

I have passed on the additional report, the owners were aware of the olive trees significance and had no intention of disposing of them. They will discuss all matters including relics with the representative.

I encourage you to discuss any remaining matters with me at your earliest convenience, I will make myself available if needed.

With Regards

Michelle Schleiger

Land use and development planner

M

P 03 6332 3760

E michelle@woolcottsurveys.com.au

W www.woolcottsurveys.com.au



WOOLCOTT SURVEYS



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From: Michelle Schleiger

Sent: Thursday, 21 September 2023 4:38 PM

To: NMC Planning <planning@nmc.tas.gov.au>

Subject: RE: 7a William Street Campbell Town - post meeting

Thanks Paul

The developers will come back to me on this and I'll update you then.

With Regards

Michelle Schleiger

Land use and development planner

M
P 03 6332 3760
E michelle@woolcottsurveys.com.au
W www.woolcottsurveys.com.au



WOOLCOTT SURVEYS

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From: NMC Planning <planning@nmc.tas.gov.au>
Sent: Thursday, 21 September 2023 4:15 PM
To: Michelle Schleiger <michelle@woolcottsurveys.com.au>

Subject: RE: 7a William Street Campbell Town - post meeting

Hello Michelle,

I confirm your summary below.

In addition, and as just discussed, could you please discuss with your client combining lots 6, 7, 8 and 9 into 3 lots of under 800m², and making lot 10 larger as required.

The reason for this is that it is more consistent with the masterplan.

This would not require readvertising.

Regards,

Paul Godier



Senior Planner | Northern Midlands Council
Council Office, 13 Smith Street (PO Box 156), Longford Tasmania 7301
T: (03) 6397 7303 | F: (03) 6397 7331
W: www.northernmidlands.tas.gov.au

Tasmania's Historic Heart



From: Michelle Schleiger <michelle@woolcottsurveys.com.au>
Sent: Thursday, September 21, 2023 10:28 AM
To: Paul Godier <paul.godier@nmc.tas.gov.au>; NMC Planning <planning@nmc.tas.gov.au>

<harry@thebakergroup.com.au>; Andrew Wallis <andrew@innovgas.com>; Colin Smith <colin.smith@woolcottsurveys.com.au>

Subject: 7a William Street Campbell Town - post meeting

Hi Paul

Appreciate your \$me just now, thank you.

From our discussion, I believe we have a pathway forward. I have summarised the main points below.

- We will discuss with our clients the change to the internal lot (Lot 10) and Lot 11 to reflect more closely the frontages to Lots 12 and 13. If found acceptable, this can be provided via Condi\$oned plans.
- We also understand that Condi\$oned plans will be needed to provide a response to NOR-S2.8.4 A2 – street trees. (Street lights will need to be incorporated also).
- Condi\$oned plans will also require road widening at the entrance from William Street (straight sec\$on of road) from 6.9m to 7.2m. If the sec\$ons of road before the cul-de-sac bowl can also be widened to 7.2m this would be the preference, however, it would be dependent on services loca\$on and whether that would work.
- We will provide a supplementary report detailing discussed items:
- Nor-S2.8.1 and the pa ern of development with addi\$onal argument on outcomes such as residen\$al density allowed under the SAP and poten\$al outcomes.
- Boundary fencing in rela\$on to Heritage factors associated with The Grange.
- You will send the addi\$onal rep received, acknowledging that it was sent after the adver\$ing period. We will pass on to the owners for considera\$on.

At this point in time, re-adver\$ing is not considered necessary, given the changes will predominantly be able to be condi\$oned. The addi\$onal repor\$ng will provide Council with more informa\$on of the clauses discussed to provide a robust assessment.

If further discussion is required you will let us know.

Can you confirm this summary? If I have missed anything please let us know.

With Regards

[Michelle Schleiger](#)

Land use and development planner

M

P 03 6332 3760

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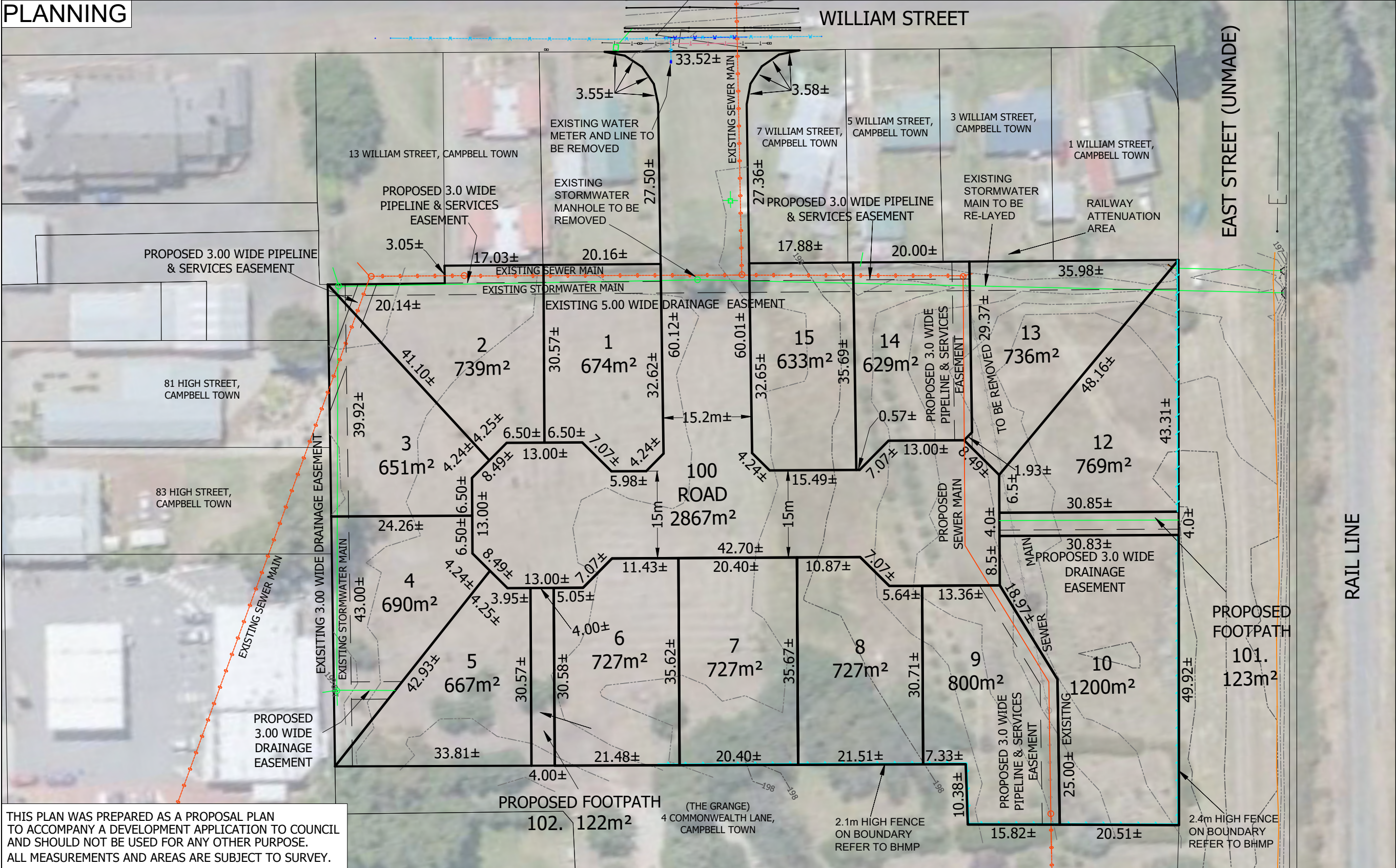
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PLANNING



Notes:

- CONTOUR INDEX 1.00m
CONTOUR INTERVAL 0.20m

PROPOSED SUBDIVISION
15 RESIDENTIAL LOTS, 1 ROAD, 2 FOOTPATHS
 OWNER: GRANGE VISTA PTY LTD
 7a WILLIAM STREET, CAMPBELL TOWN, 7210
 C.T. 43080-4


WOOLCOTT SURVEYS

10 Goodman Court Invermay TAS 7248
 PO Box 593 Mowbray Heights TAS 7248
 Phone (03) 6332 3760
 Fax (03) 6332 3764
 Email: office@woolcottsurveys.com.au

Job Number	
L220916	
Drawn	File name
JAG/CSS	L220916_Proposal Plan_V4.2_021023.dwg
Date	Scale
02/10/23	1:600@A3
Edition	Sheet
v4.2	1 of 1

PLANNING APPLICATION Proposal

Description of proposal: 2-UNIT DEVELOPMENT ON 21 BULWER STREET.

.....
.....
.....
.....
.....

(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: 21 BULWER STREET, LONGFORD

.....

CT no: 183714/2

Estimated cost of project \$ 650,000 *(include cost of landscaping, car parks etc for commercial/industrial uses)*

Are there any existing buildings on this property? Yes / No
If yes – main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

Refer to Design Response attached.

.....
.....
.....
.....

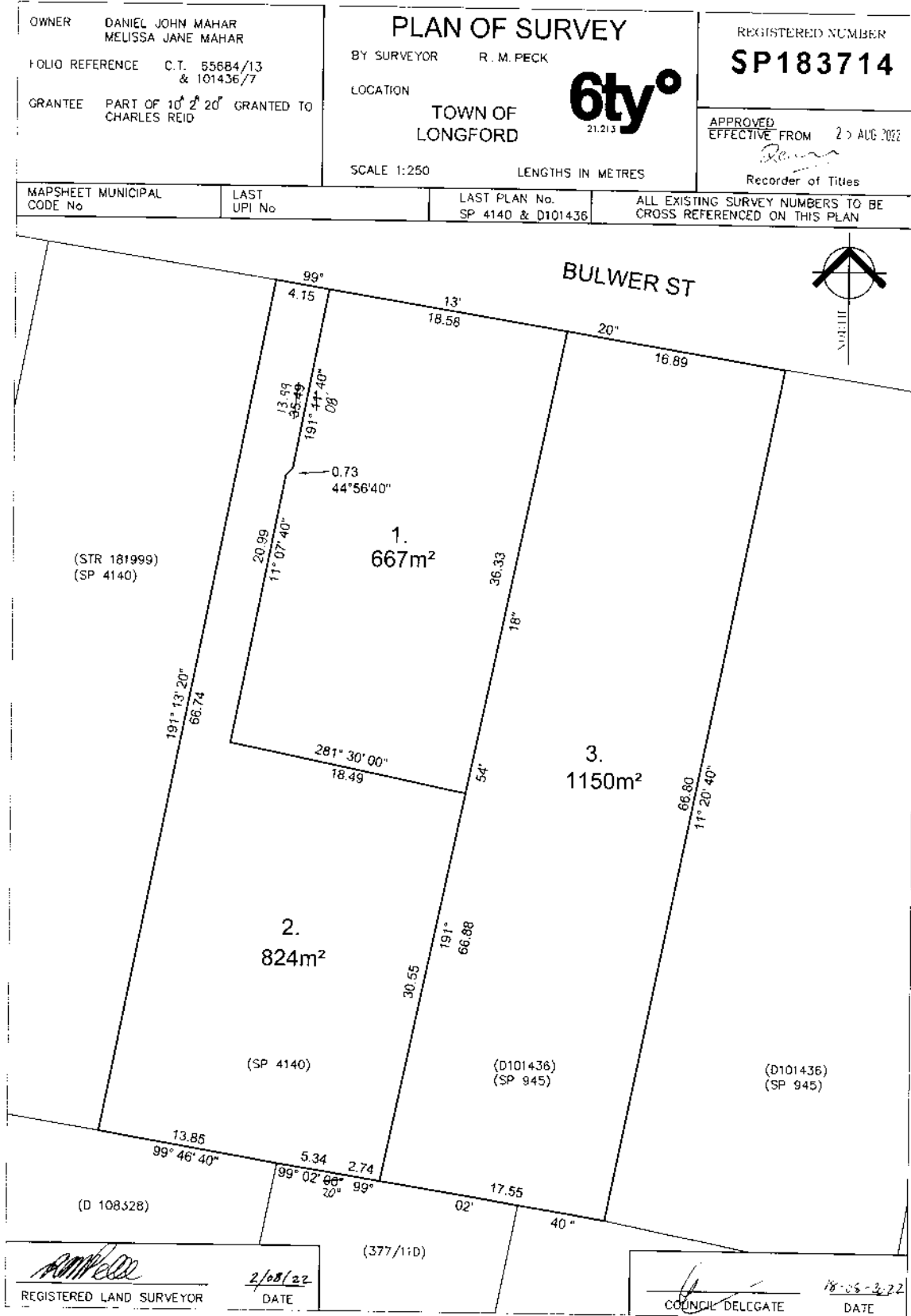
(attach additional sheets if necessary)

Is any signage required? NO.
(if yes, provide details)



FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



Received
18/08/2023

PROPOSED UNIT DEVELOPMENT 21 BULWER STREET, LONGFORD

J.K. MARTIN
PD23067

PLANNING

BUILDING DRAWINGS

No	DRAWING
01	SITE DEMOLITION PLAN
02	SITE PLAN
03	SITE SECTION
04	PART SITE PLAN
05	SITE DRAINAGE PLAN
06	LANDSCAPING PLAN
07	TURNING CIRCLES

UNIT 1 BUILDING DRAWINGS

No	DRAWING
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULES
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	ROOF PLAN
U1-06	ELECTRICAL/REFLECTED CEILING PLAN
U1-07	PERSPECTIVES

UNIT 2 BUILDING DRAWINGS

No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN
U2-06	ELECTRICAL/REFLECTED CEILING PLAN
U2-07	PERSPECTIVES

30/03/2023	FIRST CONCEPT.	00
21/04/2023	UPDATES TO FLOOR PLAN + ADD TURNING CIRCLES	01
29/06/2023	REDUCE U1 TO SINGLE GARAGE + ADD SURVEY + ELEVATIONS	02
13/07/2023	CHANGES TO FLOOR PLANS + PLANNING RESPONSE	03
16/08/2023	ADD SITE DRAINAGE PLAN WITH ONSITE STORMWATER DETENTION	04



**Hotondo
Homes**

U1 FLOOR AREA	86.29	m2	(9.28	SQUARES)
U1 GARAGE AREA	29.27	m2	(3.15	SQUARES)
U1 PORCH AREA	1.78	m2	(0.19	SQUARES)
U2 FLOOR AREA	93.36	m2	(10.04	SQUARES)
U2 GARAGE AREA	43.27	m2	(4.65	SQUARES)
U2 PORCH AREA	2.02	m2	(0.22	SQUARES)
TOTAL AREA	255.99		27.53	



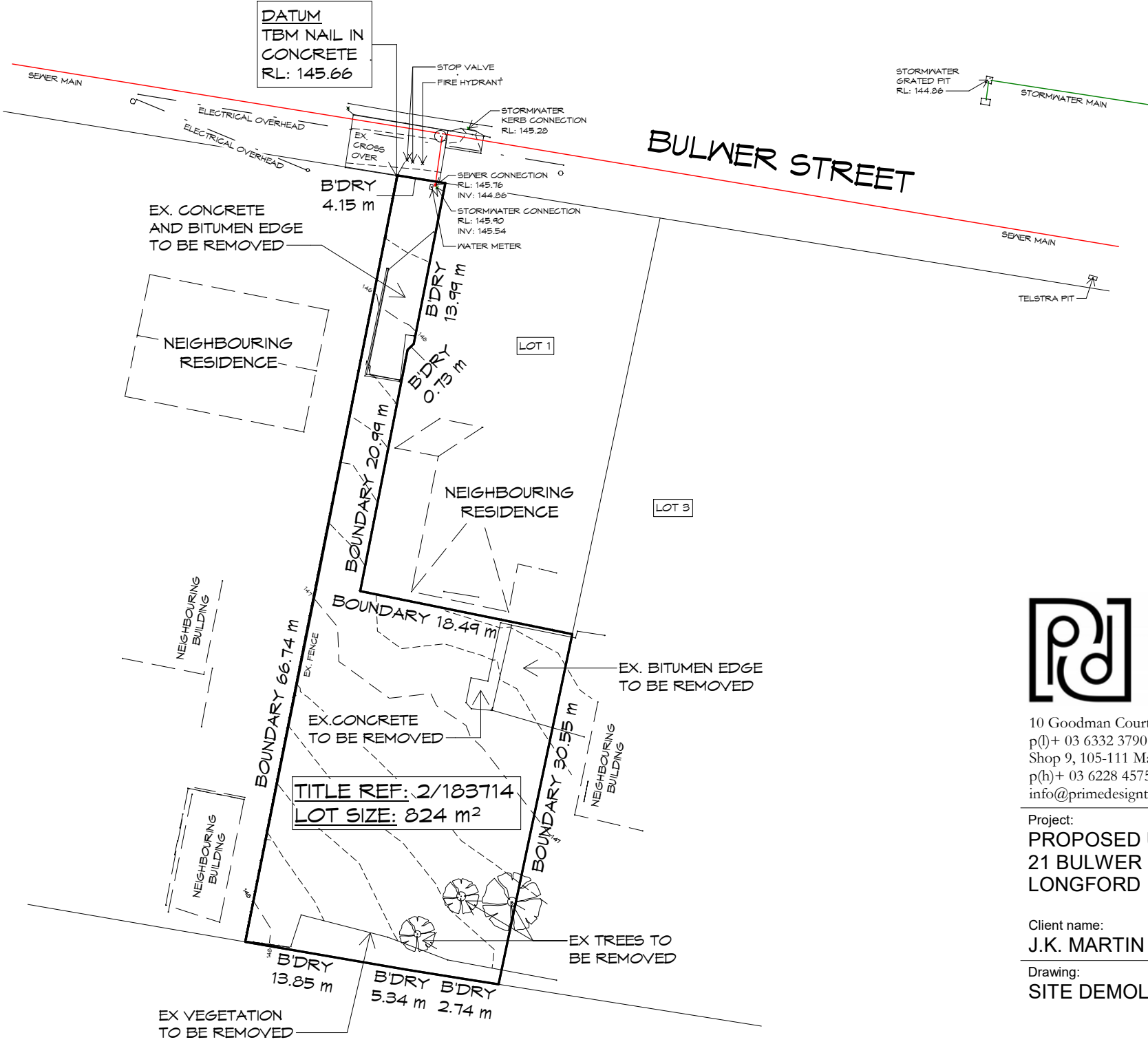
10 Goodman Court , Invermay Launceston 7248
 p(l) +03 6332 3790
 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(h)+03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A

AUGUST 2023

Received
18/08/2023

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



DEMOLITION NOTE:

- IT IS THE BUILDERS RESPONSIBILITY THAT ALL WORKS TO BE DONE IN A SAFE MANNER.
- BUILDER TO PROP WHERE REQUIRED. IF UNSURE CONTACT ENGINEER OR DESIGNER.
- CAP ALL PLUMBING.
- ALL ELECTRICAL TO BE DISCONNECTED AT MAINS BOARD/STREET 1 OF FEED INTO SITE.
- BUILDERS RESPONSIBILITY TO KEEP SITE CLEAN TO ENSURE NO CONTAMINATES GO INTO STORM WATER/SEWER WATER LINES.
- BUILDER TO HAVE SITE INSPECTED/TESTED FOR ASBESTOS PRIOR TO ANY WORKS

SITE DEMOLITION PLAN

1 : 400



**Hotondo
Homes**

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

TITLE REF: 2/183714
LOT SIZE: 824 m²



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p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET,
LONGFORD**

Client name:
J.K. MARTIN

Drawing:
SITE DEMOLITION PLAN

Drafted by: T.W. Approved by: S.S.W.

Date: 16.08.2023 Scale: 1 : 400

Project/Drawing no: PD23067 -01 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A



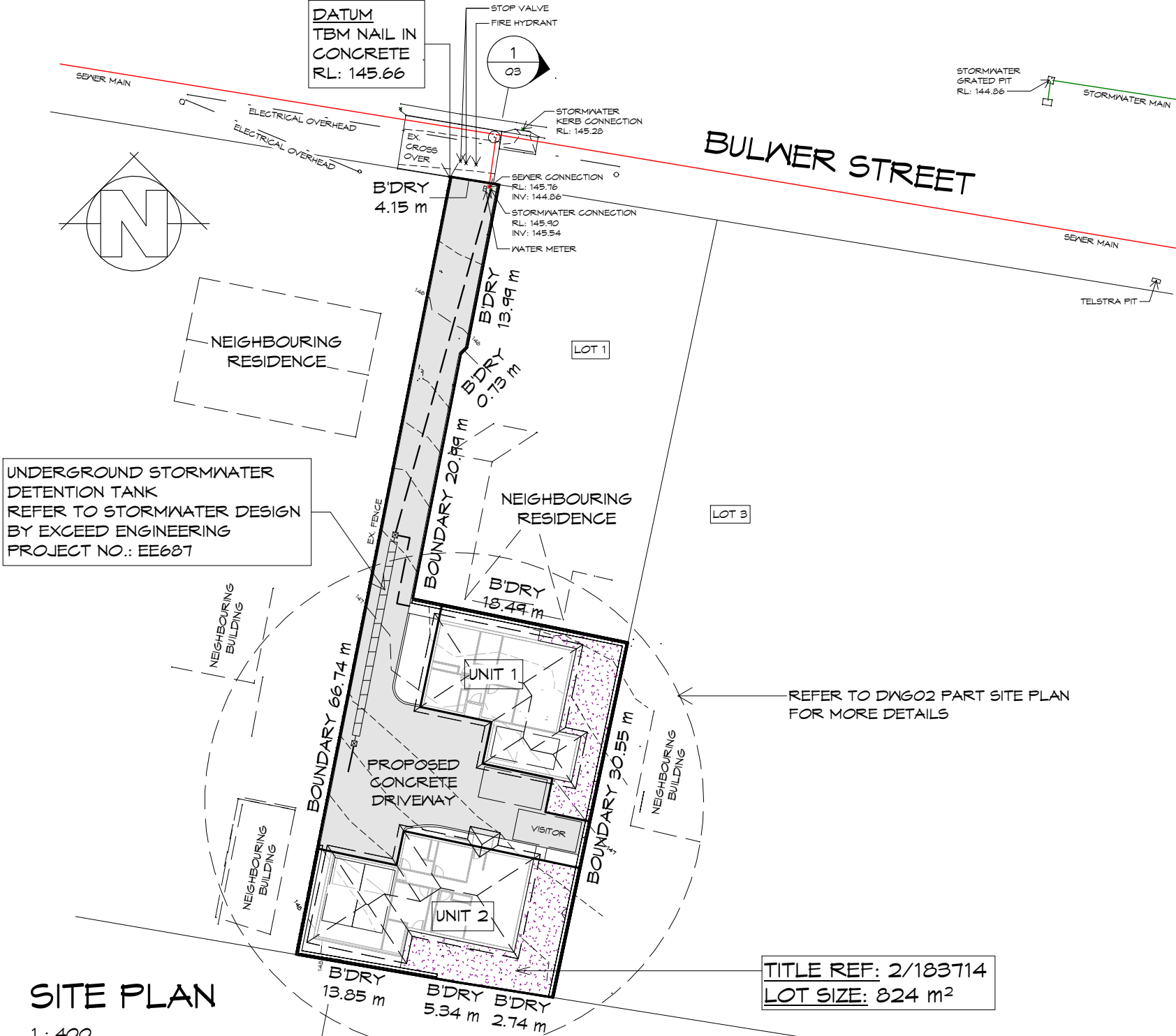
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GENERAL NOTES

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- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
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- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
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- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



UNDERGROUND STORMWATER DETENTION TANK REFER TO STORMWATER DESIGN BY EXCEED ENGINEERING PROJECT NO.: EE687

REFER TO DWG02 PART SITE PLAN FOR MORE DETAILS

TITLE REF: 2/183714
LOT SIZE: 824 m²

SITE PLAN
1 : 400



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p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET,
LONGFORD**

Client name:
J.K. MARTIN

Drawing:
SITE PLAN

Drafted by: T.W.	Approved by: S.S.W.
Date: 16.08.2023	Scale: 1 : 400

Project/Drawing no: PD23067 -02	Revision: 04
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Accredited building practitioner: Frank Geskus -No CC246A

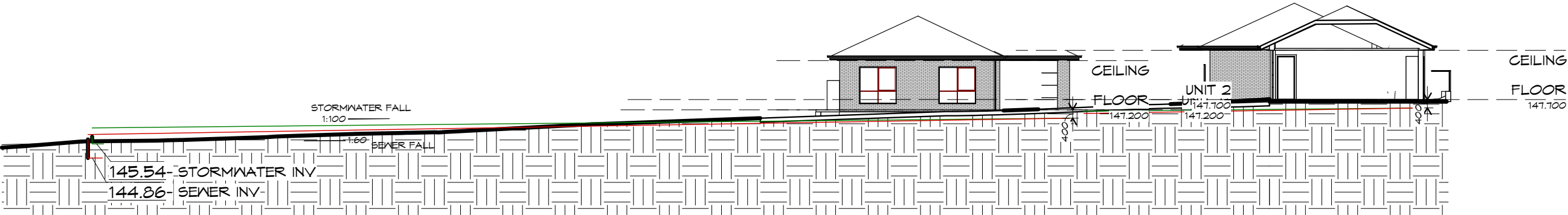


Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

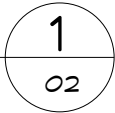


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18/08/2023

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



SITE SECTION
1 : 200



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Ph: 03 6778 9504



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Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED UNIT DEVELOPMENT
21 BULWER STREET,
LONGFORD

Client name:
J.K. MARTIN

Drafted by: T.W. Approved by: S.S.W.

Drawing:
SITE SECTION

Date: 16.08.2023 Scale: 1 : 200

Project/Drawing no: PD23067 -03 Revision: 04



Accredited building practitioner: Frank Geskus -No CC246A

SURVEYORS NOTES

1. THIS PLAN HAS BEEN PREPARED BY WOOLCOTT SURVEYS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. WOOLCOTT SURVEYS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT SURVEYS.
6. HORIZONTAL BEARING DATUM IS PLANE BASED ON MGA2020 PER SP183714.
7. VERTICAL DATUM IS AHD PER SPM1051.
8. CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.
9. BOUNDARIES ARE COMPILED FROM SP183714; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
10. CO-ORDINATES ARE PLANE BASED ON MGA2020.

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PART SITE PLAN

1 : 200

SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

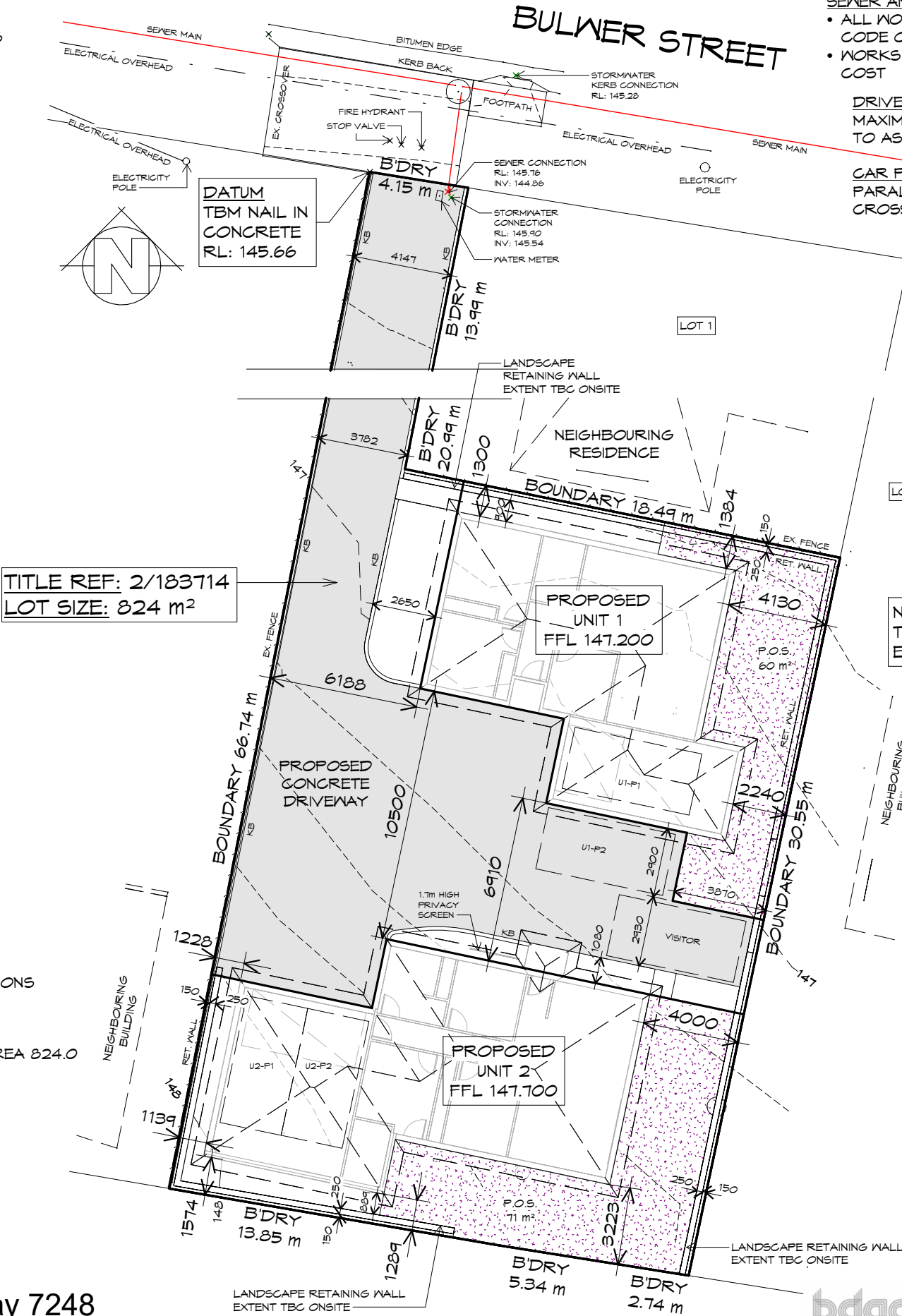
SITE COVERAGE
BUILDING FOOTPRINT 259.73/SITE AREA 824.0
= 0.315
TOTAL SITE COVERAGE 31.5%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10



Hotondo Homes

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504



TITLE REF: 2/183714
LOT SIZE: 824 m²

SEWER AND WATER SERVICES
• ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASNATER SUPPLEMENTS
• WORKS TO BE DONE BY TASNATER AT DEVELOPERS COST
Received 18/08/2023

DRIVEWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



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Shop 9, 105-111 Main Road, Moonah Hobart 7009
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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET,
LONGFORD**

Client name:
J.K. MARTIN

Drawing:
PART SITE PLAN

Drafted by: T.W. Approved by: S.S.W.
Date: 16.08.2023 Scale: 1 : 200

Project/Drawing no: PD23067 -04 Revision: 04






Accredited building practitioner: Frank Geskus -No CC246A



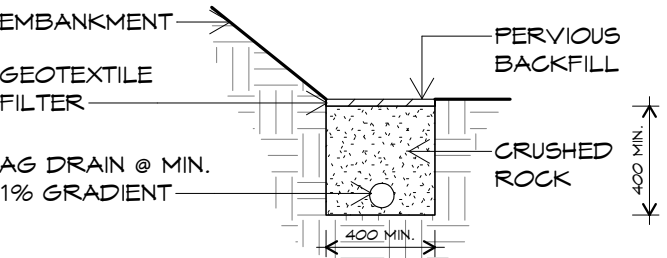
PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Received
18/08/2023

LEGEND

-  450X 450 SURFACE DRAINAGE PIT
-  WET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  1000 A.G. DRAIN

PLUMBING NOTES:
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2018 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

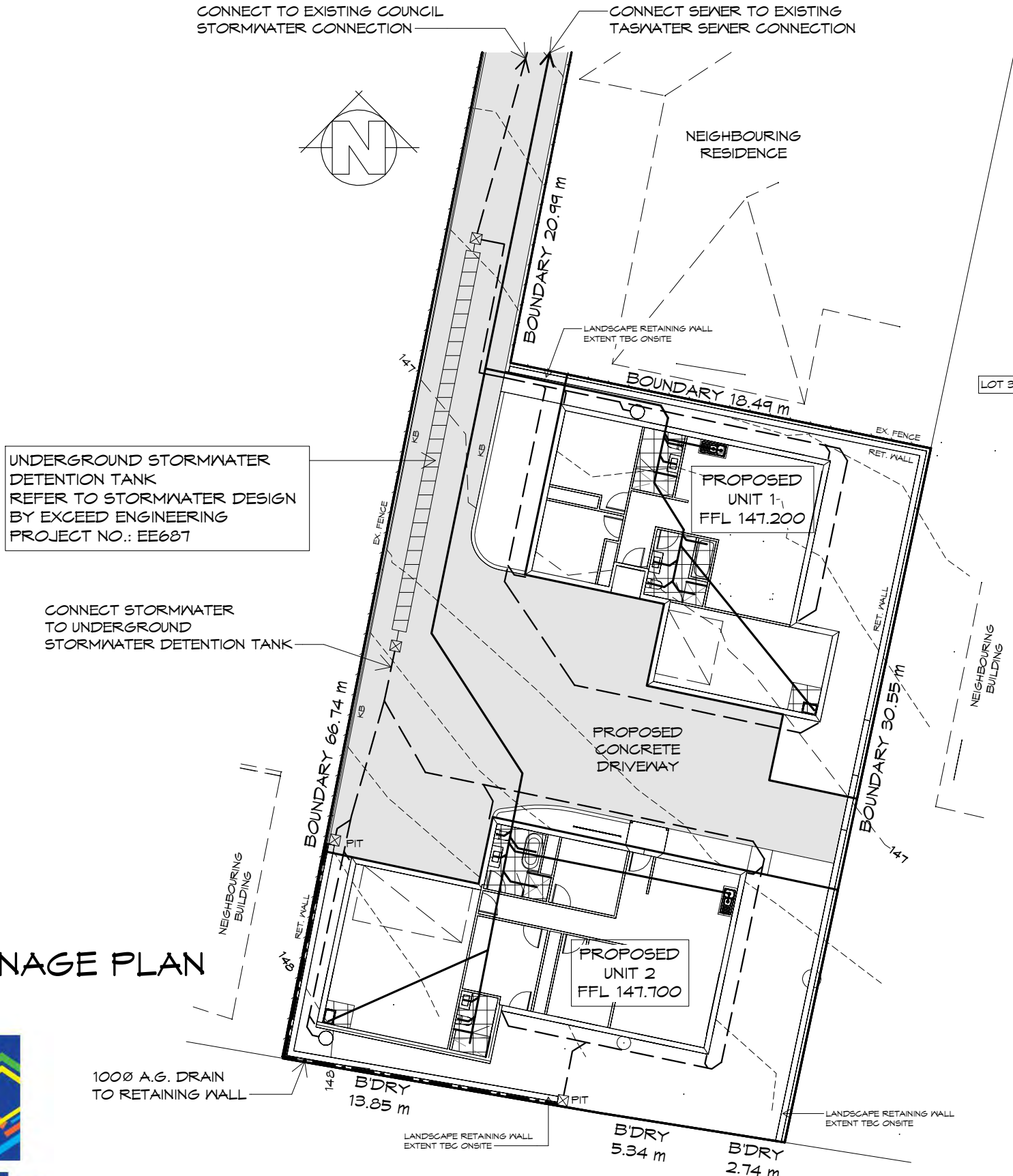


TYPICAL AG DRAIN DETAIL

1 : 25

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SITE DRAINAGE PLAN

1 : 200



Hotondo Homes

Hotondo Homes Launceston
 303 Invermay Road, Invermay 7248
 Ph: 03 6778 9504



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Project:
**PROPOSED UNIT DEVELOPMENT
 21 BULWER STREET,
 LONGFORD**

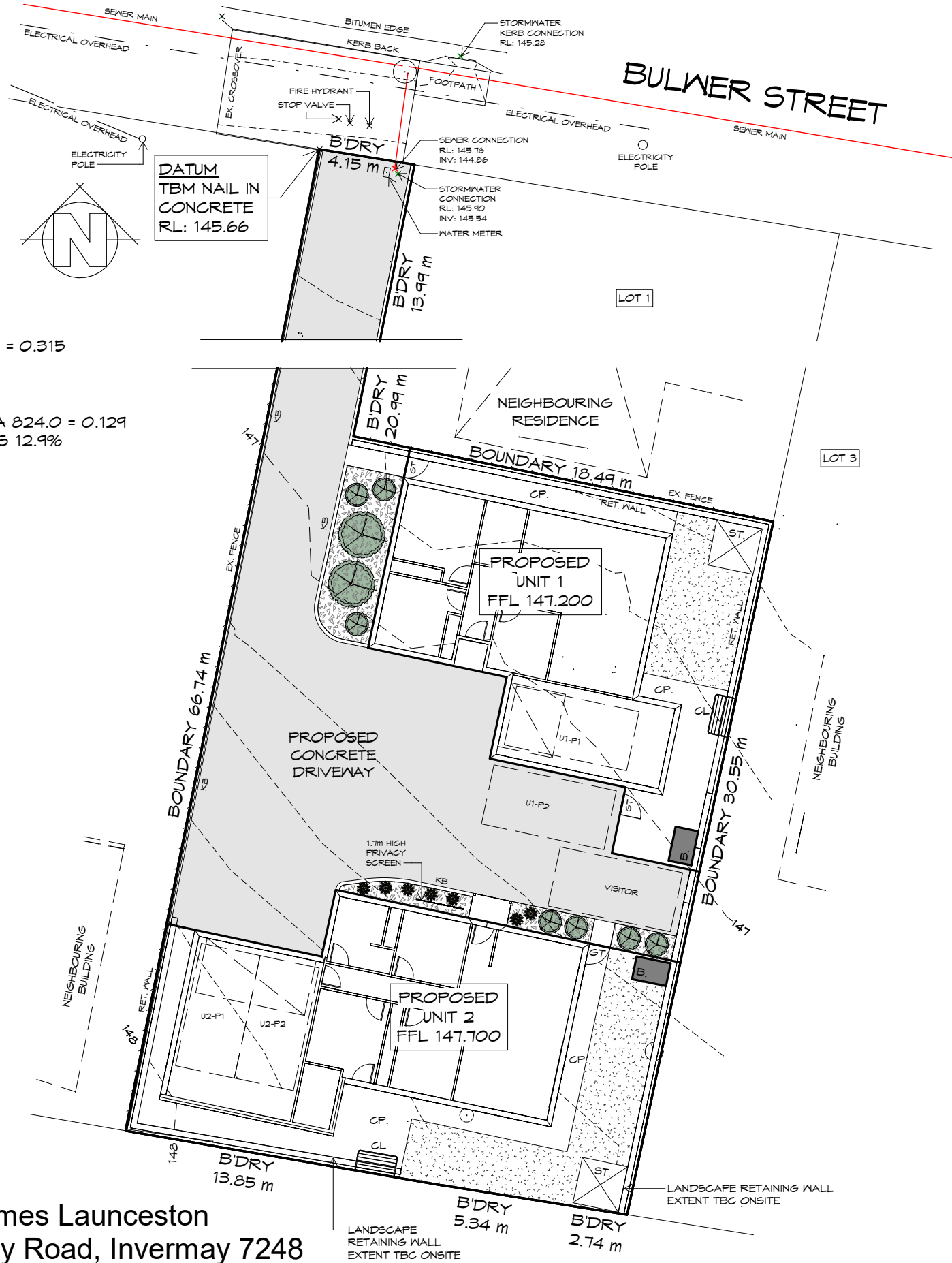
Client name:
J.K. MARTIN

Drawing:
SITE DRAINAGE PLAN

Drafted by: Author	Approved by: Approver
Date: 16.08.2023	Scale: As indicated

Project/Drawing no: PD23067 -05	Revision: 04
Accredited building practitioner: Frank Geskus -No CC246A	





- ### LEGEND
- PROPOSED SHRUB
 - PROPOSED GROUNDCOVER/GRASS
 - LAWN
 - MULCH OR SIMILAR
 - CP. CONCRETE PATH/PAVING
 - CONCRETE DRIVEWAY
 - LB. LETTER BOX
 - WASTE STORAGE 1.5m2
 - GT GATE
 - FN FENCE 1.8m HIGH
 - KB KERB
 - 2X2m STORAGE SHED
 - CL CLOTHES LINES - WALL MOUNT
 - RET. ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

SITE COVERAGE
 BUILDING FOOTPRINT 259.73 /SITE AREA 824.0 = 0.315
 TOTAL SITE COVERAGE 31.5%

IMPERVIOUS SURFACES
 NON-IMPERVIOUS SURFACES 106.54 /SITE AREA 824.0 = 0.129
 TOTAL SITE FREE FROM IMPERVIOUS SURFACES 12.9%

LANDSCAPING PLAN

1 : 200



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Project:
PROPOSED UNIT DEVELOPMENT
 21 BULWER STREET,
 LONGFORD

Client name:
J.K. MARTIN

Drawing:
LANDSCAPING PLAN

Drafted by: T.W. Approved by: S.S.W.
 Date: 16.08.2023 Scale: 1 : 200

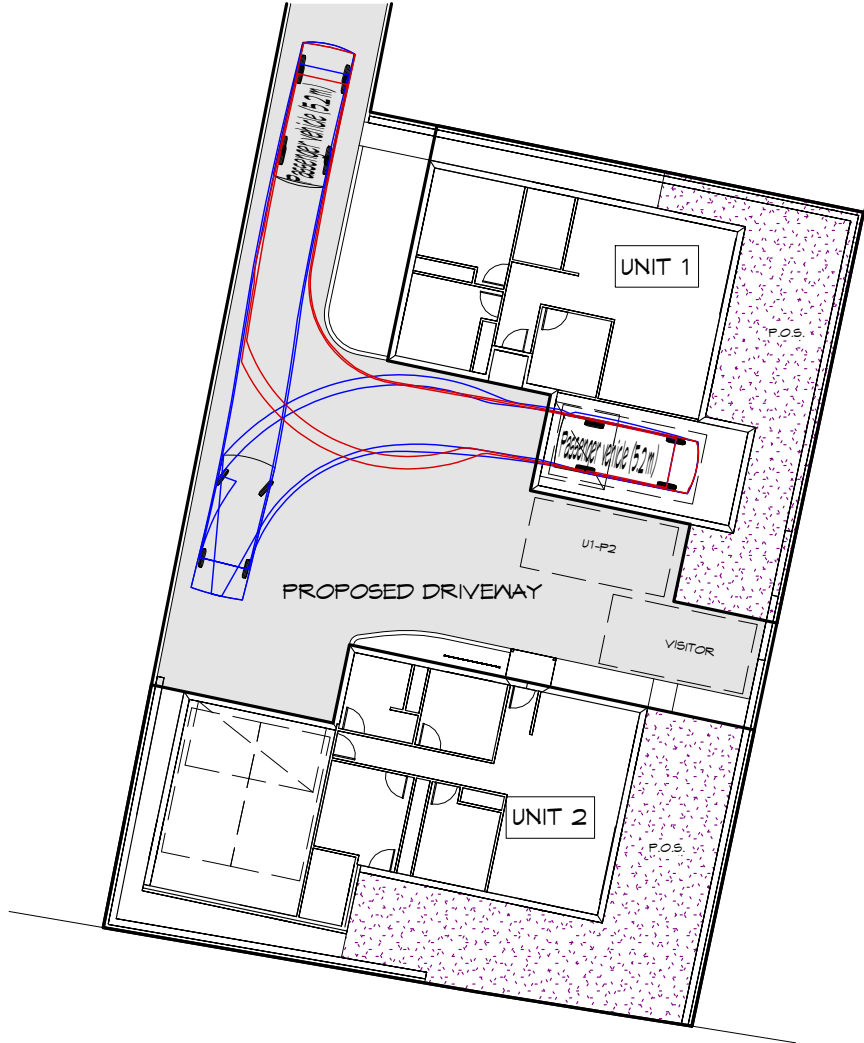
Project/Drawing no: PD23067 -06 Revision: 04
 Accredited building practitioner: Frank Geskus -No CC246A

PLANNING
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Received
18/08/2023

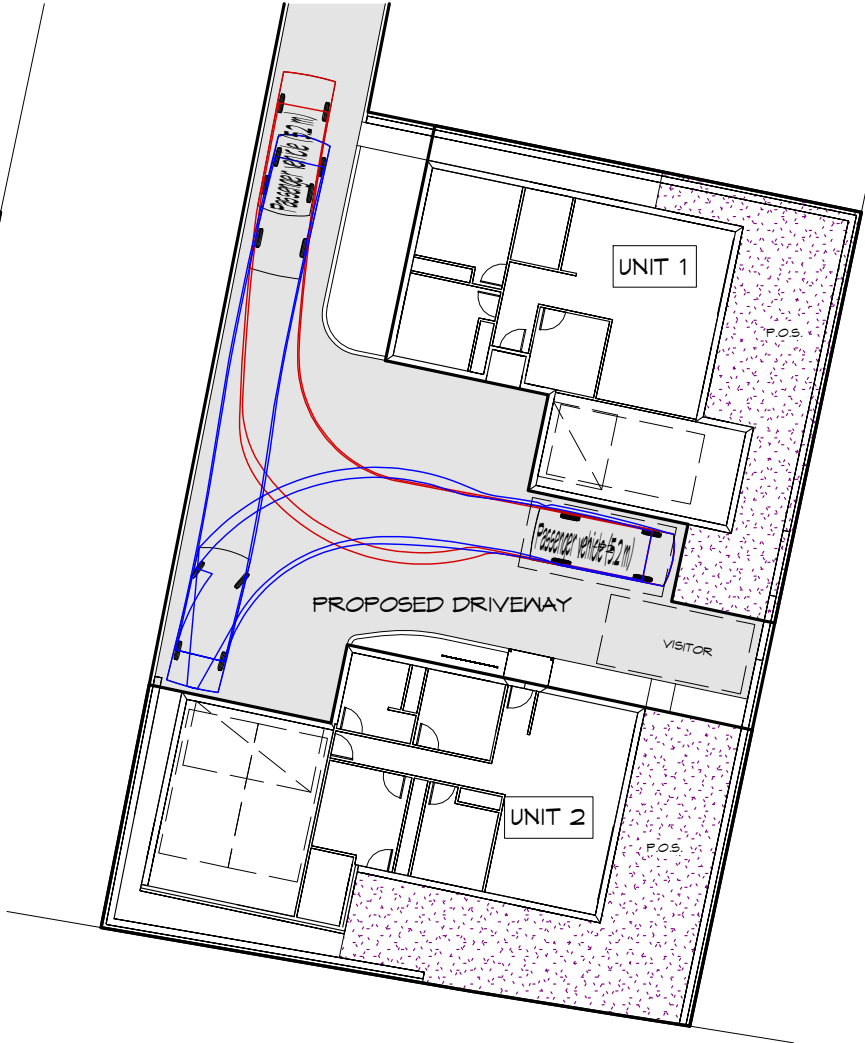
PLANNING

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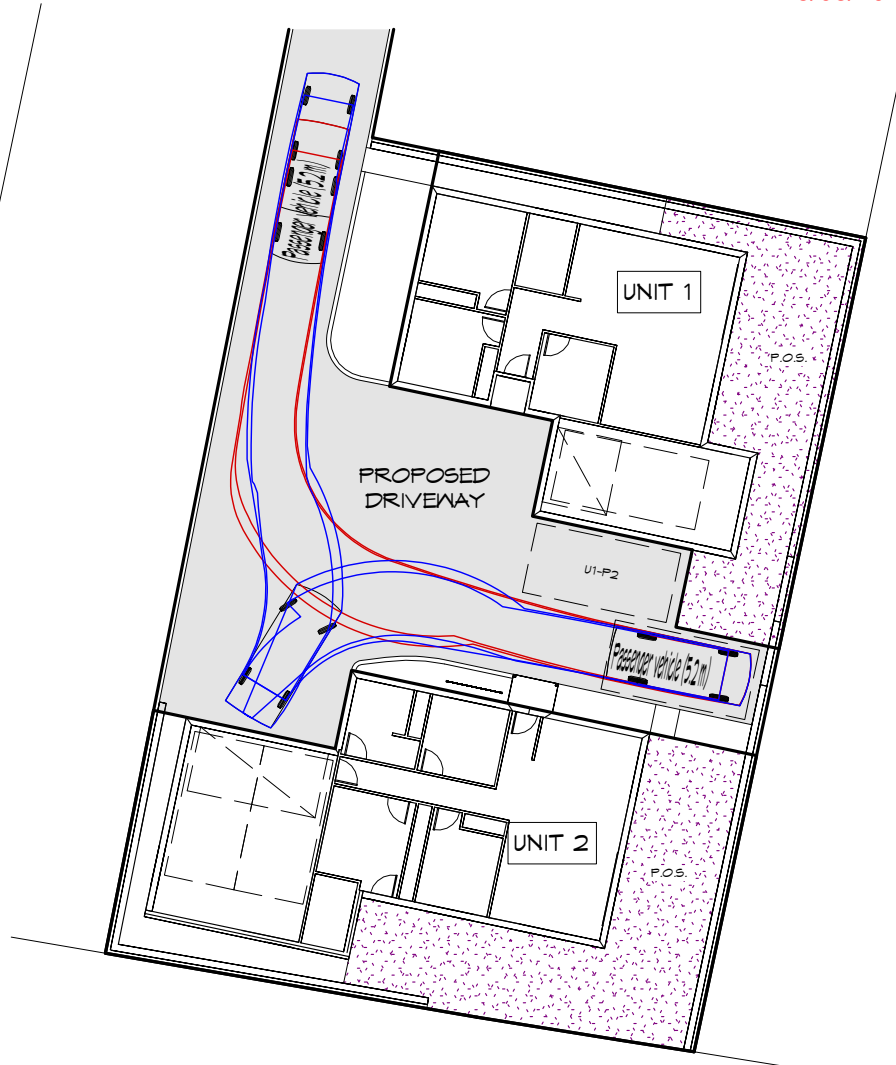
TURNING CIRCLE 1

1 : 250



TURNING CIRCLE 2

1 : 250



TURNING CIRCLE 3

1 : 250



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Project:
 PROPOSED UNIT DEVELOPMENT
 21 BULWER STREET,
 LONGFORD

Drawing:
 TURNING CIRCLES

Client name:
 J.K. MARTIN

Date: 16.08.2023
 Scale: 1 : 250

Drafted by:
 T.W. Approved by:
 S.S.W.

Project/Drawing no: PD23067 -07
 Revision: 04



Accredited building practitioner: Frank Geskus -No CC246A

Received
18/08/2023

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET,
LONGFORD**

Client name:
J.K. MARTIN

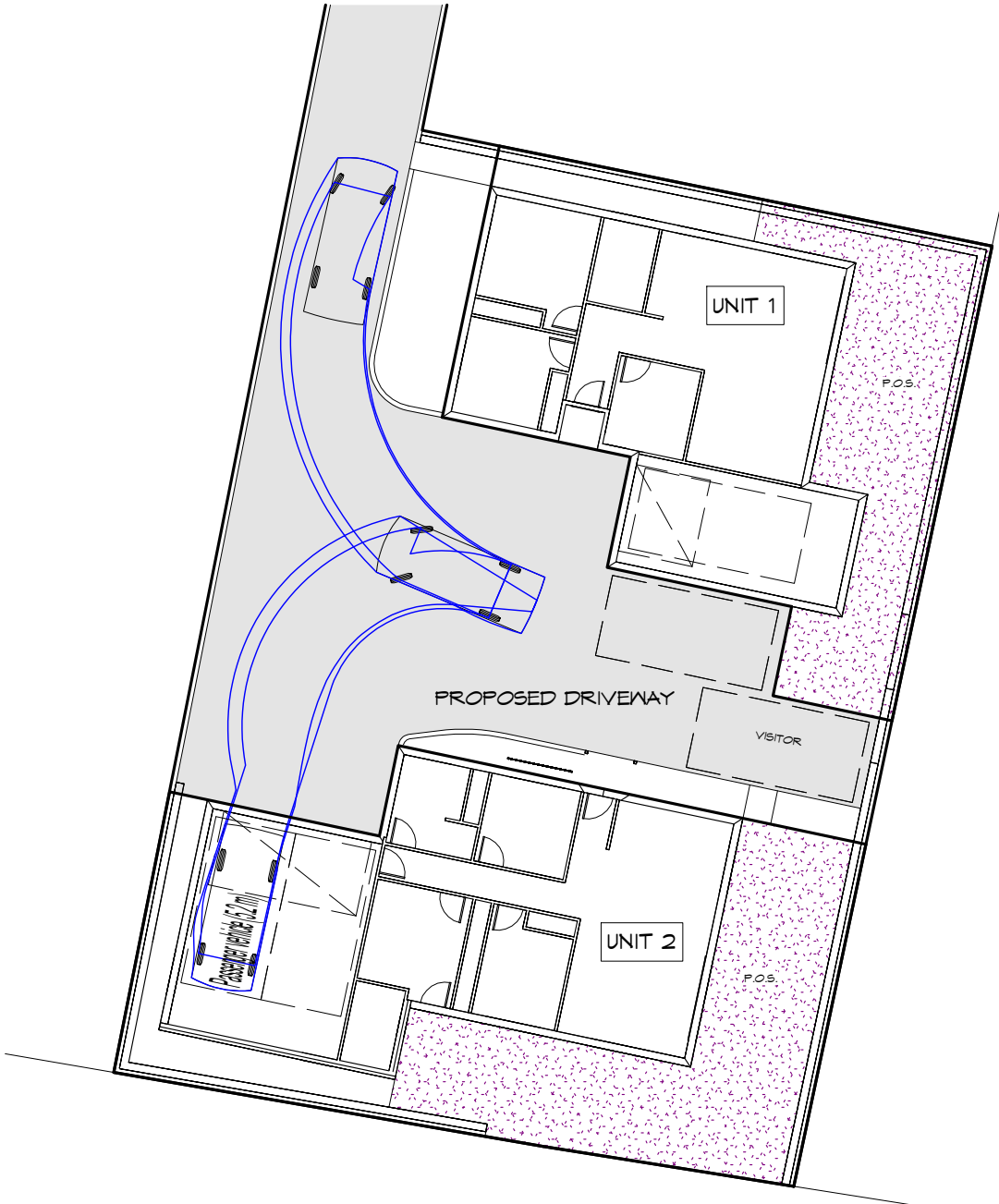
Drawing:
TURNING CIRCLES

Drafted by: T.W. Approved by: S.S.W.

Date: 16.08.2023 Scale: 1 : 200

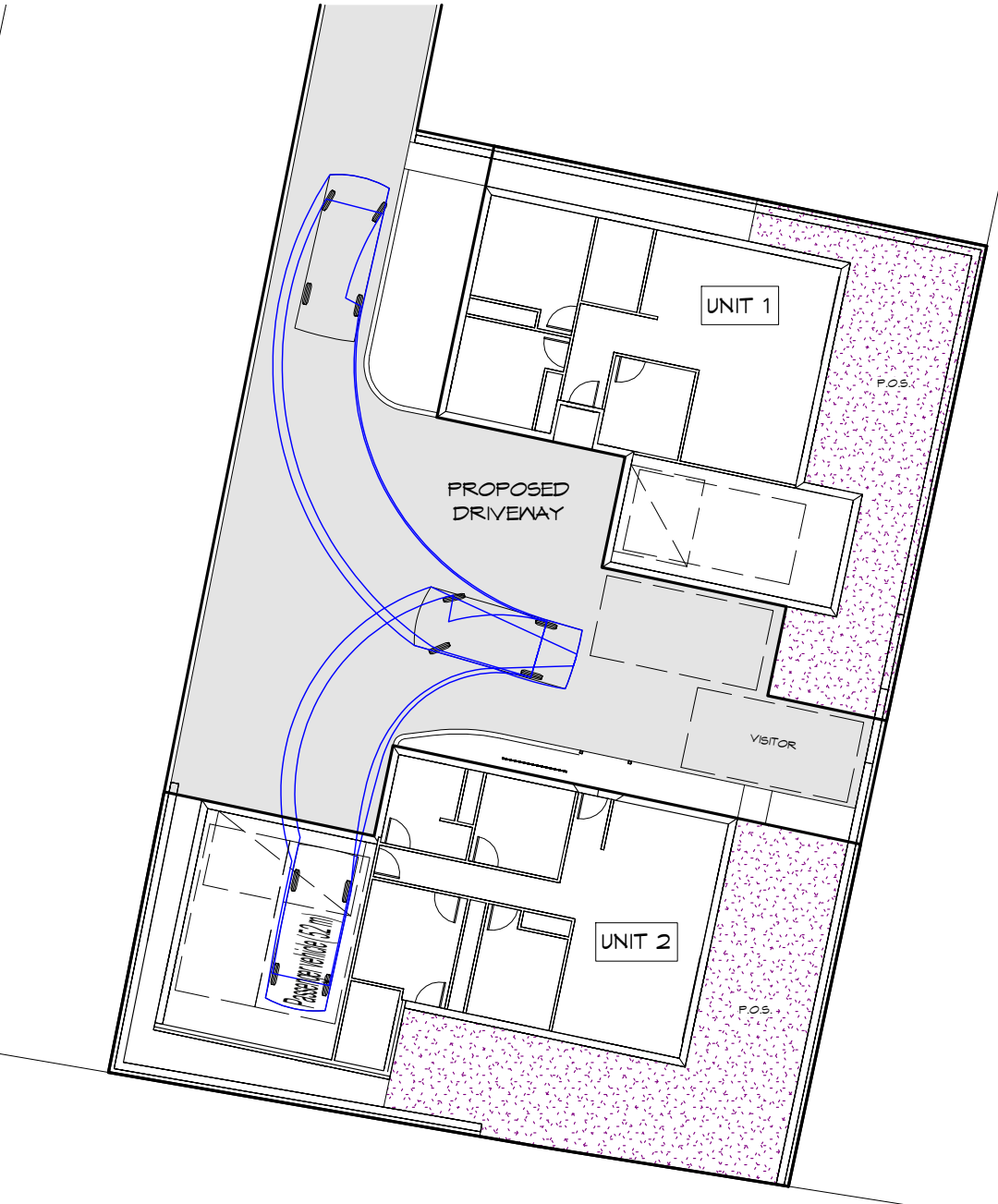
Project/Drawing no: PD23067 -08 Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A



TURNING CIRCLE 4

1 : 200



TURNING CIRCLE 5

1 : 200



**Hotondo
Homes**

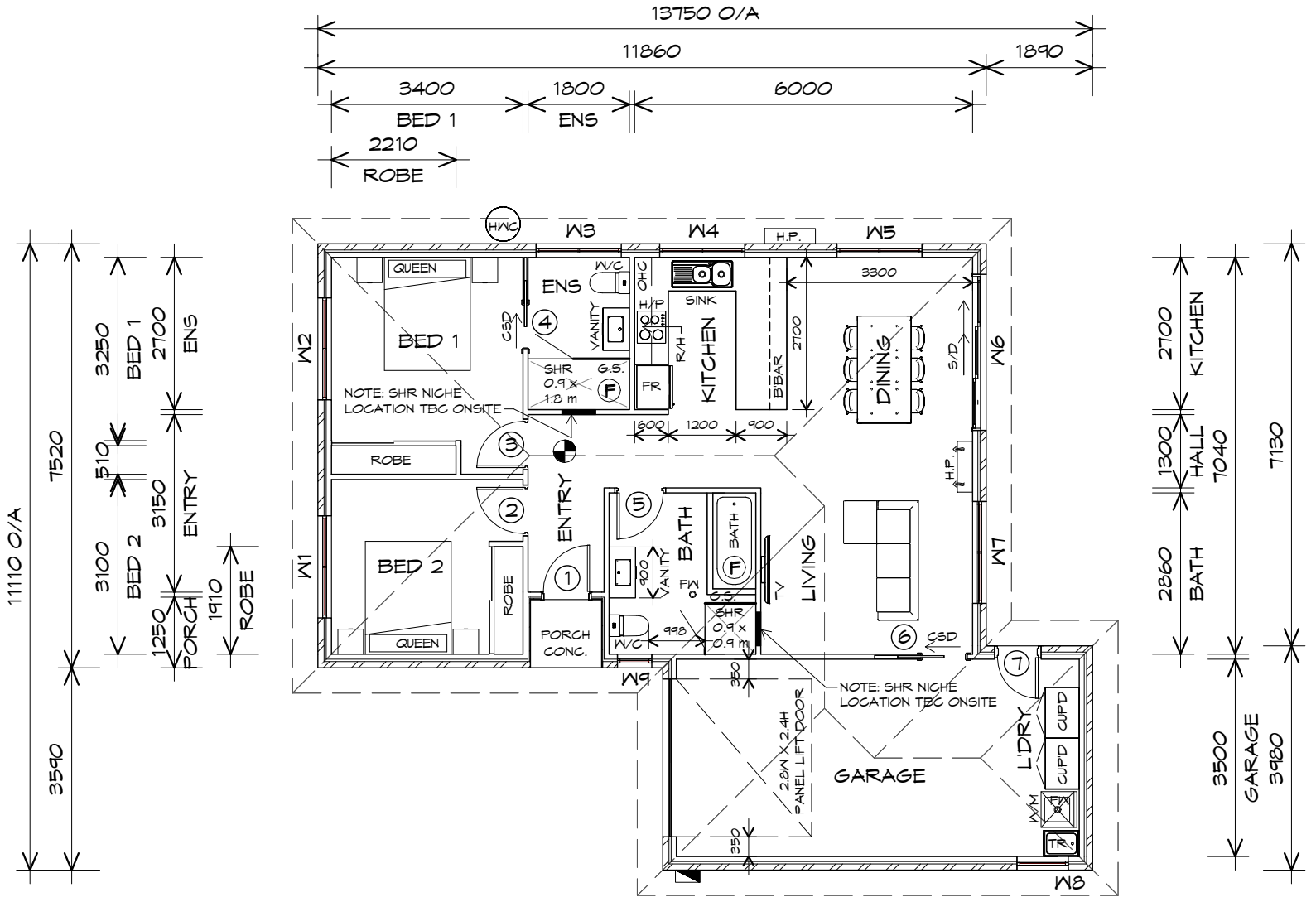
Hotondo Homes Launceston
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Ph: 03 6778 9504

LEGEND

- (F) EXHAUST FAN-VENT OUTSIDE AIR. Received 18/08/2023
- (SA) 240V SMOKE ALARM
- (CSD) CAVITY SLIDING DOOR
- (S/D) SLIDING DOOR
- (FW) FLOOR WASTE
- (G.S.) GLASS SCREEN
- (R/H) RANGE HOOD, VENT TO OUTSIDE AIR
- (HWC) HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

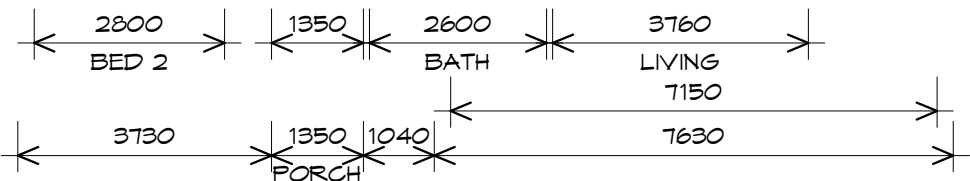


FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

U1 FLOOR AREA	86.29	m ²	(9.28	SQUARES)
U1 PORCH AREA	1.78	m ²	(0.19	SQUARES)
U1 GARAGE AREA	29.27	m ²	(3.15	SQUARES)
TOTAL AREA	117.35		12.62	



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Project:
PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD

Client name:
J.K. MARTIN

Drafted by: **T.W.**
Approved by: **S.S.W.**

Drawing:
FLOOR PLAN

Date: **13.07.2023**
Scale: **1 : 100**

Project/Drawing no: **PD23067 -U1-01**
Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A



Received
18/08/2023

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	CAVITY SLIDING DOOR	SOLID CORE
7	720	EXTERNAL HALF GLASS	CLEAR GLASS

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	1810	AWNING WINDOW	
W3	900	1510	AWNING WINDOW	OPAQUE
W4	900	1510	AWNING WINDOW	
W5	900	1510	AWNING WINDOW	
W6	2100	2770	STACKING SLIDING DOOR	3-PANEL
W7	1800	1810	AWNING WINDOW	
W8	1000	910	AWNING WINDOW	
W9	1000	610	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**
WITH FLY SCREENS TO SUIT ??? **BAL RATING.**
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD**

Client name:
J.K. MARTIN

Drafted by: **T.W.** Approved by: **S.S.W.**

Drawing:
**DOOR AND WINDOW
SCHEDULES**

Date: **13.07.2023** Scale:

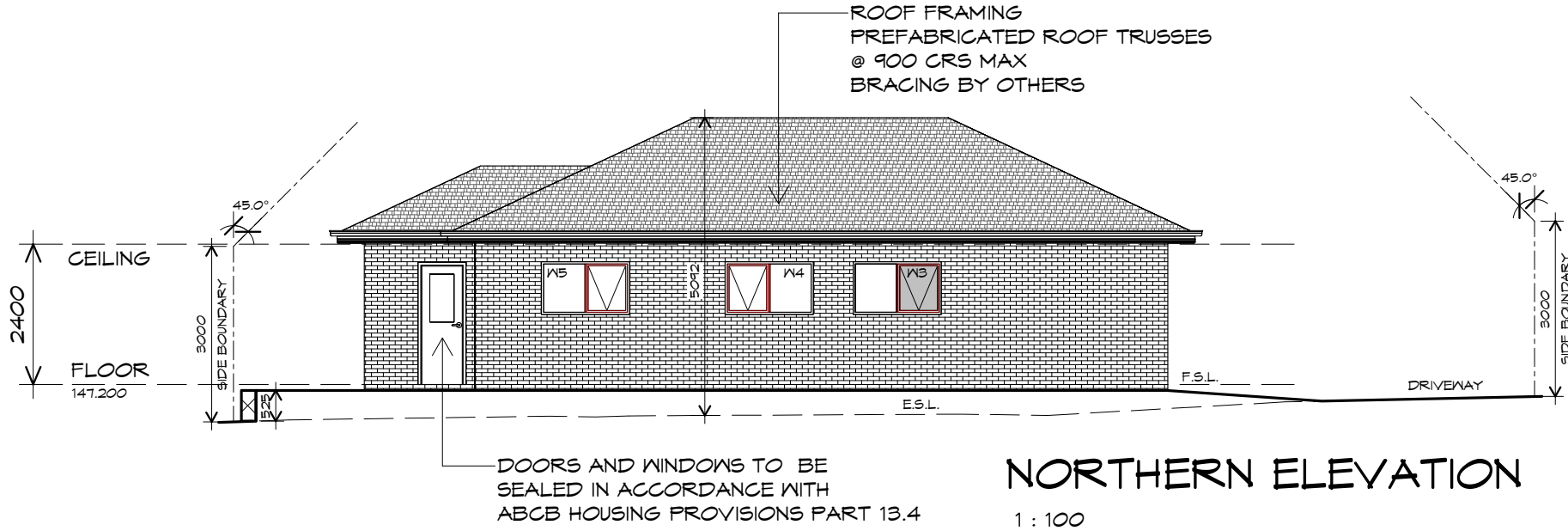
Project/Drawing no: **PD23067 -U1-02** Revision: **03**



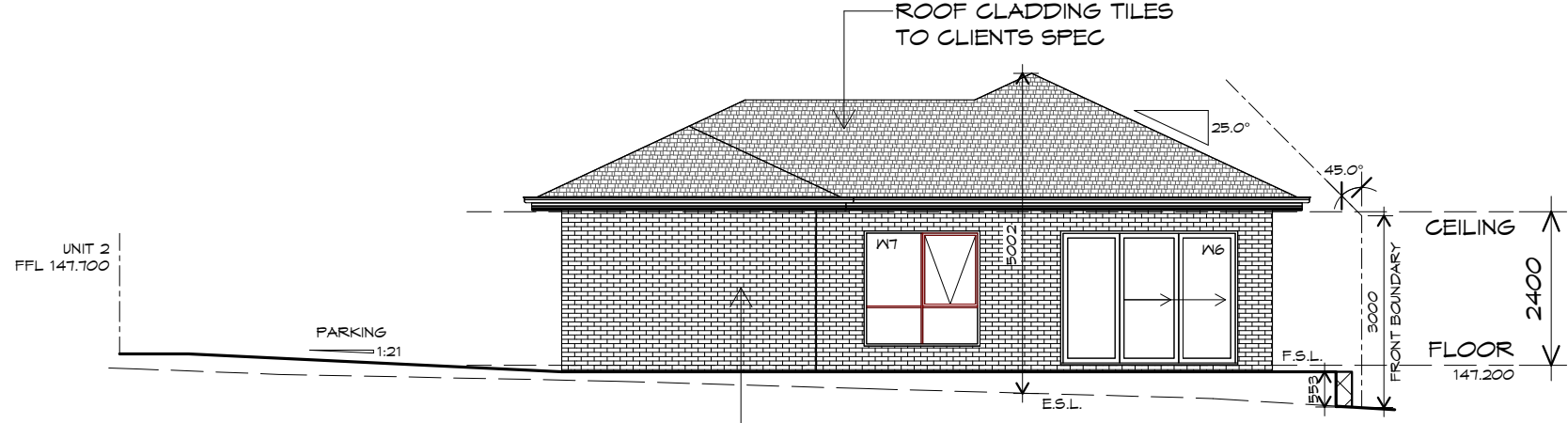
Accredited building practitioner: Frank Geskus -No CC246A

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NORTHERN ELEVATION
1 : 100



EASTERN ELEVATION
1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD

Client name:
J.K. MARTIN

Drafted by: T.W.
Approved by: S.S.W.

Drawing:
ELEVATIONS

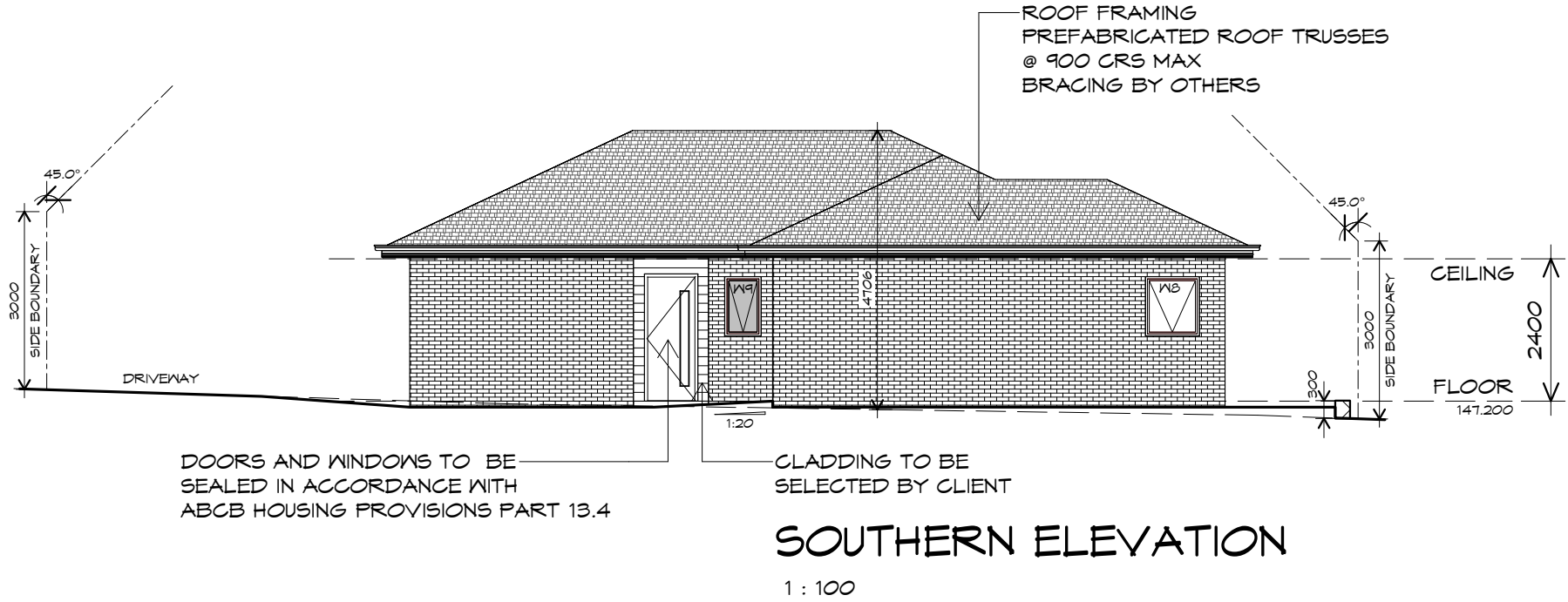
Date: 13.07.2023
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Project/Drawing no: PD23067 -U1-03
Revision: 03



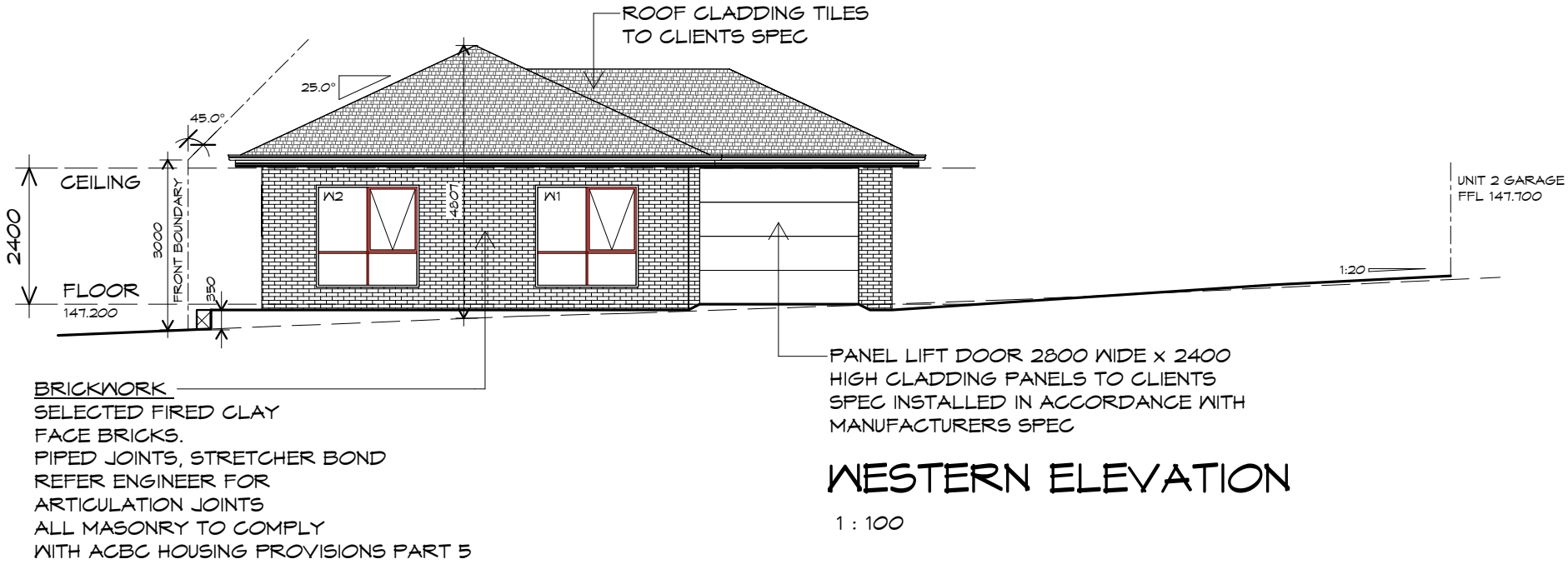
Accredited building practitioner: Frank Geskus -No CC246A

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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

PLANNING
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Project:
PROPOSED UNIT DEVELOPMENT
 21 BULWER STREET
 LONGFORD

Client name:
J.K. MARTIN

Drafted by: **T.W.**
 Approved by: **S.S.W.**

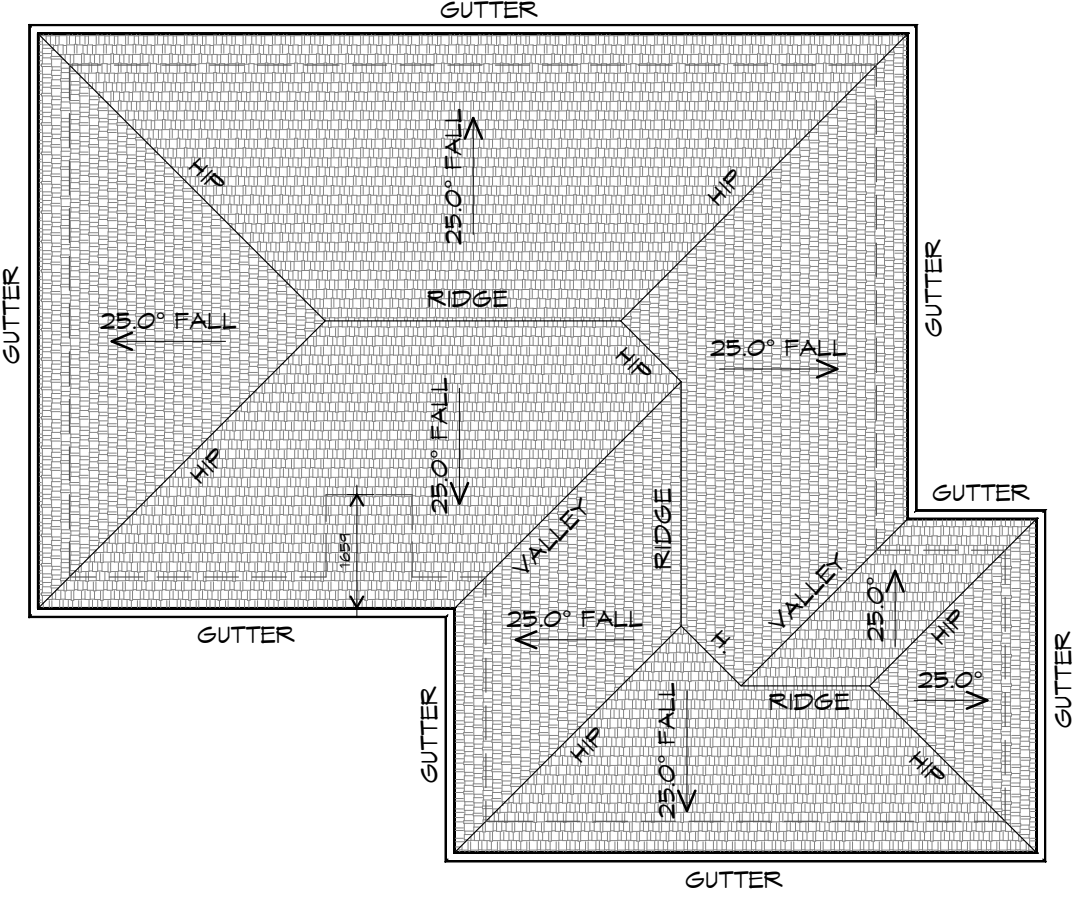
Drawing:
ELEVATIONS

Date: **13.07.2023**
 Scale: **1 : 100**

Project/Drawing no: **PD23067 -U1-04**
 Revision: **03**



Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:100 FOR BOX GUTTERS
 1:500 FOR EAVES GUTTER

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 18/08/2023

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.4.5
 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & LOCATED AS CLOSE AS
 POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

TILE ROOF
 ROOF TILES TO COMPLY WITH AS2049
 ROOF PITCH NOT LESS THAN 15° AND NO MORE
 THAN 35°. TILES TO BE FIXED IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.3.2.
 TILE FLASHINGS IN ACCORDANCE WITH ABCB
 HOUSING PROVISIONS PART 7.3.2.
 SARKING IN ACCORDANCE WITH ABCB HOUSING
 PROVISIONS PART 7.3.4 C/W ANTI-PONDING
 DEVICE/BOARD AS PER ABCB HOUSING
 PROVISIONS PART 7.3.5. TILES TO EAVES
 GUTTER MUST OVERHANG MIN 35mm AS PER
 ABCB HOUSING PROVISIONS PART 7.3.6

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
PROPOSED UNIT DEVELOPMENT
 21 BULWER STREET
 LONGFORD

Drawing:
ROOF PLAN

Client name:
J.K. MARTIN

Date: **13.07.2023**
 Scale: **1 : 100**

Drafted by:
T.W.

Approved by:
S.S.W.

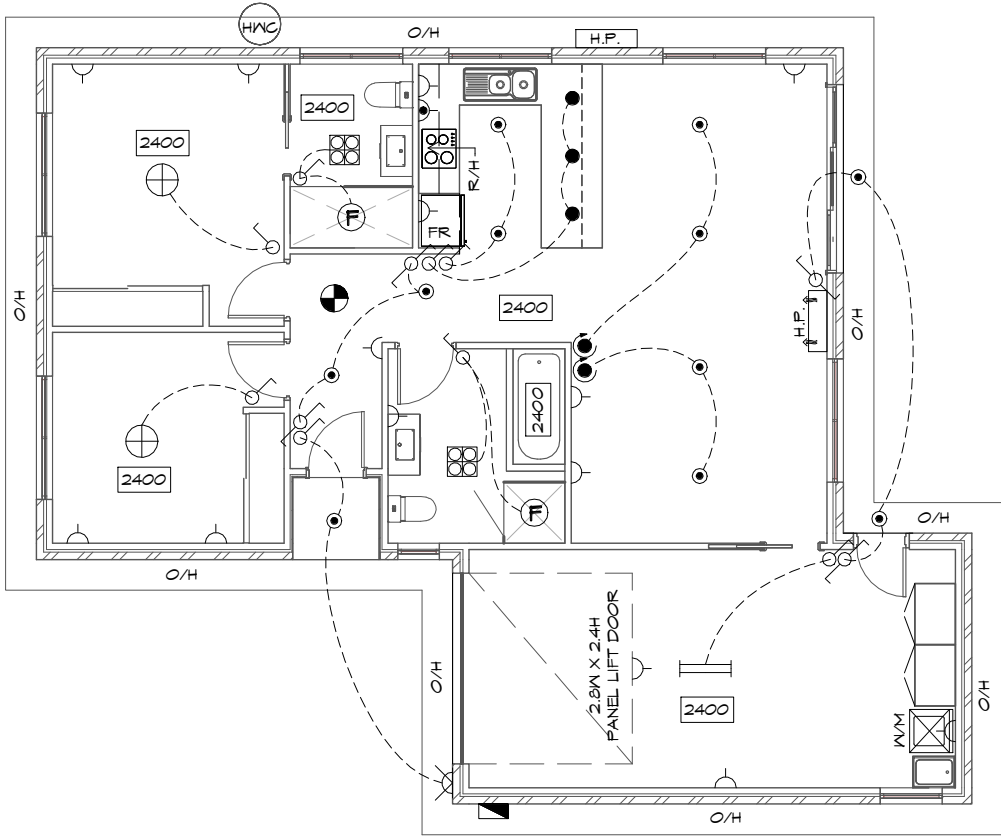
Project/Drawing no: **PD23067 -U1-05**
 Revision: **03**



Accredited building practitioner: Frank Geskus -No CC246A



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18/08/2023



ELECTRICAL INDEX

LIGHTING

- ⊕ CEILING LIGHT OUTLET
 - ⊞ FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/M DAMPER, EXHAUST TO OUTSIDE*
 - L.E.D. - SEALED DOWN LIGHT *
 - ▯ TWIN TUBE FLUORESCENT LIGHT
 - ⊗ SECURITY LIGHT
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

SWITCH TYPE

- ⌚ ONE-WAY SWITCH
- ⌚ TWO-WAY SWITCH

WALL OUTLETS

- ⌚ GENERAL PURPOSE OUTLET (DOUBLE)
- ⌚ WEATHER PROOF OUTLET
- ⌚ HOTPLATE SAFETY CUT-OFF
- TV T.V. OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

ARTIFICIAL LIGHTING RESIDENCES TO BE IN COMPLIANCE WITH ABCB HOUSING PROVISIONS PART 13.7.6

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m2 FOR CLASS 1 BUILDING
 - 4W/m2 FOR VERANDAHS & BALCONIES
 - 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

HEATING

- ⬆ HEAT PUMP
- ▭ HEAT PUMP, OUTDOOR UNIT
- ⊕ HEAT PUMP, CEILING OUTLET
- ▯ HEAT PUMP, RETURN AIR
- ▭ HEAT PUMP, CEILING UNIT

CEILING

- XXXX DENOTES CEILING HEIGHT

OTHER

- ⊕ 240V SMOKE ALARM
- ▭ SWITCH BOX
- ⊞ EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- O/H ROOF OVERHANG/EAVES
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.



**Hotondo
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Project:
PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD

Client name:
J.K. MARTIN

Drafted by: T.W. Approved by: S.S.W.

Drawing:
ELECTRICAL/REFLECTED
CEILING PLAN

Date: 13.07.2023 Scale: 1 : 100

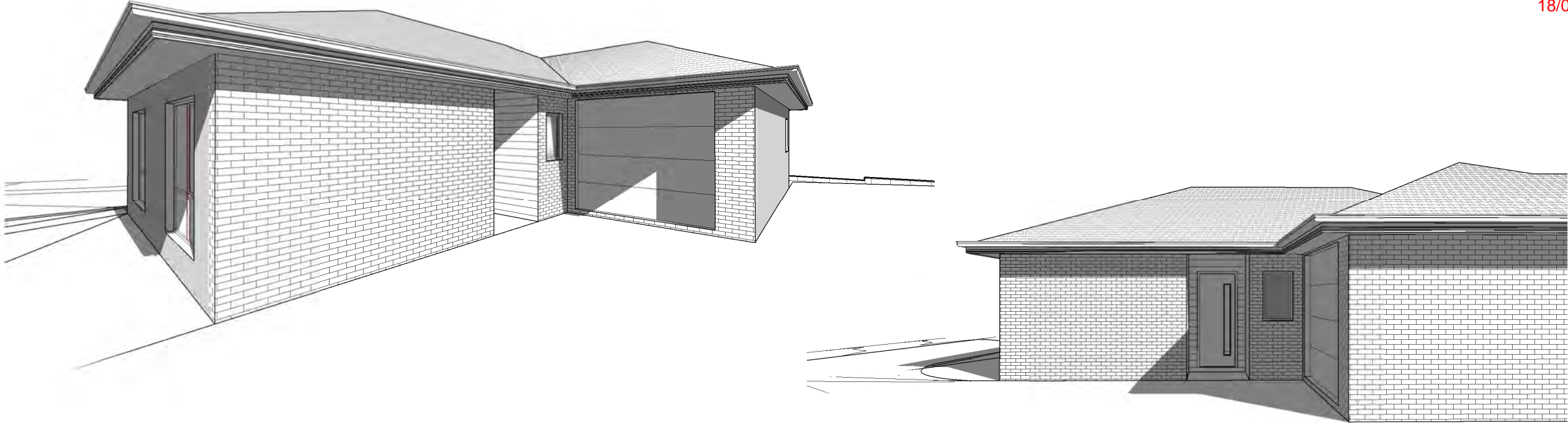
Project/Drawing no: PD23067 -U1-06 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

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PLANNING
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21 BULWER STREET
LONGFORD**

Client name:
J.K. MARTIN

Drawing:
PERSPECTIVES

Drafted by: T.W. Approved by: S.S.W.

Date: 13.07.2023 Scale:

Project/Drawing no: PD23067 -U1-07 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



**Hotondo
Homes**

UNIT 1

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LEGEND

- ⊕ EXHAUST FAN-VENT TO OUTSIDE AIR. Received 18/08/2023
- ⊙ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- G.S. GLASS SCREEN
- R/H RANGE HOOD, VENT TO OUTSIDE AIR
- HWC HOT WATER CYLINDER

PLANNING

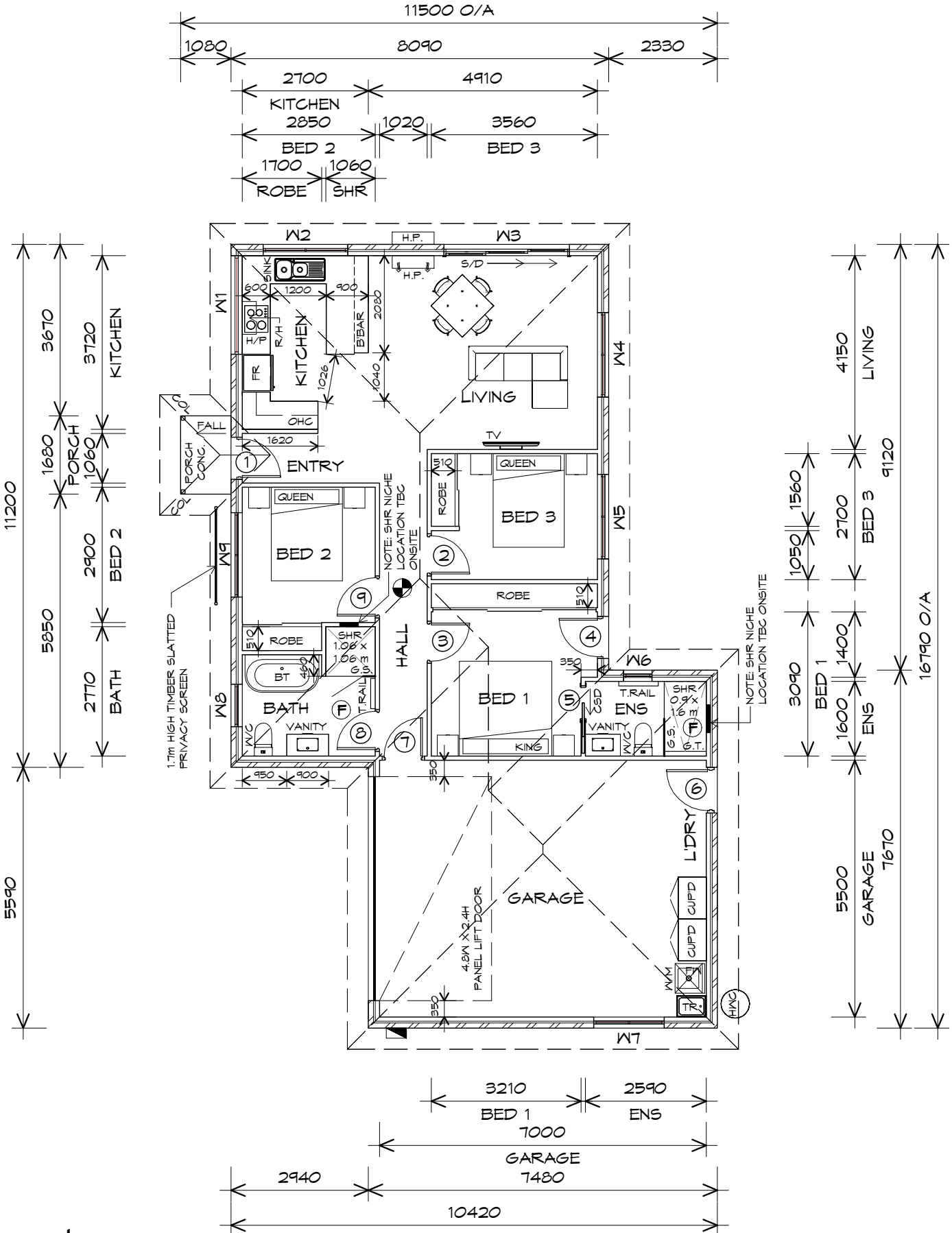
NOTE: DO NOT SCALE OFF DRAWINGS

FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

U2 FLOOR AREA	93.36	m ²	(10.04 SQUARES)
U2 PORCH AREA	2.02	m ²	(0.22 SQUARES)
U2 GARAGE AREA	43.27	m ²	(4.65 SQUARES)
TOTAL AREA	138.65		14.91



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Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD**

Client name:
J.K. MARTIN

Drawing:
FLOOR PLAN

Drafted by: **T.W.** Approved by: **S.S.W.**
Date: **18.07.2023** Scale: **1 : 100**

Project/Drawing no: **PD23067 -U2-01** Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A



UNIT 2

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
Ph: 03 6778 9504

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18/08/2023

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 NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	GLAZED EXTERNAL DOOR	
5	720	CAVITY SLIDING DOOR	
6	876	EXTERNAL HALF GLASS	CLEAR GLASS
7	820	INTERNAL TIMBER DOOR	SOLID CORE
8	820	INTERNAL TIMBER DOOR	
9	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	715	2110	FIXED WINDOW	SPLASHBACK WINDOW; 900mm SILL HEIGHT
W2	1000	1810	AWNING WINDOW	
W3	2100	2688	STACKING SLIDING DOOR	3-PANEL
W4	1000	1810	AWNING WINDOW	
W5	1000	1810	AWNING WINDOW	
W6	1000	610	AWNING WINDOW	OPAQUE, RESTRICTED OPENING
W7	1000	1510	AWNING WINDOW	
W8	1000	910	AWNING WINDOW	OPAQUE
W9	1000	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-XX** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



**Hotondo
Homes**

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21 BULWER STREET
LONGFORD**

Client name:
J.K. MARTIN

Drafted by: **T.W.** Approved by: **S.S.W.**

Drawing:
**DOOR AND WINDOW
SCHEDULES**

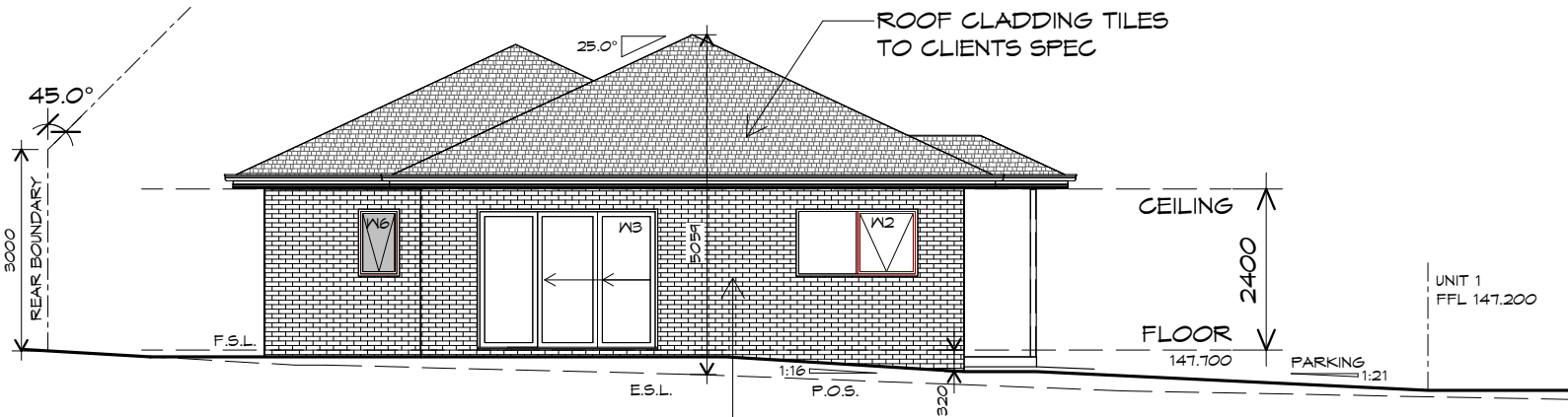
Date: **18.07.2023** Scale:

Project/Drawing no: **PD23067 -U2-02** Revision: **03**



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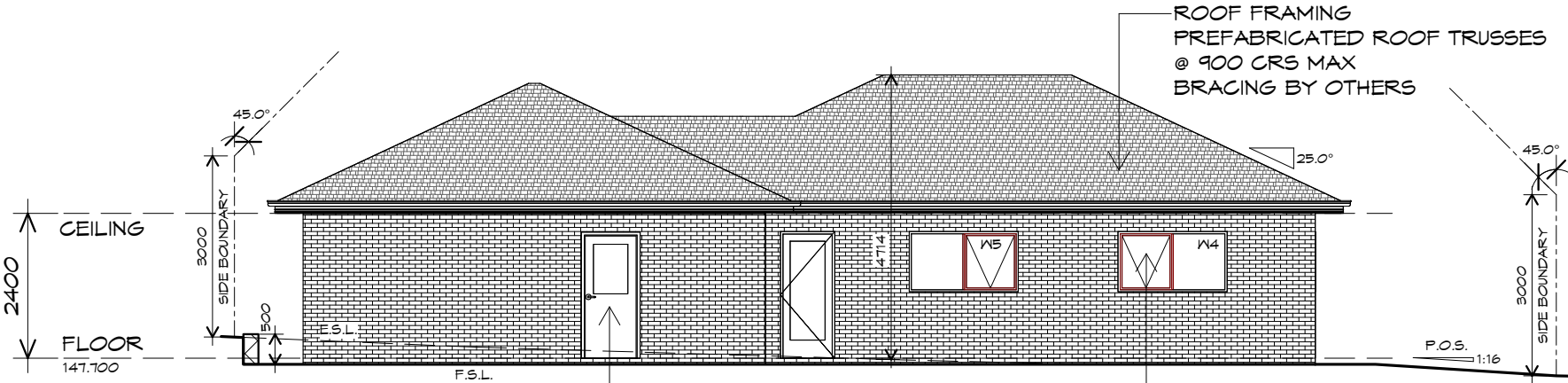
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EASTERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 PIPED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH ACBC HOUSING PROVISIONS PART 5



SOUTH ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED UNIT DEVELOPMENT
 21 BULWER STREET
 LONGFORD**

Client name:
J.K. MARTIN

Drafted by: **T.W.**
 Approved by: **S.S.W.**

Drawing:
ELEVATIONS

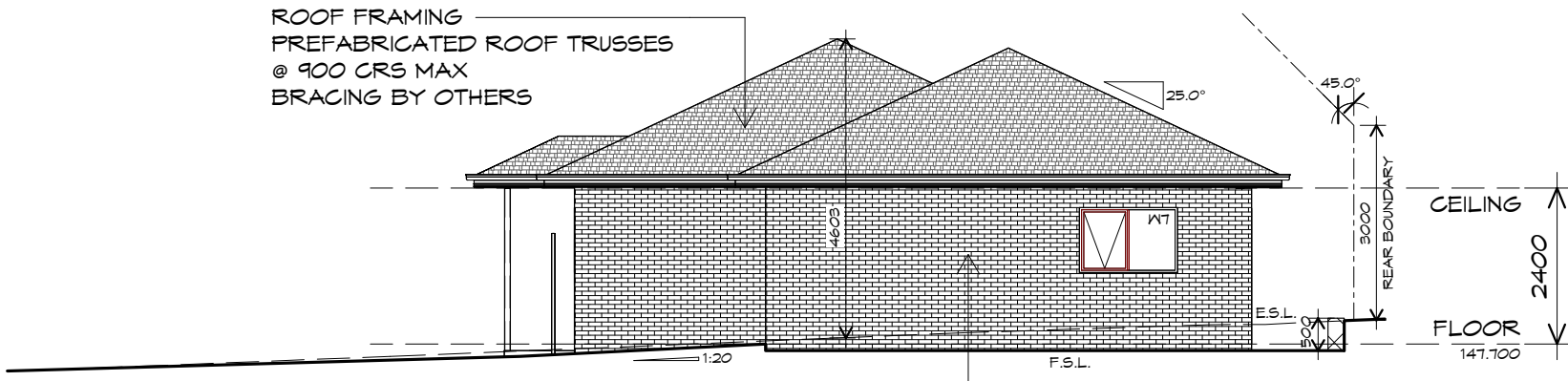
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Project/Drawing no: **PD23067 -U2-03**
 Revision: **03**



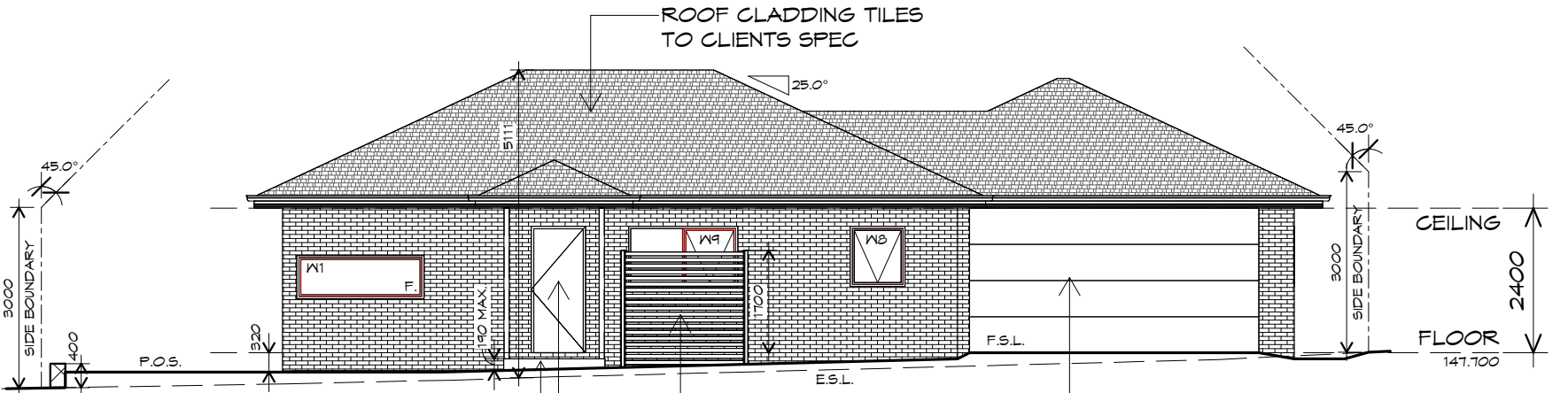
Accredited building practitioner: Frank Geskus -No CC246A

Received
18/08/2023



WESTERN ELEVATION
1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
PIPED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ACBC HOUSING PROVISIONS PART 5



NORTHERN ELEVATION
1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
ACBC HOUSING PROVISIONS PART 13.4

1.7m HIGH TIMBER
SLATTED PRIVACY
SCREEN

PANEL LIFT DOOR 4800 WIDE x 2400
HIGH GLAZING PANELS TO CLIENTS
SPEC INSTALLED IN ACCORDANCE WITH
MANUFACTURERS SPEC

PLANNING
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Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD**

Client name:
J.K. MARTIN

Drafted by:
T.W.

Approved by:
S.S.W.



Drawing:
ELEVATIONS

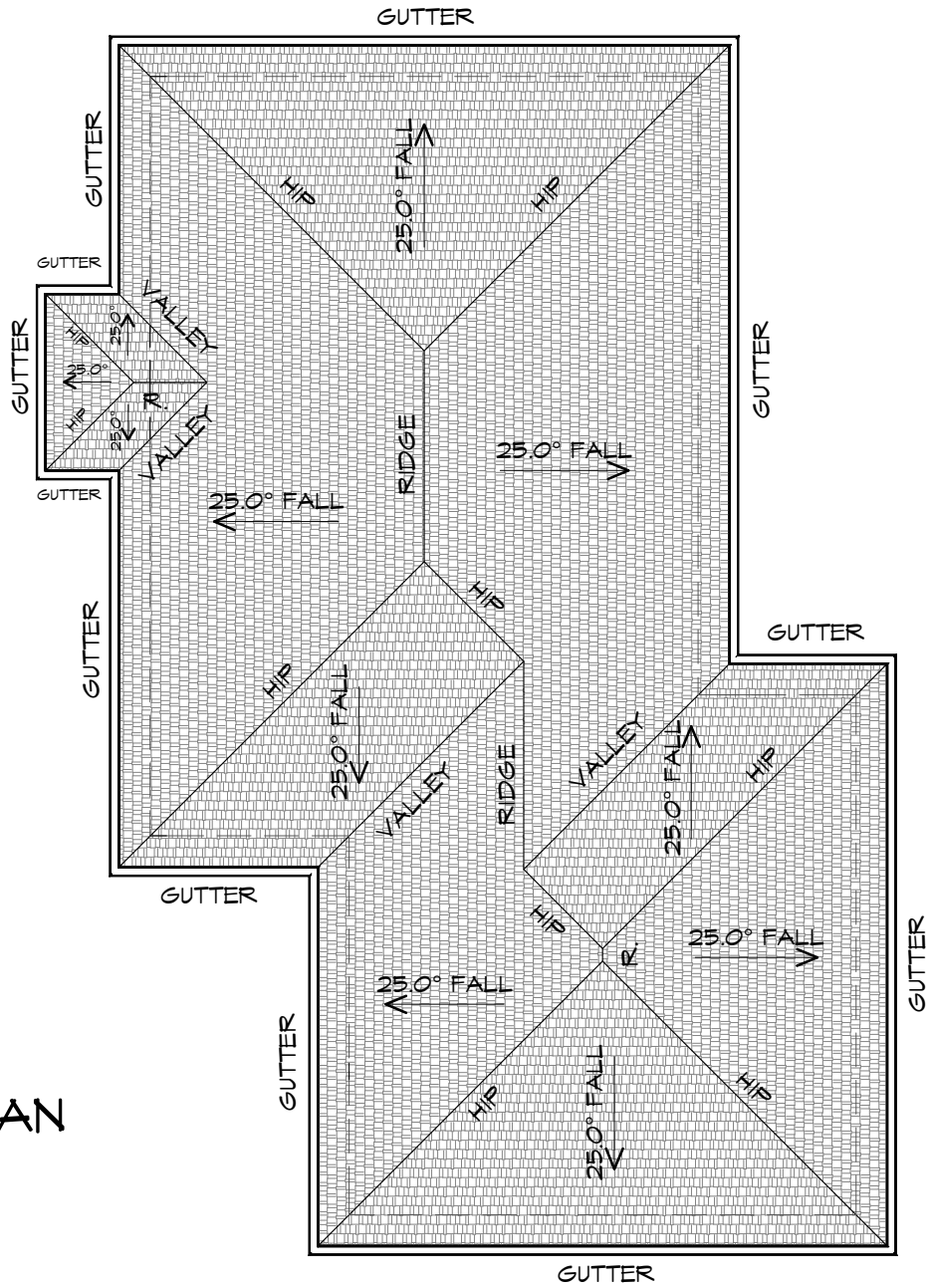
Date: 18.07.2023
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Project/Drawing no: PD23067 -U2-04
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

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NOTE: DO NOT SCALE OFF DRAWINGS



ROOF PLAN
1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

TILE ROOF
ROOF TILES TO COMPLY WITH AS2049
ROOF PITCH NOT LESS THAN 15° AND NO MORE
THAN 35°. TILES TO BE FIXED IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.3.2.
TILE FLASHINGS IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 7.3.2.
SARKING IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.3.4 C/W ANTI-PONDING
DEVICE/BOARD AS PER ABCB HOUSING
PROVISIONS PART 7.3.5. TILES TO EAVES
GUTTER MUST OVERHANG MIN 35mm AS PER
ABCB HOUSING PROVISIONS PART 7.3.6



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Project:
PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD

Drawing:
ROOF PLAN

Client name:
J.K. MARTIN

Date: 18.07.2023
Scale: 1 : 100

Drafted by:
T.W.

Approved by:
S.S.W.



Project/Drawing no:
PD23067 -U2-05

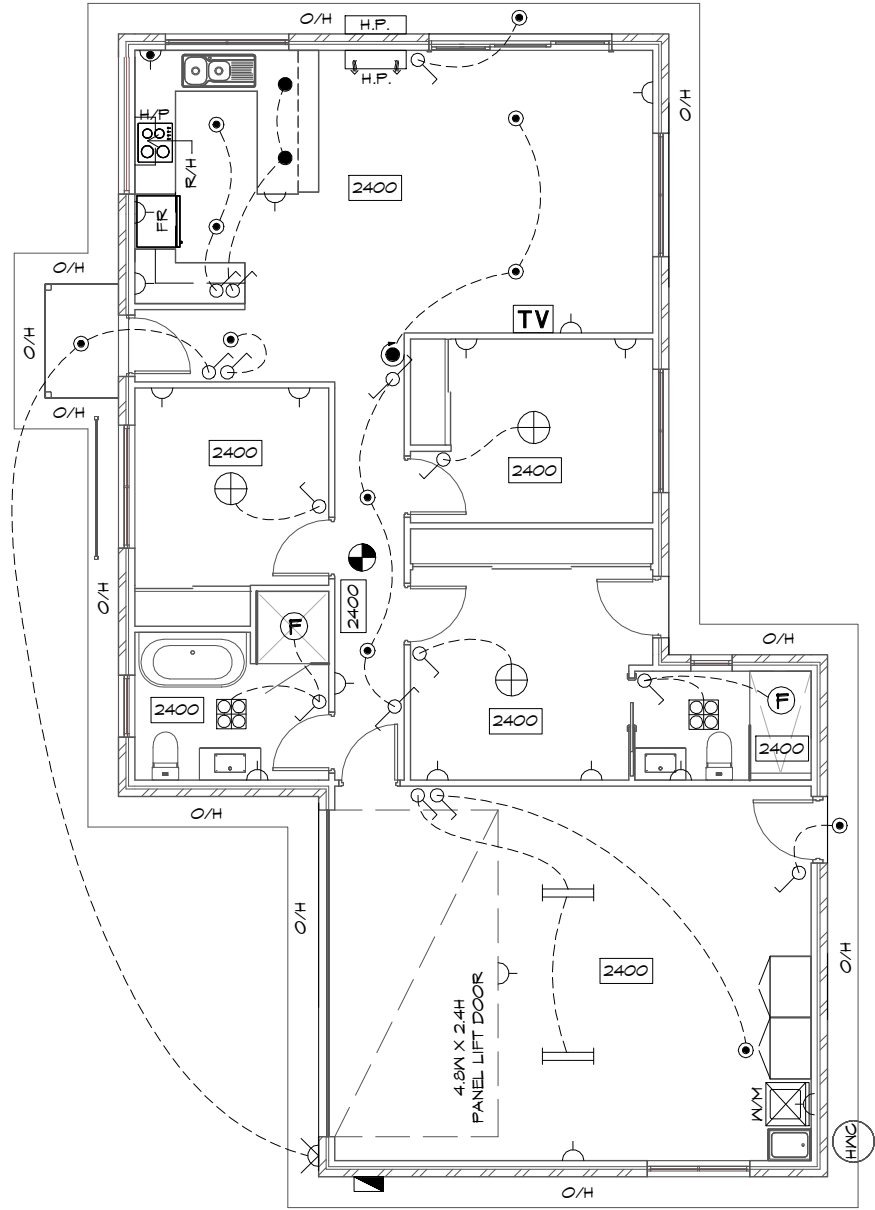
Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A



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18/08/2023

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



ELECTRICAL INDEX

LIGHTING

- ⊕ CEILING LIGHT OUTLET
- ⊗ FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
- L.E.D. - SEALED DOWN LIGHT *
- TWIN TUBE FLUORESCENT LIGHT
- ⊗ SECURITY LIGHT

*INSTALL AS PER MANUFACTURERS SPECIFICATION

SWITCH TYPE

- ⊕ ONE-WAY SWITCH
- ⊖ TWO-WAY SWITCH

WALL OUTLETS

- ⊖ GENERAL PURPOSE OUTLET (DOUBLE)
- ⊖ WEATHER PROOF OUTLET
- ⊖ HOTPLATE SAFETY CUT-OFF
- TV T.V. OUTLET

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

ARTIFICIAL LIGHTING RESIDENCES TO BE IN COMPLIANCE WITH ABCB HOUSING PROVISIONS PART 13.7.6

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m2 FOR CLASS 1 BUILDING
 - 4W/m2 FOR VERANDAHS & BALCONIES
 - 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT.
IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

HEATING

- ⊕ HEAT PUMP
- ⊖ HEAT PUMP, OUTDOOR UNIT
- ⊕ HEAT PUMP, CEILING OUTLET
- ⊖ HEAT PUMP, RETURN AIR
- ⊖ HEAT PUMP, CEILING UNIT

CEILING

XXXX DENOTES CEILING HEIGHT

OTHER

- ⊖ 240V SMOKE ALARM
- ⊖ SWITCH BOX
- F EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- O/H ROOF OVERHANG/EAVES
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

ELECTRICAL/REFLECTED CEILING PLAN

1 : 100



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Project:
PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD

Client name:
J.K. MARTIN

Drafted by:
T.W.

Approved by:
S.S.W.

Drawing:
ELECTRICAL/REFLECTED
CEILING PLAN

Date:
18.07.2023

Scale:
1 : 100

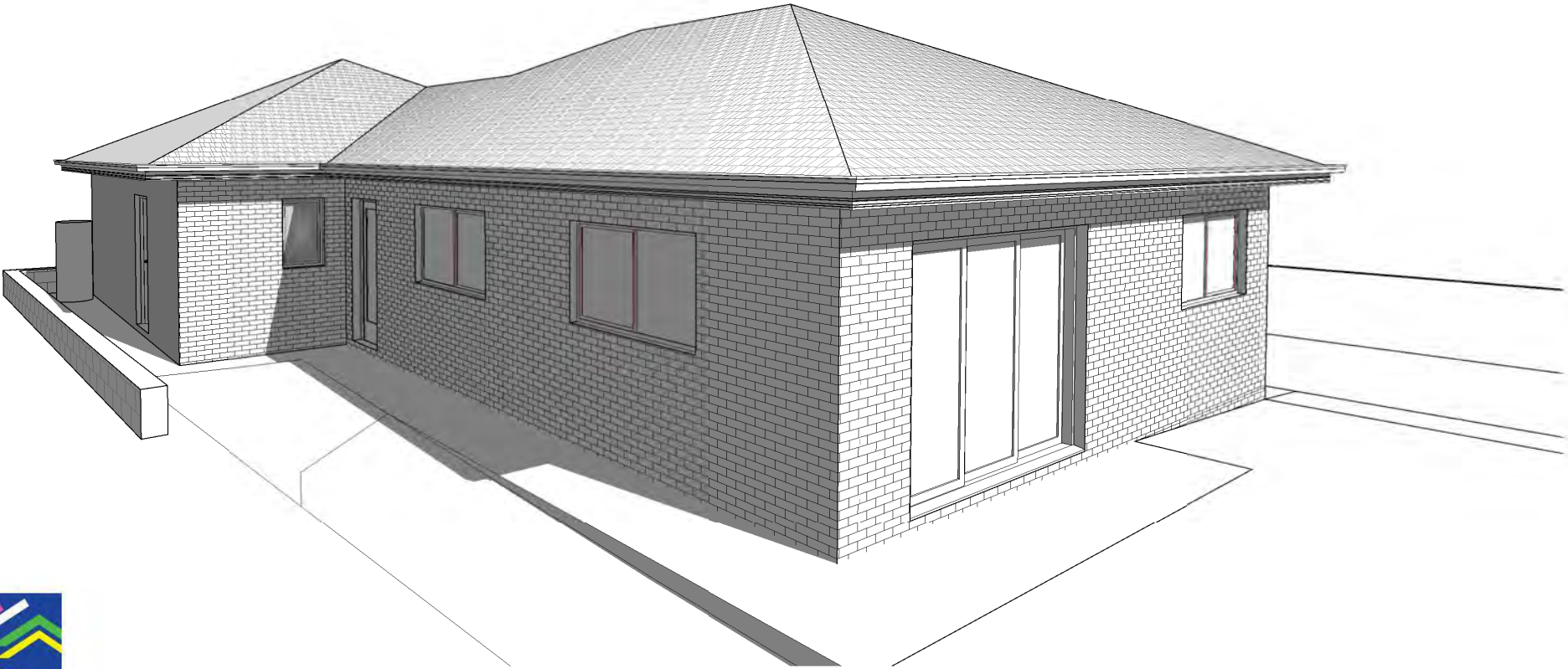
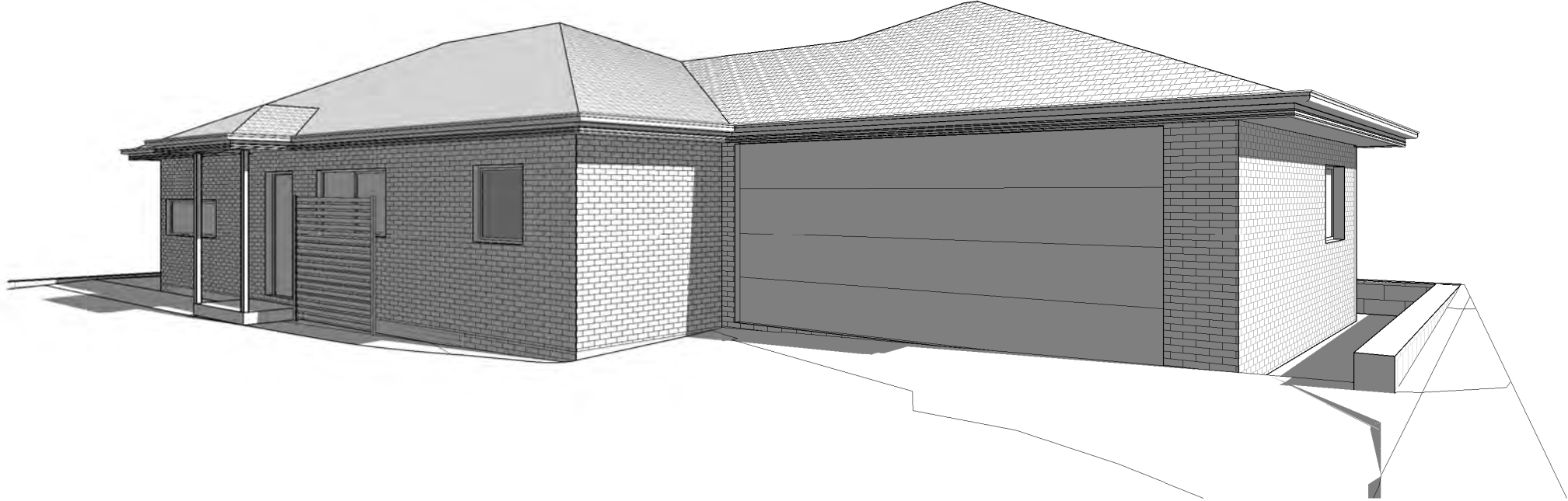
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PD23067 -U2-06

Revision:
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Project:
**PROPOSED UNIT DEVELOPMENT
21 BULWER STREET
LONGFORD**

Client name:
J.K. MARTIN

Drawing:
PERSPECTIVES

Drafted by: T.W. Approved by: S.S.W.

Date: 18.07.2023 Scale:

Project/Drawing no: PD23067 -U2-07 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



**Hotondo
Homes**

Hotondo Homes Launceston
303 Invermay Road, Invermay 7248
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17 July 2023

Northern Midlands Council
PO Box 156
Longford TAS 7301



Dear Planner,

Re: Proposed Residential Unit Development, 21 Bulwer Street, Longford

Zone: 8.0 General Residential

Code: Airport Obstacle Limitation Area

The following addresses the parts of the Tasmanian Planning Scheme that apply to a single residence dwelling within the General Residential zone at 21 Bulwer Street, Longford.

8.4.1 Residential density for multiple dwellings

A1 Refer to NOR-S5.7.1 response below.

8.4.2 Setbacks and Building Envelope for all Dwellings

A1 (a) Does not comply. We seek Council's discretion regarding the setback where Unit 1 sits. The windows along the front boundary are to non-habitable rooms only. Therefore, privacy to the dwelling from the street has not been encroached. In addition, Unit 1's private open space is still north-facing and is not in direct proximity of the neighbouring dwelling – as opposed to if it was predominantly along the front boundary.
(b) Not applicable. No secondary frontage.
(c) Not applicable.
(d) Not applicable.

A2 (a) Complies.
(b) Not applicable.
(c) Not applicable.

A3 (a) Complies.
(b) Complies. Unit 2 does not extend beyond the existing neighbouring building on 23 Bulwer Street. There are no other existing surrounding buildings. Unit 1 is more than 1.5m from its side boundary.

8.4.3 Site Coverage and Private Open Space for all Dwellings

A1 Complies. (a) Both dwellings combined have a site coverage of 31.5%
(b) Both dwellings have a minimum private open space of 60m²
A2 Complies with all points.

8.4.4 Sunlight to private open space of multiple dwellings

A1 Complies for both (a) & (b).

8.4.5 Width of Openings for Garages & Carports for all Dwellings

A1 Complies.

8.4.6 Privacy for all Dwellings

A1 Not applicable. No balcony, deck, roof terrace or carport.
A2 Not applicable. Floor levels less than 1m above existing ground level.
A3 Complies. (a) Windows to habitable rooms in Unit 1 are more than 2.5m.

Page 1 of 2



(b) Window to habitable room in Unit 2 is more than 1m and separated by a 1.7m high screen.

8.4.7 Frontage Fences for all Dwellings

A1 Front fence not included in proposal. Neighbouring property has an existing fence along their rear boundary.

8.4.8 Waste Storage for Multiple Dwellings

A1 Complies with (a).

Table C2.2 Internal Access Way Widths for Vehicles

Internal access width starts with 4.15m for the first 13.99m of the existing driveway, and tapers midway to 3.8m for 20.99m. We seek Council's discretion.

Longford Specific Area Plan

NOR-S6.7.1 Residential density for multiple dwellings

A1 Does not comply. Each dwelling has a site area of 340m² (not including internal access driveway).

P1 (a) The development is compatible with the density of the existing unit dwellings on either side of its neighbouring properties (17 and 23 Bulwer Street). In addition, the 3-unit development at 17 Bulwer Street has been granted with a site area of under 400m² as well.

(b) Not applicable.

NOR-S6.7.2 Roof Forms & Materials

A1 Complies. The proposed dwellings have tiled hip and valley roofs, matching the existing dwellings in its vicinity. The roof pitch is a uniform 25.0°.

NOR-S6.7.3 Wall Materials

A1 Complies. The proposed units are brick veneer finished only, no lightweight cladding.

NOR-S6.7.4 Windows

A1 Complies. All windows and doors are 300mm below eave line.

A2 Does not apply. None of the dwellings are visible from the street level, nor facing a front boundary.

A3 Does not apply. Same as A2.

Thank you.

Kind regards,
Tarcia Wong



CBM Ventures Pty Ltd
T/A Exceed Engineering
www.exceedengineering.com.au
ABN: 86 132 286 527

STORMWATER DESIGN REPORT

21 Bulwer St, Longford

CLIENT: Martin
 PROJECT: 21 Bulwer St Longford
 JOB NO: 687

Date	Purpose of Issue/Nature of Revision	Revision No.	Authorised by
14/08/2023	Issue to client	REV01	SD

This report has been prepared by;

Samuel Dingemanse BBus BSc MEIANZ

Liam Dingemanse BE(Civil) MIEAUST CPENG NER APEC Engineer IntPE(Aus)
 RPEQ GAICD

This Report has been prepared in reliance on data, surveys, analysis, designs, plans and other information provided by the client, and other individuals and organisations referenced herein. Except as otherwise stated in this report, CBM has not verified the accuracy or completeness of such data, surveys, analysis, designs, plans and other information. The passage of time, manifestation of latent conditions or impacts of future events may result in the actual contents differing from that described in this report.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third parties.

This report does not purport to provide legal advice. Readers should engage professional legal advisers for this purpose.

Exceed Engineering
 51 York St, PO Box 1971
 Launceston Tasmania 7250 Australia
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 Email: info@exceedengineering.com.au

Contents

1	Introduction.....	1
1.1	Purpose and scope.....	1
2	Site and development details.....	2
2.1	Pre-development site conditions.....	2
2.2	Developed site conditions.....	2
3	Stormwater design methodology.....	3
3.1	Council Policy provided limits.....	3
3.1.1	Site imperviousness calculation.....	3
3.2	OSD design.....	3
3.3	PSD design.....	3
4	Maintenance requirements for system.....	5
5	Summary.....	6

1 Introduction

This Stormwater Management Report has been prepared by Exceed Engineering to satisfy the Northern Midland Council's requirements for stormwater detention for the proposed unit development at this site.

1.1 Purpose and scope

The purpose of this report is to investigate, report and provide the design of site stormwater detention to meet the requirements of the On-Site Stormwater Detention Council Policy.

As the stormwater overland flow path will be directly to the road drain on Bulwer St the report has considered the 5% AEP storm event for sizing on-site detention (OSD) and the permissible site discharge (PSD).

2 Site and development details

2.1 Pre-development site conditions

The predeveloped site is defined as the site prior to the construction of the units. It is an undeveloped internal lot of 824 m².

The site falls to the north east (down the driveway to Bulwer St) at an approximate grade of 3%.

2.2 Developed site conditions

Two units will be constructed with a combined area of 260 m² as well as a concrete driveway and parking area of 457 m². The remaining 107 m² will be pervious garden and grass.

The development will increase the site imperviousness from the new roofs and driveway areas. This will concentrate rainfall into the proposed piped drainage and detention system.

3 Stormwater design methodology

3.1 Council Policy provided limits

The Policy includes a table providing required PSD and OSD limits for a given block size and fraction impervious runoff coefficient combination.

3.1.1 Site imperviousness calculation

The site imperviousness is the ratio of impervious surfaces to total site area:

$$(260 + 457) / 824 = 87\% \text{ or } 0.87.$$

3.2 OSD design

The site area used is 800 m². From above, the fraction impervious is rounded to 90%, thus the Council Policy OSD minimum volume is **4.67 m³**.

A DN600 corrugated plastic storage pipe is proposed, in order to detain both roof and pavement stormwater flows. Depth to the stormwater discharge point is somewhat constrained as it is a kerb discharge, however there is sufficient depth to install this system at approx. 35m up the driveway. The pipe will be installed under the driveway at this point, and will connect to surface pits and roof downpipes. Stormwater generated below the level of the detention system will not be detained, but will be captured in a drainage channel across the crossover for dispersal to the kerb.

Refer attached drawings: EE687-CIVIL_BA_20230814.

3.3 PSD design

The Council Policy maximum PSD is **7.03 L/s**.

In order to achieve this PSD, an orifice plate must be installed on the detention tank outlet. The size of this orifice is calculated from the following equation, and is **63mm**.

$$A_o = \frac{Q_{des}}{C_d \sqrt{2gH}}$$

C_d = Orifice Discharge Coefficient (0.6)

H = Depth of water above the centroid of the orifice (m)

A_o = Orifice area (m²)

Q_{des} = Design discharge (m³/s)

4 Maintenance requirements for system

The onsite detention and stormwater treatment system will require ongoing inspection and maintenance to ensure it is working correctly. Key inspection and maintenance requirements are below;

Item	Frequency
<ul style="list-style-type: none"> • General inspection of inlets and outlets for blockages and ensure OSD is working correctly. Mesh screen should be cleared and cleaned and replaced if damaged or worn. • OSD should remain empty unless rain event occurs. • All debris and blockages to be investigated and removed if OSD does not empty by itself. 	Monthly
<ul style="list-style-type: none"> • Remove debris from roof guttering to limit debris entering OSD. • Trees dropping leaves and debris onto roof should be trimmed. 	Six Monthly
<ul style="list-style-type: none"> • Every 10 years full inspection of OSD and components by registered plumber is required. Replacement of all elements that would not last until next inspection is required and should be included in maintenance schedule. 	10 Years

5 Summary

The developed site will require onsite detention and low flow orifice to achieve the requirements of the Council's On-Site Detention Policy.

A detention system, comprising a DN600 corrugated pipe, to be installed under the driveway, will capture and detain all stormwater

DRAWING TABLE		
SHEET	DESCRIPTION	REV
C1	COVER PAGE	01
S1	SITE PLAN	01
01	DETENTION DETAIL	01
N1	CIVIL NOTES	01

IMPORTANT
 WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) & REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES

DRAWINGS TO BE READ IN CONJUNCTION WITH ANY WRITTEN SPECIFICATIONS AND ASSOCIATED DOCUMENTATION PREPARED BY THE ARCHITECT OR BUILDING DESIGNER AND THE RELEVANT SUB-CONSULTANTS

BASE DRAWING(S) PREPARED AND PROVIDED BY PRIME DESIGN

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
 DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE

DOCUMENTATION IS SUBJECT TO STATUTORY APPROVALS

THIS DESIGN IS INTENDED TO BE BUILT ONLY ONCE AND ONLY ON THE SITE THAT THE DESIGN WAS PREPARED FOR

01 BA JH SD SD LD 14/08/2023
 REV DESCRIPTION DRAFT DES CHKD APP DATE

DRAWN: JH
 DATE: 14/08/2023
 DESIGNED: SD
 CHECKED: SD
 PROJ MAN:
 DIRECTOR:
 SCALE: NTS SHEET: A3

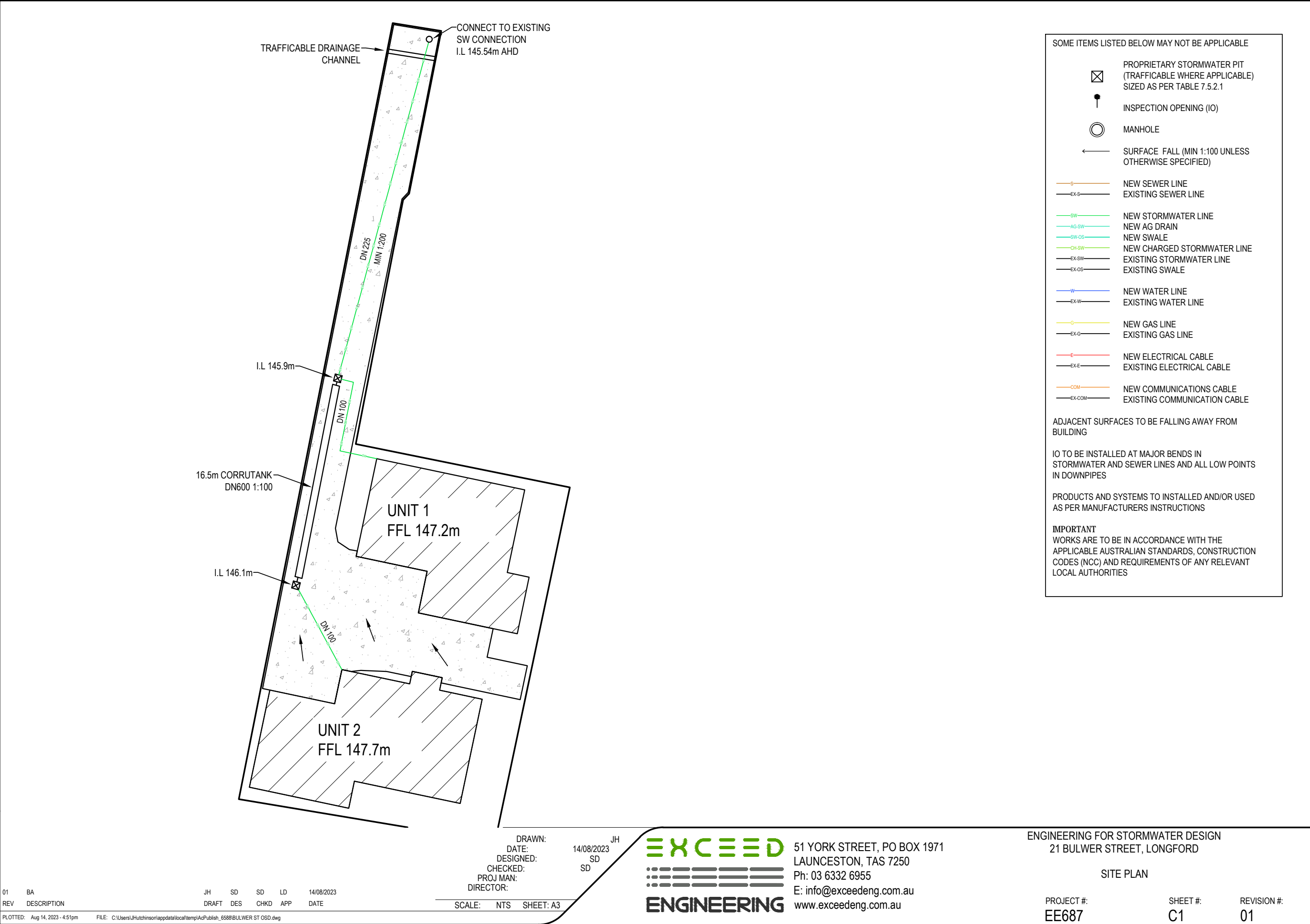


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ENGINEERING FOR STORMWATER DESIGN
 21 BULWER STREET, LONGFORD

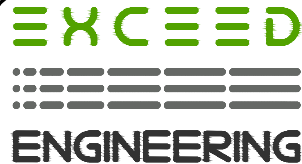
COVER PAGE

PROJECT #: EE687 SHEET #: C1 REVISION #: 01



REV	DESCRIPTION	JH	SD	SD	LD	14/08/2023
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		DRAFT	DES	CHKD	APP	DATE

DRAWN: JH
 DATE: 14/08/2023
 DESIGNED: SD
 CHECKED: SD
 PROJ MAN:
 DIRECTOR:



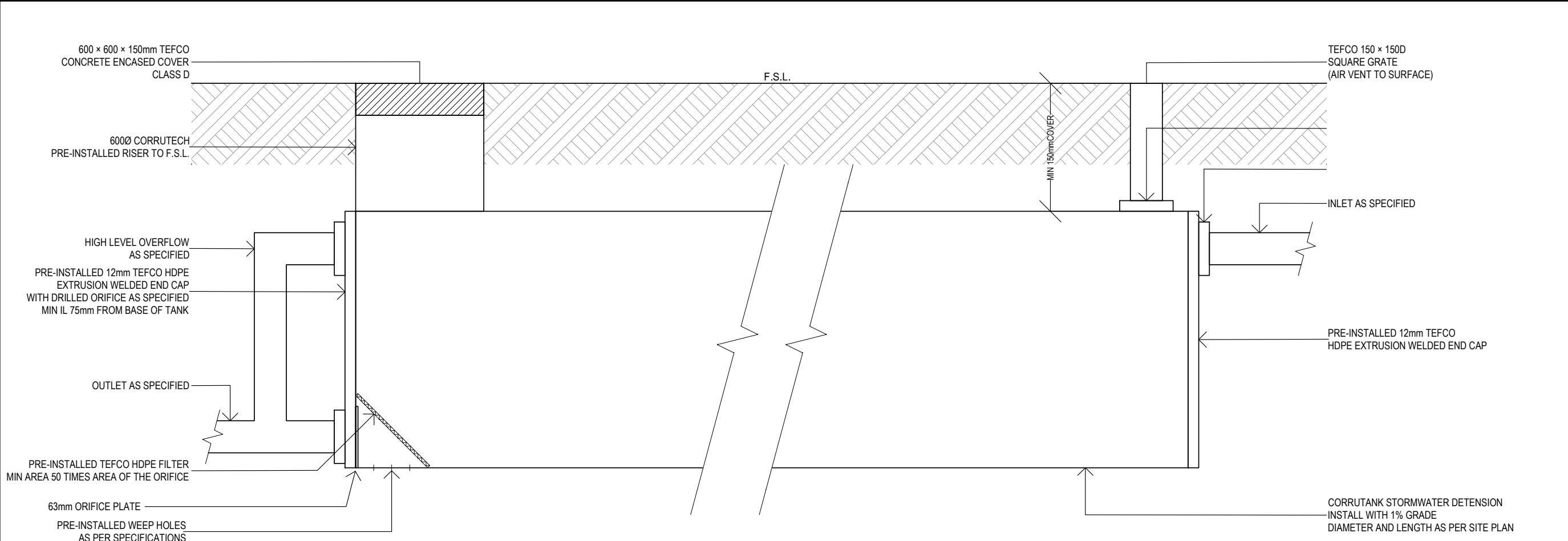
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ENGINEERING FOR STORMWATER DESIGN
 21 BULWER STREET, LONGFORD

SITE PLAN

PROJECT #: EE687
 SHEET #: C1
 REVISION #: 01

SCALE: NTS SHEET: A3

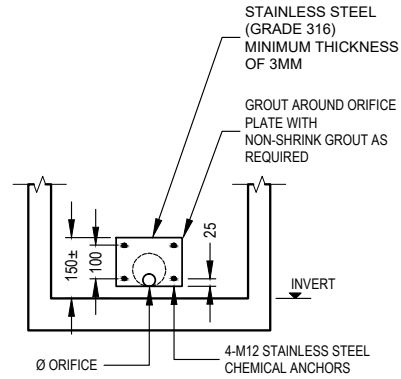


CORRUTANK UNDERGROUND DETENTION DETAIL
N.T.S.

FOR FURTHER INFORMATION ON THIS DETENTION SYSTEM, CONTACT TEFCO PIPING SYSTEMS
E: brayden@tefcodist.com.au
P: 0439 214 943

MINIMUM PIPE COVER - FINISHED SURFACE TO TOP OF PIPE		
AS/NZS 3500.3:2021 (TABLE 6.2.5)		
LOCATION	DUCTILE IRON, GALVANIZED STEEL	PLASTICS
	MINIMUM COVER (mm)	
1 NOT SUBJECT TO VEHICULAR LOADING:		
(a) WITHOUT PAVEMENT IN AUSTRALIA -		
(i) FOR SINGLE DWELLINGS OR	100	100
(ii) FOR OTHER THAN SINGLE DWELLINGS	100	300
(b) WITH PAVEMENT OF BRICK OR UNREINFORCED CONCRETE.	100	300
2 SUBJECT TO VEHICULAR LOADING:	100 ^a	100
(a) OTHER THAN ROADS:		
(i) WITHOUT PAVEMENT.	300	450
(ii) WITH PAVEMENT OF -		
(A) REINFORCED CONCRETE FOR HEAVY VEHICULAR LOADING; OR	NIL ^a	100 ^a
(B) BRICK OR UNREINFORCED CONCRETE FOR LIGHT VEHICULAR LOADING.	NIL ^a	75 ^a
(b) ROADS -		
(i) SEALED; OR	600	600
(ii) UNSEALED.	600	750
3 SUBJECT TO CONSTRUCTION EQUIPMENT LOADING OR IN EMBANKMENT CONDITIONS.	600	750
4 LAND ZONE FOR AGRICULTURE USE.	600	600

MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS			
AS/NZS 3500.3:2021 (TABLE 7.5.2.1)			
DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS (mm)		
	RECTANGULAR WIDTH	RECTANGULAR LENGTH	CIRCULAR DIAMETER
≤ 450	300	300	-
≤ 600	450	450	300
> 600 ≤ 900	600	600	600
> 900 ≤ 1200	900	900	1200



TYPICAL ORIFICE PLATE DETAIL
N.T.S.

01	BA	JH	SD	SD	LD	14/08/2023
REV	DESCRIPTION	DRAFT	DES	CHKD	APP	DATE

PLOTTED: Aug 14, 2023 - 4:51pm FILE: C:\Users\UHutchinson\appdata\local\temp\AcPublish_65888\BULWER ST OSD.dwg

DRAWN: JH
DATE: 14/08/2023
DESIGNED: SD
CHECKED: SD
PROJ MAN:
DIRECTOR:

SCALE: NTS SHEET: A3

EXCEED ENGINEERING

51 YORK STREET, PO BOX 1971
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ENGINEERING FOR STORMWATER DESIGN
21 BULWER STREET, LONGFORD

DETENTION DETAIL

PROJECT #:	SHEET #:	REVISION #:
EE687	C1	01

GENERAL

- G1 NO ATTEMPT HAS BEEN MADE TO LOCATE ALL SERVICES. ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS ARE SHOWN. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY(S) SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICE AND DETAILED LOCATIONS OF ALL SERVICES. ALL EXISTING SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.
- G2 NOMINATION OF PROPRIETARY ITEMS DOES NOT INDICATE EXCLUSIVE PREFERENCE BUT INDICATES THE REQUIRED PROPERTIES OF THE ITEM. SIMILAR ALTERNATIVES HAVING THE REQUIRED PROPERTIES MAY BE OFFERED FOR APPROVAL. INSTALL PROPRIETARY ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- G3 REFER ANY DISCREPANCY TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK.
- G4 DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS. DIMENSIONS ARE IN MILLIMETRES AND LEVELS ARE IN METRES U.N.O.
- G5 THE DATUM FOR ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G6 ALL CODES REFERENCED IN THESE DOCUMENTS WILL BE THE LATEST EDITION AVAILABLE UNLESS NOTED OTHERWISE.
- G7 WHERE ANY COMMON TRENCHING IS REQUIRED, THE FOLLOWING CLEARANCE DISTANCES (BARREL TO BARREL) MUST BE MAINTAINED FROM EXISTING OR PROPOSED SERVICES:
HORIZONTALLY:
 - 300mm ALONG A LENGTH GREATER THAN 2 METRES.
 - 500mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.
 - 150mm MINIMUM ALONG A LENGTH LESS THAN 2 METRES.
 VERTICALLY:
 - 150mm MINIMUM
 - 300mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.
 ELECTRICAL CABLES SHOULD BE LOCATED ON THE OPOSITE SIDE OF THE STREET. WHERE THIS IS NOT POSSIBLE A 400mm MINIMUM DISTANCE MUST BE OBSERVED OF WHICH 300mm SHOULD BE IN NATURAL AND UNDISTURBED MATERIAL.
- G8 THE SCOPE OF WORKS ARE SHOWN IN THESE DOCUMENTS AND THE SPECIFICATION. IT IS EXPECTED THE CONTRACTOR WILL RESOLVE ALL ISSUES UNCOVERED ON SITE THAT ARE NOT DETAILED IN CONJUNCTION WITH THE SUPERINTENDENT.
- G9 CLEARANCE REQUIREMENTS AS FOLLOWS UNLESS NOTED OTHERWISE: - -
 - GAS MAIN - 500mm HORIZONTAL; 300mm VERTICAL
 - GAS HOUSE CONNECTIONS - 300mm HORIZONTAL; 150mm VERTICAL
 - TELSTRA / NBN - 600mm HORIZONTAL; 150mm VERTICAL
 - TASNWORKS HV / LV CABLES - 450mm
 - STORMWATER - 600mm HORIZONTAL; 150mm VERTICAL
 - TASMWATER SEWER MAIN - 600mm HORIZONTAL; 500mm VERTICAL

WATER SENSITIVE URBAN DESIGN / ENVIRONMENTAL

- E1 CONSTRUCTION SHALL COMPLY WITH ALL ENVIRONMENTAL AND LEGISLATIVE REQUIREMENTS.
- E2 ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM EPA/NRM SOUTH, COMPRISING THE FOLLOWING:
 - FACT SHEET 1: SOIL & WATER MANAGEMENT ON LARGE BUILDING & CONSTRUCTION SITES
 - FACT SHEET 2: SOIL & WATER MANAGEMENT ON STANDARD BUILDING & CONSTRUCTION SITES
 - FACT SHEET 3: SOIL & WATER MANAGEMENT PLANS
 - FACT SHEET 4: DISPERSIVE SOILS - HIGH RISK OF TUNNEL EROSION
 - FACT SHEET 5: MINIMISE SOIL DISTURBANCE
 - FACT SHEET 6: PRESERVE VEGETATION
 - FACT SHEET 7: DIVERT UP-SLOPE WATER
 - FACT SHEET 8: EROSION CONTROL MATS & BLANKETS
 - FACT SHEET 9: PROTECT SERVICE TRENCHES & STOCKPILES
 - FACT SHEET 10: EARLY ROOF DRAINAGE CONNECTION
 - FACT SHEET 11: SCOUR PROTECTION - STORM WATER PIPE OUTFALLS & CHECK DAMS
 - FACT SHEET 12: STABILISED SITE ACCESS
 - FACT SHEET 13: WHEEL WASH
 - FACT SHEET 14: SEDIMENT FENCES & FIBRE ROLLS
 - FACT SHEET 15: PROTECTION OF STORM WATER PITS
 - FACT SHEET 16: MANAGE CONCRETE, BRICK & TILE CUTTING
 - FACT SHEET 17: SEDIMENT BASINS
 - FACT SHEET 18: DUST CONTROL
 - FACT SHEET 19: SITE RE-VEGETATION
- E2 CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EACH SITE DISTURBANCE AND SITE DISTURBANCE SHALL BE STAGED WHERE POSSIBLE
- E4 WORK SHALL BE RESTRICTED TO THE WELL-DEFINED WORKS ZONES

- E5 A SOIL RETENTION SYSTEM (E.G., GRAVEL SHAKEDOWN ZONE) SHALL BE PROVIDED AT ALL SITE ACCESS
- E6 ANY SOIL MATERIAL TRACKED OFF-SITE ONTO ROADWAYS SHALL BE IMMEDIATELY REMOVED
- E7 ALL CHEMICAL STORAGE SHALL BE MANAGED (E.G., BUNDED) IN ACCORDANCE WITH WORKCOVER OR EPA GUIDELINES
- E8 THE EXTENT OF CUT AND FILLS SHALL BE MINIMISED. CUT AND FILL BATTER GRADES SHALL IDEALLY BE AT 1:3
- E9 DISTURBED SOIL AREAS SHALL BE EFFECTIVELY MANAGED BY STAGING, MINIMISING AREA EXPOSED AT ANY ONE TIME, AND MINIMISING THE EXPOSURE TIMEFRAME OF EACH
- E10 SEDIMENT FILTERS (E.G., SEDIMENT FENCE) SHALL BE USED TO FILTER ALL 'SHEET FLOW' RUNOFF FROM DISTURBED AREAS AND STOCKPILES TO PREVENT SEDIMENT FROM ENTERING STORMWATER SYSTEMS
- E11 TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE CATCHMENT THEY ARE SERVICING IS STABILISED (FOR GRASS THIS WILL MEAN 70% GROUND COVER).
- E12 ALL SOIL LOADED TRUCKS LEAVING OR ENTERING THE SITE SHALL BE TARPED
- E13 TOPSOIL SHALL BE RE-SPREAD OVER ALL EXPOSED SOIL SURFACES WHERE VEGETATION IS REQUIRED. A MAXIMUM DEPTH OF 50MM SHALL BE PLACED ON SLOPES STEEPER THAN 1:3 AND A MINIMUM DEPTH OF 100MM SHALL BE PLACED ON SLOPES LESS THAN 1:3
- E14 AN NPK 11-34-11 FERTILISER OR SIMILAR AS APPROPRIATE SHALL BE APPLIED AT A RATE OF 200-400KG/HA. CARE IS TO BE TAKEN TO AVOID ANY FERTILISER DIRECTLY ENTERING WATERCOURSES.
- E15 SCARIFYING OR DIRECT DRILLING SHOULD BE USED TO IMPROVE SEED STRIKE RATES
- E16 REVEGETATION WORKS SHALL BE MAINTAINED/ENHANCED (E.G., RESEEDING, FERTILISING, WATERING) UNTIL A MINIMUM OR 70% GROUND COVER IS ESTABLISHED
- E17 NO TREES TO BE REMOVED WITHOUT THE APPROVAL OF THE SUPERINTENDENT REPRESENTATIVE
- E18 MINIMISE AIR POLLUTION INCLUDING DUST AND NOISE THAT MIGHT INTERFERE WITH NEIGHBOURING PROPERTIES

STORMWATER

- SW1 ALL STORM WATER PLUMBING & DRAINAGE TO COMPLY WITH A.S 3500.3:2021 STORM WATER DRAINAGE.
- SW2 WHERE RELEVANT, REFER TO IPWEA/LGAT TASMANIAN STANDARD DRAWINGS ISSUED MAY 2020
- SW3 ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.

SEWERAGE

- SE1 ALL SEWER WORKS TO BE IN ACCORDANCE WITH WSA SEWER CODE AND TAS WATER STANDARDS AND SUPPLEMENTS. ANY MODIFICATIONS TO THESE STANDARDS REQUIRES APPROVAL FROM SUPERINTENDENT AND TAS WATER.
- SE2 ALL NEW LIVE SEWER CONNECTIONS TO EXISTING TAS WATER SEWERAGE INFRASTRUCTURE TO BE COMPLETED BY TAS WATER UNLESS OTHERWISE AGREED AND APPROVED AT OWNERS EXPENSE.
- SE3 ALL DRAINAGE WORKS TO BE INSPECTED AND TESTED IF REQUIRED. CONTRACTOR IS RESPONSIBLE FOR ORGANISING INSPECTIONS AT BUT NOT LIMITED TO THE FOLLOWING STAGES:
 - TRENCHING AND PIPEWORK BEDDING
 - PIPE INSTALLED AND PRIOR TO BACKFILLING
 - AFTER BACKFILLING
 SHOULD ANY INSPECTIONS OR TESTING FAIL TO MEET THE REQUIREMENTS PRESCRIBED BY THE STATUTORY AUTHORITY THE SECTION FAILING THE TESTING/INSPECTION SHOULD BE REMOVED AND REINSTALLED TO MEET THE STATUTORY REQUIREMENTS AND DIRECTIONS PROVIDED. COST OF REINSTALLATION IS AT CONTRACTORS EXPENSE.
- SE4 TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DESIGN DRAWINGS AND TAS WATER STANDARDS. ELECTROMAGNETIC METAL IMPREGNATED TAPE SHOULD BE INSTALLED IN ALL NON METALLIC PIPE TRENCHES
- SE5 ALL MANHOLES ARE TO BE PRECAST CONCRETE MINIMUM 1050ID AND INSTALLED IN ACCORDANCE WITH WSA AND TAS WATER STANDARDS. MANHOLE COVERS TO BE HEAVY DUTY CLASS D GATIC COVERS AND SURROUNDS IN TRAFFICABLE AREAS AND MEDIUM DUTY CLASS B GATIC COVERS AND SURROUNDS IN NON TRAFFICABLE AREA.
- SE6 THE CONTRACTOR IS RESPONSIBLE FOR THE PRODUCTION OF ALL AS CONSTRUCTED DRAWINGS AND DOCUMENTATION. AS CONSTRUCTION DOCUMENTATION SHOULD BE IN ACCORDANCE WITH TAS WATER REQUIREMENTS AND STANDARDS AND BE CERTIFIED BY CHARTERED OR REGISTERED ENGINEER. S7 ALL REDUNDANT PIPE WORK TO BE CAPPED AND MADE SAFE.

WATER

- W1 ALL WATER SUPPLY CONSTRUCTION TO:
 - WATER SUPPLY CODE OF AUSTRALIA (WSA 03-2011-3.1 VERSION MRWA EDITION V2.0) - PART 2: CONSTRUCTION
 - WATER SERVICES ASSOCIATION OF AUSTRALIA - TASWATER SUPPLEMENT
 - TASWATER'S STANDARD DRAWINGS TWS-W-0002 SERIES
 - WATER METERING POLICY/METERING GUIDELINES
 - TASWATER'S STANDARD DRAWINGS TWS-W-0003 - FOR PROPERTY SERVICE CONNECTIONS - CAGE FOR WATER METER ASSEMBLY
 - BOUNDARY BACKFLOW CONTAINMENT REQUIREMENTS AND AS3500.1:2021. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL WATER AUTHORITY WORKS SUPERVISOR.

WORK HEALTH AND SAFETY

- WHS1 ALL WORK IS TO BE UNDERTAKEN IN ACCORANCE WITH:
 - RELEVANT WORK HEALTH AND SAFETY LEGISLATION
 - RELEVANT SAFE WORK AUSTRALIA CODES OF PRACTICE
 - SITE SPECIFIC SAFETY PLANS
 - IF THE CONTRACTORS PROPOSES AN ALTERNATIVE DESIGN, A SAFETY RISK ASSESSMENT SHOULD BE UNDERTAKEN AND SUBMITTED TO THE SUPERINTENDENT FOR REVIEW

EARTHWORKS

- EW1 EARTHWORKS SHALL BE IN ACCORDANCE WITH THIS SPECIFICATION AND AS 3798.
- EW2 AREAS OF FILL
REMOVE TOP SOIL AND ORGANIC MATERIAL
PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
 - 98% STANDARD DRY DENSITY UNDER BUILDING
 - 100% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE
 - PLACE FILL AS SPECIFIED AND COMPACT WITHIN 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE
- EW3 AREAS OF CUT
REMOVE TOP SOIL AND ORGANIC MATERIAL B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
 - 98% STANDARD DRY DENSITY UNDER BUILDINGS
 - 100% STANDARD DRY DENSITY UNDER ROADS AND CAR PARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

ROAD WORKS

WERE RELEVANT, REFER TO IPWEA/ LGATAS TASMANIAN SUBDIVISION STANDARD DRAWINGS ISSUED MAY 2020.

SURVEY

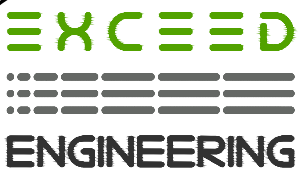
- S1 SURVEY DETAILS
THE FOLLOWING ARE SURVEY DETAILS USED AS BASIS FOR DESIGN:
 - SURVEYOR:
 - SURVEY REF:
 - SURVEY DATE:
 - SITE LOCATION:
 - COORDINATE SYSTEM: GDA94 MGA55 - LEVEL DATUM: AHD 83
 - SERVICE MARKER:
- S2 PROPERTY BOUNDARY OVERLAYS, WHERE SUPPLIED, VARY IN ACCURACY BUT ARE GENERALLY TO 0.5m. THEREFORE A LAND SURVEY, AS DEFINED UNDER THE SURVEYING ACT 2002, SHOULD BE UNDERTAKEN BEFORE ANY CONSTRUCTION ACTIVITY IS CARRIED OUT ON OR NEAR THE LAND BOUNDARIES DEPICTED BY THIS MODEL.
- S3 SURVEY CONTROL INFORMATION IS REGARDED AS SUITABLE FOR THE SURVEY AND CORRECT AT THE TIME OF SURVEY. BUT SHOULD BE VERIFIED BEFORE BEING USED FOR ANY PURPOSE.
- S4 NO DESIGN SHOULD BE UNDERTAKEN OUTSIDE OF SURVEY EXTENTS. IF DESIGN EXCEEDS SURVEY EXTENTS, ADDITIONAL SURVEY DATA SHOULD BE ACQUIRED.
- S5 UNDERGROUND SERVICES: THE LOCATION OF ALL EXISTING UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY. EXCEED TAKES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE LOCATION & DEPTH/ INVERT LEVEL OF ALL EXISTING UNDERGROUND SERVICES. IN CONJUNCTION WITH THE RELEVANT SERVICE AUTHORITY & ANY CONFLICTS WITH THE PROPOSED DESIGN/ PIPE ALIGNMENT ARE TO BE RESOLVED PRIOR TO CONSTRUCTION

ENGINEERING FOR STORMWATER DESIGN
21 BULWER STREET, LONGFORD

CIVIL NOTES

PROJECT #: EE687 SHEET #: N1 REVISION #: 01

DRAWN: JH
DATE: 14/08/2023
DESIGNED: SD
CHECKED: SD
PROJ MAN:
DIRECTOR:



51 YORK STREET, PO BOX 1971
LAUNCESTON, TAS 7250
Ph: 03 6332 6955
E: info@exceedeng.com.au
www.exceedeng.com.au

SCALE: NTS SHEET: A3

01	BA	JH	SD	SD	LD	14/08/2023
REV	DESCRIPTION	DRAFT	DES	CHKD	APP	DATE

PLOTTED: Aug 14, 2023 - 4:51pm FILE: C:\Users\UHutchinson\appdata\local\temp\AcPublish_65888\BULWER ST OSD.dwg

Our ref: PLN-23-0135

31/07/2023

Mitch Roberts
10 Goodman Crt
INVERMAY 7248
By email: planning@primedesigntas.com.au



Dear Mitch,

Additional Information Required for Planning Application PLN-23-0135
Multiple Dwellings x 2 (2 New)(Vary Side Setbacks, Longford SAP, Density, Parking and Sustainable Transport Code) at 21 Bulwer Street, Longford

Thank you for your application. The following additional information is required.

- Council's Works & Infrastructure Department has reviewed your application and request the following additional information:
 - Modelling indicates that the downstream stormwater system is under capacity please provide a stormwater report including pipe sizes, levels and calculations in accordance with Council's onsite stormwater detention policy.

This information is required under section 54 of the *Land Use Planning and Approvals Act 1993*. In accordance with section 54 (2) of the Act, the statutory period for determining the application will not recommence until the requested information has been satisfactorily supplied.

Please send any emails to planning@nmc.tas.gov.au including the reference **PLN-23-0135**.

If you have any questions, please contact me on 6397 7303, or e-mail planning@nmc.tas.gov.au

Yours sincerely

A handwritten signature in black ink that reads "Rebecca Green".

Rebecca Green
Planning Consultant



Submission to Planning Authority Notice

Council Planning Permit No.	PLN-23-0135	Council notice date	27/07/2023
TasWater details			
TasWater Reference No.	TWDA 2023/01002-NMC	Date of response	31/07/2023
TasWater Contact	Rachael Towns	Phone No.	0436 615 228
Response issued to			
Council name	NORTHERN MIDLANDS COUNCIL		
Contact details	Planning@nmc.tas.gov.au		
Development details			
Address	21 BULWER ST, LONGFORD	Property ID (PID)	9186174
Description of development	Multiple Dwellings x 2		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Prime Design	PD23067 -02	03	13.07.2023
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.			
3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
DEVELOPER CHARGES			
4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$2020.55 (for the additional .4 ET's for water & .75 ET's for sewer) to TasWater for water and sewerage infrastructure for XXX additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.			
DEVELOPMENT ASSESSMENT FEES			
5. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.			
The payment is required within 30 days of the issue of an invoice by TasWater.			



Advice			
<p>General</p> <p>For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards</p> <p>For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form</p>			
<p>Developer Charges</p> <p>For information on Developer Charges please visit the following webpage - https://www.taswater.com.au/building-and-development/developer-charges</p>			
<p>Water Submetering</p> <p>As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.</p>			
<p>Service Locations</p> <p>Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.</p> <p>(a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.</p> <p>(b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit https://www.taswater.com.au/building-and-development/service-locations for a list of companies.</p> <p>(c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.</p> <p>NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –</p> <p>(a) a meter; and</p> <p>(b) installing a meter.</p>			
Declaration			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

5th September, 2023.

16 Lewis Street,

Longford, 7301.

To the General Manager, NMC,

Ref. No. PLN-23-0135.

Dear Sir,

I have been notified of plans to build a further two internal block units at 21 Bulwer Street, at the rear of my property. This is in addition to a previous application to build three units at 17 Bulwer Street, also behind my property. A few years ago two units were built on land at 23 Bulwer Street, and at present two units are also under construction at 20 Lewis Street. The General Manager may be aware that there are already thirty-five units in an area of about 300 square metres in Lewis, Tasmania, and Bulwer Streets. Add on the extra two in Lewis Street, and five in Bulwer Street, and there will be forty-two units in that 300 square metre area. I wonder if the council members know of the concentration of these units in such a small area. It is my opinion that there are too many applications being granted for units in the Lewis, Tasmania, and Bulwer Street (between Laycock and Tasmania Streets). As for the idea of a 'Longford Community', no one knows who their neighbours are. At present this is a joke. I personally know seven householders in all of Lewis Street, only because they have been here for years.

Yours,

John Denne.

Mob:0447403039.

Received
20/09/2023

20 September 2023

General Manager
Northern Midlands Council
PO Box 156
Longford TAS 7301



Dear General Manager,

Re: Representation received for Proposed Residential Unit Development, 21 Bulwer Street, Longford

Thank you for the opportunity to address the representation received. The proposed 2-unit development satisfies the zone purpose outlined under the General Residential Zone, and is very much compatible with the residential character of the Longford neighbourhood.

The proposed provides for residential use, where full infrastructure services are available and can be provided for.

The proposed is also in proximity to community spaces and businesses such as the Longford Convenience Store on Marlborough Street. Bus stops are also within walking distance of the dwellings.

The proposed has potential to serve the local community and does not infringe on amenity through scale, intensity, noise, or activity – being small residential units that are not visible from the public roads.

Finally, the owner is not a Property Developer with the pure intent to capitalise on 2 units. He will be residing in one of the two units.

Enclosed is a supporting letter from the owner, Joseph Kevin Martin.

I look forward to hearing your thoughts and comments.

Thank you.

Kind regards,
Tarcia Wong

Page 1 of 1

ABN 63 111 803 948

10 Goodman Court
Invermay, Launceston

160 New Town Road
New Town, Hobart

p+(l) 03 6332 3790
p+(h) 03 6228 4575

info@primedesigntas.com.au
primedesigntas.com.au

Received
20/09/2023

Joseph Kevin Martin (Owner 21 Bulwer Street, LONGFORD)

Email – josephkevin.martin@anz.com

Ph No - 0401219027

18th September 2023

To NMC Planning,

Reference PLN-23-0135

Dear Sir/Madam,

I hope this letter finds you in good health and high spirits, I am writing this letter in response to the representation received to build 2 units on block 21 Bulwer Street, Longford TAS

As I have previously emphasized the significance of units as a viable solution to alleviate the pressing issue of housing crisis in Tasmania, my primary intention is to live in Unit 2 and rent Unit 1 out, I personally feel units are affordable, low on maintenance and a great option for a wider range of income groups, including low-income individual and families.

It is imperative that we explore and implement effective strategies to address the housing crisis and support our community. One such strategy is the development of units, which can play a crucial role in providing affordable and accessible housing options for Tasmanians.

I kindly request that you consider my plans to build these 2 units in your planning and policy decisions, as I believe they provide significant social and community benefit.

I would be more than willing to discuss this further or provide any additional information that may be required.

Yours sincerely,
Joseph Kevin Martin

Received
13/04/2023



NORTHERN
MIDLANDS
COUNCIL

13 Smith Street / PO Box 156
Longford Tas 7301

PLANNING APPLICATION

Phone: 6397 7303
E-mail: planning@nmc.tas.gov.au

Received
13/04/2023

PLANNING APPLICATION Proposal

Description of proposal: PROPOSED MULTIPLE DWELLINGS x 6
.....
.....
.....
.....
.....
.....
(attach additional sheets if necessary)

If applying for a subdivision which creates a new road, please supply three proposed names for the road, in order of preference:

1..... 2..... 3.....

Site address: LOT 1 BEDFORD STREET, CAMPBELL TOWN
.....

CT no:

Estimated cost of project \$900,000
.....
(include cost of landscaping, car parks etc for commercial/industrial uses)

Are there any existing buildings on this property? Yes / No
If yes – main building is used as

If variation to Planning Scheme provisions requested, justification to be provided:

REFER PLANS
.....
.....
.....
.....
.....
(attach additional sheets if necessary)

Is any signage required? N/A
.....
(if yes, provide details)

Received
13/04/2023

PLANNING APPLICATION

Applicant / owner details

Applicant: DESIGN TO LIVE

Signature of Applicant:  Date: 05/04/2023

Applicant's Details:

Postal address: 202 WELLINGTON STREET, SOUTH LAUNCESTON

Phone: 63447319 Mobile:

E-mail: denika @ designtolive.com.au

I agree to receive communication regarding this application via email (please tick)

Name of Owner/s of subject site: JID CONSTRUCTIONS PTY LTD

(as per certificate of title)

(If the subject site is Crown land, owned by the Council or administered by the Council or the Crown, the application must be signed by either the responsible Minister of the Crown (or the Minister's delegate) or by the General Manager of the Council, and must be accompanied by written permission of that Minister or general manger to the making of the application.)

If the proposal involves works to an existing access or a new access the application must be signed by either the responsible Minister of the Crown (or the Minister's delegate) or by the General Manager of the Council and must be accompanied by the written permission of that Minister or general manager to the making of the application.

Owner's postal address:

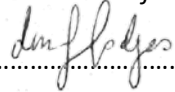
Owner's email address: sam@lestas.com.au

As the owner of the land, I consent to the application being submitted,

Signed: Date:

OR

As the applicant, I declare that I have notified the owner of the application

Signed:  Date: 05/04/2023

Right of Way:

If the subject site is accessed via a right of way, the owner of the ROW must also be notified of the application.

Name of Owner/s of ROW:

ROW Owner's Postal Address:

As the applicant, I have notified the owner of the ROW of the application

Signed: Date:
(attach extra page if required)

Office use only:

Paid \$..... Date: Receipt No: (Code 01)

Ref: P1...../ Discretionary / Permitted / No Permit Required

Received
13/04/2023**Attachments:**

- Site plan (A4 or A3) showing:**
 - new buildings, works and alterations
 - north point, relative site and floor levels
 - lot boundaries, contours, road frontages, rights of way, easements and any services over the land
 - location of any existing buildings or structures on the land or adjoining lots
 - existing natural features such as trees, watercourses etc
 - items to be demolished, areas to be cut and filled
 - vehicle access points to roads and provisions for car parking & manoeuvring
 - provision of open space, including gradients, dimensions, access and adjoining open spaces
 - provisions for drainage
 - a completed environmental supplement for commercial or industrial developments
- Adequate information to fully explain proposal, its intent, compatibility with environs & justification for any variation of Scheme provisions**
- Locality plan showing:**
 - nearby streets
 - nearby buildings & features
- Landscape plans & elevations (A4 or A3) showing:**
 - existing vegetation
 - proposed plantings
 - trees to be removed or land clearing and measures to prevent site soil erosion / pollution
- Proposal plans/drawings (A4 or A3) showing:**
 - floor plan (inc area in m²)
 - building elevations (inc heights of building)
 - external materials and proposed colour scheme
 - type and colour and construction materials on all external surfaces
 - details of external lighting including the location, direction and strengths of external lights and proposed baffle devices
 - details of signage required
- Consent of the property owner;**
- Copy of title plan & easements** (available from Service Tas)
- Other reports** (eg engineering)
- Fees**
Application fees are based on estimates provided by the applicant when the planning application is made – an adjustment may be levied when a project cost is provided at building application stage.

Applications may be emailed to Planning@nmc.tas.gov.au, and application fees may be paid over the phone to Council's receptionist.

PRIVACY STATEMENT

The Northern Midlands Council abides by the *Personal Information Protection Act 2004* and views the protection of your privacy as an integral part of its commitment towards complete accountability and integrity in all its activities and programs.

Collection of Personal Information: The personal information being collected from you for the purposes of the *Personal Information Protection Act, 2004* and will be used solely by Council in accordance with its Privacy Policy. Council is collecting this information from you in order to process your application.

Disclosure of Personal Information: Council will take all necessary measures to prevent unauthorised access to or disclosure of your personal information. External organisations to whom this personal information will be disclosed as required under the *Building Act 2016*. This information will not be disclosed to any other external agencies unless required or authorised by law.

Correction of Personal Information: If you wish to alter any personal information you have supplied to Council please telephone the Northern Midlands Council on (03) 6397 7303. Please contact the Council's Privacy Officer on (03) 6397 7303 if you have any other enquires concerning Council's privacy procedures.




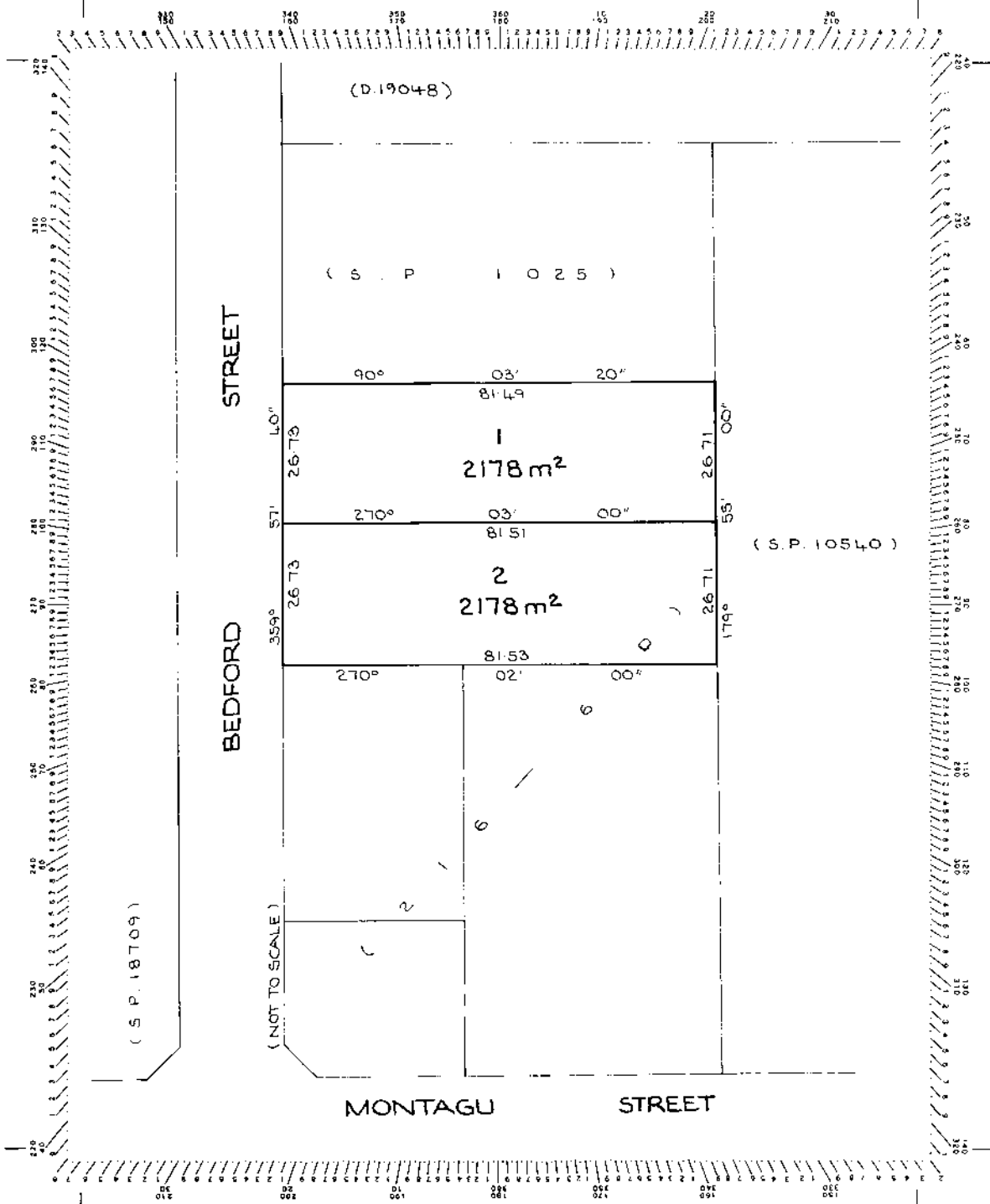
FOLIO PLAN
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



(3(2)) 62/49

Owner MAXWELL JOHN HILLS	PLAN OF SURVEY by Surveyor R. V. TAIT OF COHEN AND... of land situated in the ASSOCIATES PTY LTD TOWN OF CAMPBELL TOWN SECTION AF SCALE 1:750 MEASUREMENTS IN METRES	Registered Number.
Title Reference CT VOL 2219 FOL 27.		SP51969 Approved Effective from: 23 DEC 1991  Recorder of Titles
Grantee: PART OF LOTS 3A 3B 33P TIMOTHY DONOVAN - PUR		





24 August 2023

Northern Midlands Council
PO Box 156
Longford Tas 7301

To whom it may concern,

I Maree Bricknell, Acting General Manager of Northern Midlands Council give consent to the making of the following application for development:

PLN23-0059 Multiple Dwellings x 6 (6 New) (Vary Density, Campbell Town SAP) at 7 Bedford Street, Campbell Town (CT51969/1) & works within Bedford Street road reservation.

Yours sincerely,



Maree Bricknell

Acting General Manager

P.O. Box 156
Longford Tas 7301

Telephone (03) 6397 7303
Facsimile (03) 6397 7331

www.northernmidlands.tas.gov.au



PROPOSED MULTIPLE DWELLINGS
7 BEDFORD STREET
CAMPBELL TOWN, 7210.



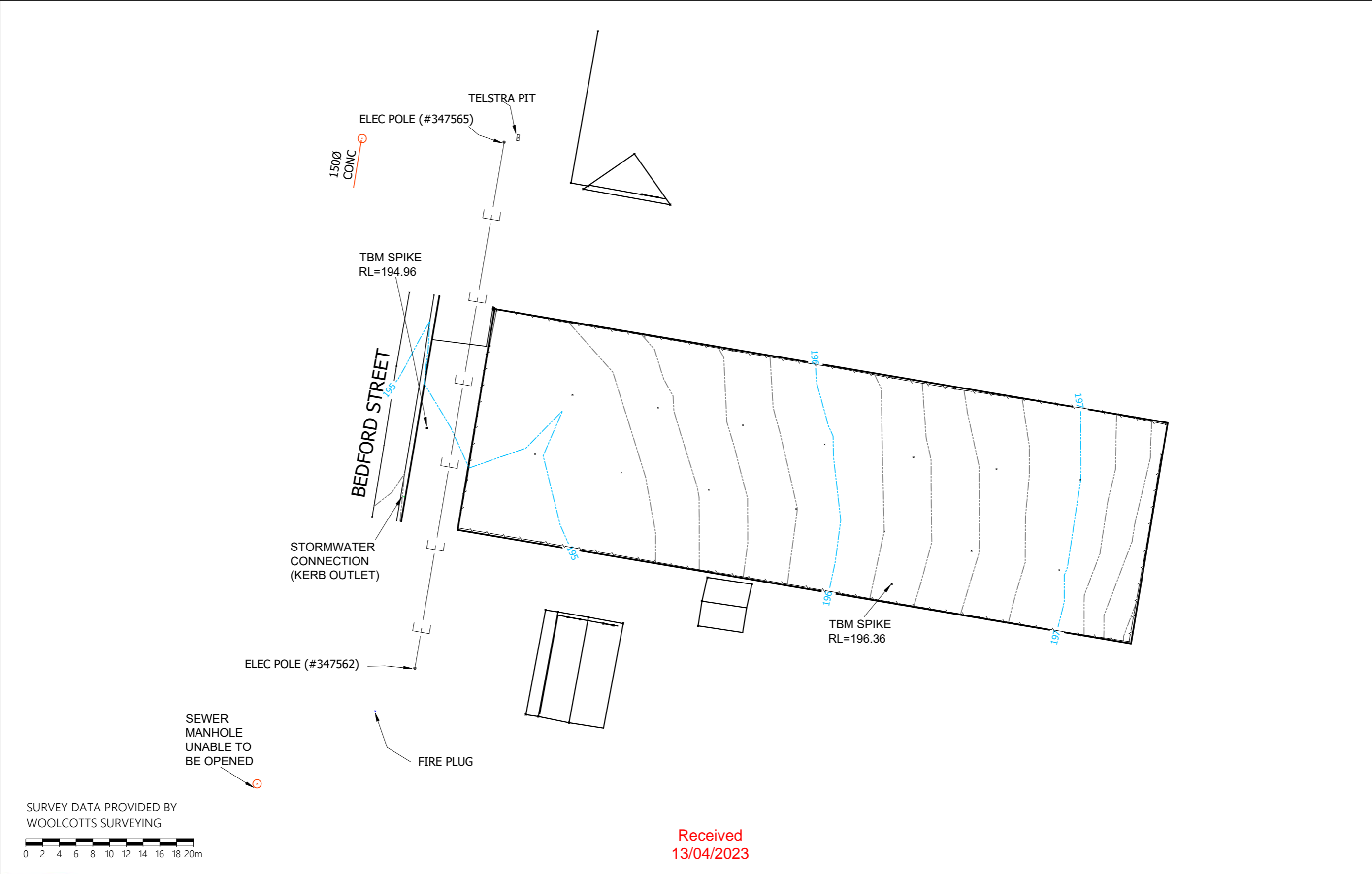
DRAWING #	DRAWING
BDFD01 -1	COVER PAGE
BDFD01 -2	SITE SURVEY PLAN
BDFD01 -3	SITE PLAN
BDFD01 -4	STRATA PLAN
BDFD01 -5	LANDSCAPE PLAN
BDFD01 -6	PARKING AND TURNING
BDFD01 -7	GROUND FLOOR PLAN
BDFD01 -8	EXTERNAL SERVICES
BDFD01 -9	ROOF PLAN
BDFD01 -10	ELECTRICAL PLAN
BDFD01 -11	ELEVATIONS
BDFD01 -12	ELEVATIONS
BDFD01 -13	SECTION
BDFD01 -14	NOTES/ WINDOW SCHEDULE
BDFD01 -15	PERSPECTIVES
BDFD01 -16	CONSTRUCTION NOTES 1
BDFD01 -17	CONSTRUCTION NOTES 2


COUNCIL	ZONE	ENERGY STAR RATING	TBC
NORTHERN MIDLANDS (m ²)	GENERAL RESIDENTIAL	BAL RATING	12.5
UNIT 1 54.00	LAND TITLE REFERENCE 51969/1	DESIGN WIND CLASS	TBC
UNIT 2 54.00	PROPERTY ID 9251336	SOIL CLASSIFICATION	TBC
UNIT 3 54.00	LOT SIZE (M ²) 2178	CLIMATE ZONE	7
UNIT 4 54.00	PLANNING OVERLAY CAMPBELLTOWN SPECIFIC AREA PLAN	ALPINE AREA	N/A
UNIT 5 54.00	SITE HAZARDS BUSHFIRE PRONE AREA	CORROSION ENVIRONMENT	N/A
UNIT 6 54.00			

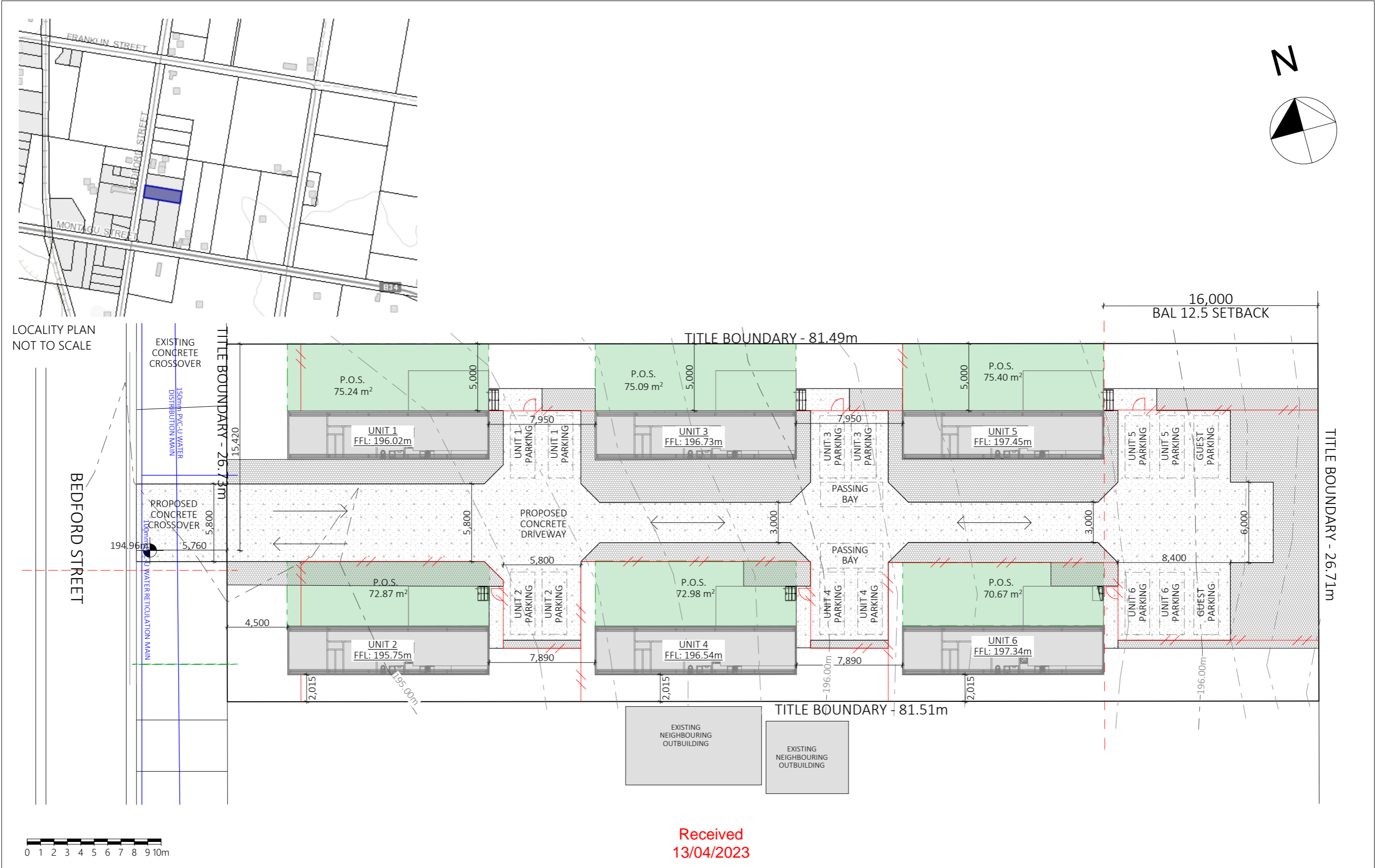
ATTACHMENTS

Received
13/04/2023

ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: JID CONSTRUCTIONS PTY LTD	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.		COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BDFR01
	SITE ADDRESS: 7 BEDFORD STREET, CAMPBELL TOWN, 7210.		SIGNATURE:	DATE:		R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	1/17
			SIGNATURE:	DATE:					CHECKED	M.L.	SCALE (@A3)	NTS



 <p>ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au</p>	<p>CLIENT/S: JID CONSTRUCTIONS PTY LTD</p>	<p>DRAWING SITE SURVEY PLAN</p>	<p>I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.</p>	<p>COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.</p>	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BDFR01
							DRAWN	D.M.	DRAWING	2/17	
							CHECKED	M.L.	SCALE (@A3)	1:400	



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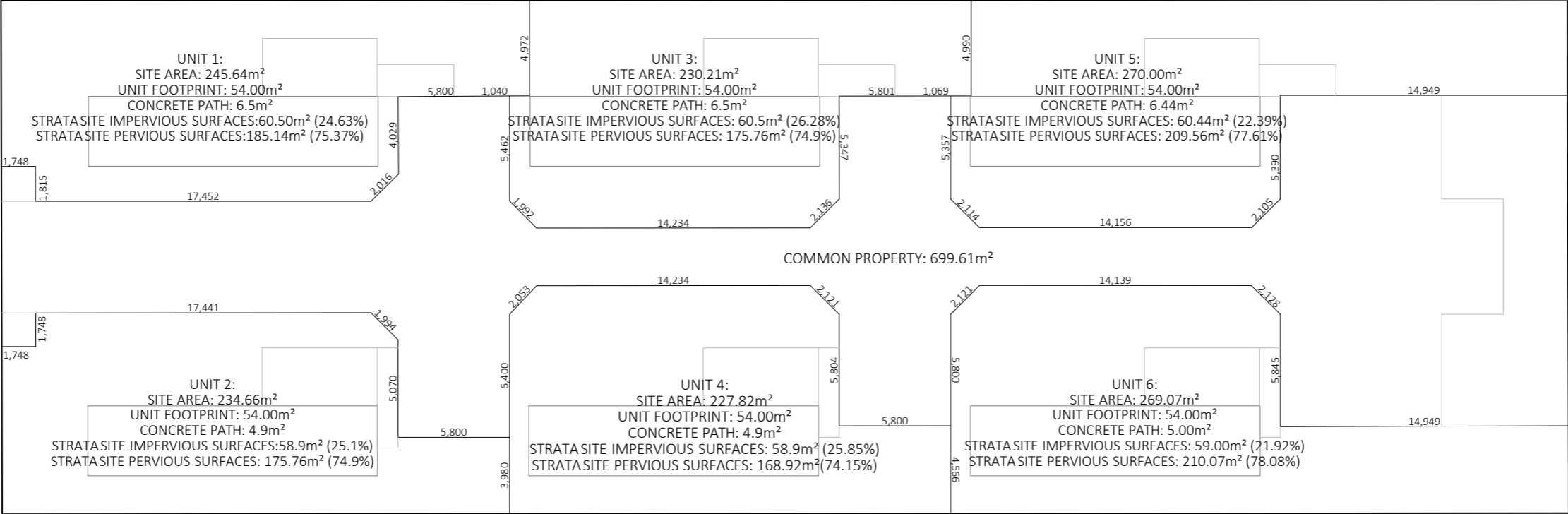
DRAWING
SITE PLAN

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BDFR01
R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	3/17
			CHECKED	M.L.	SCALE (@A3)	1:250



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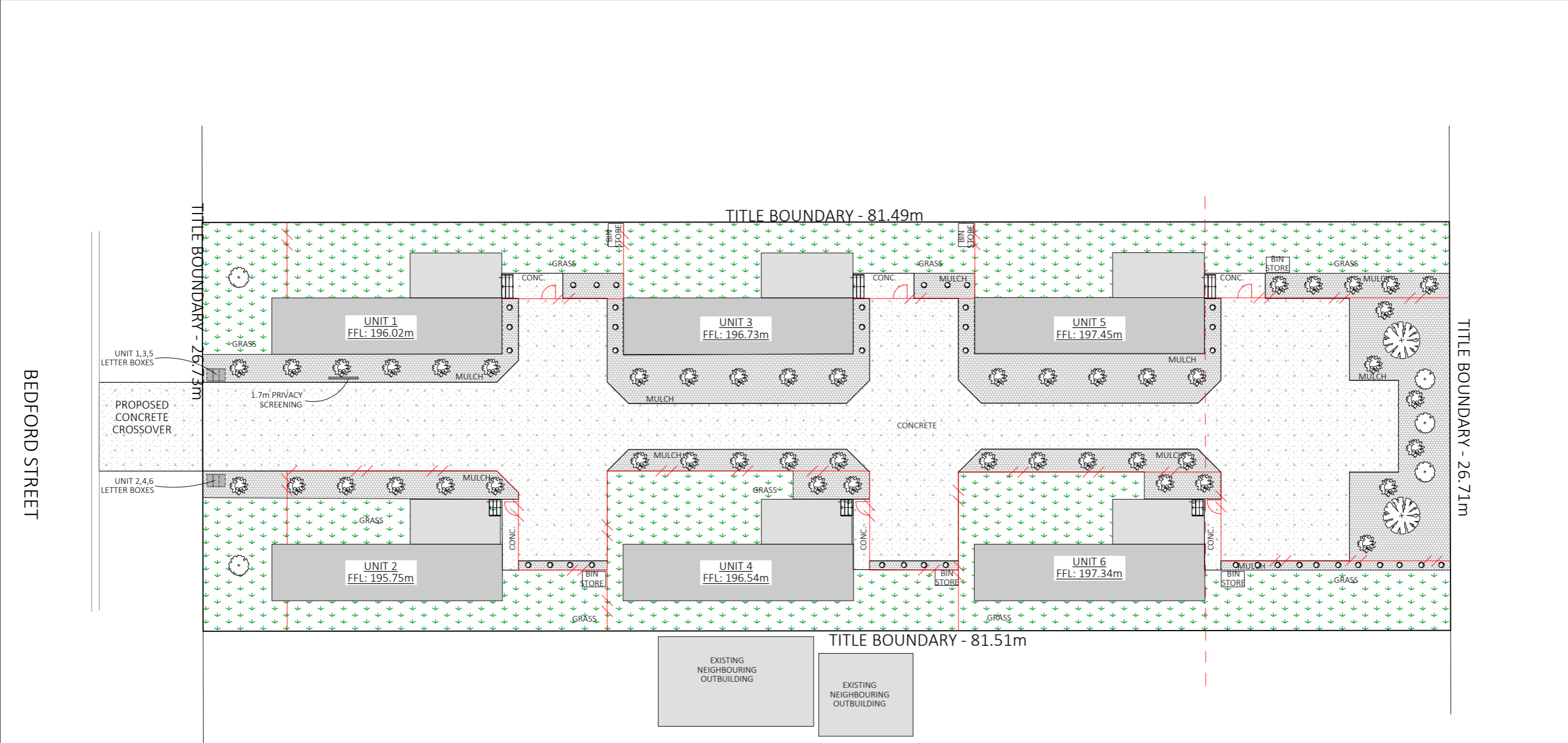
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 STRATA PLAN

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R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	4/17
			CHECKED	M.L.	SCALE (@A3)	1:250



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KEY	
	WESTRINGIA MUNDI MAX MATURE HEIGHT 05m
	LITTLE JOHN 'MELALEUCA CALLISTEMON' MAX MATURE HEIGHT 1m
	NARROW-LEAFED WATTLE 'ACACIA MUCRONATA' MAX MATURE HEIGHT 2-5m
	PRICKLY BOX 'BURSARIA SPINOSA' MAX MATURE HEIGHT 4m



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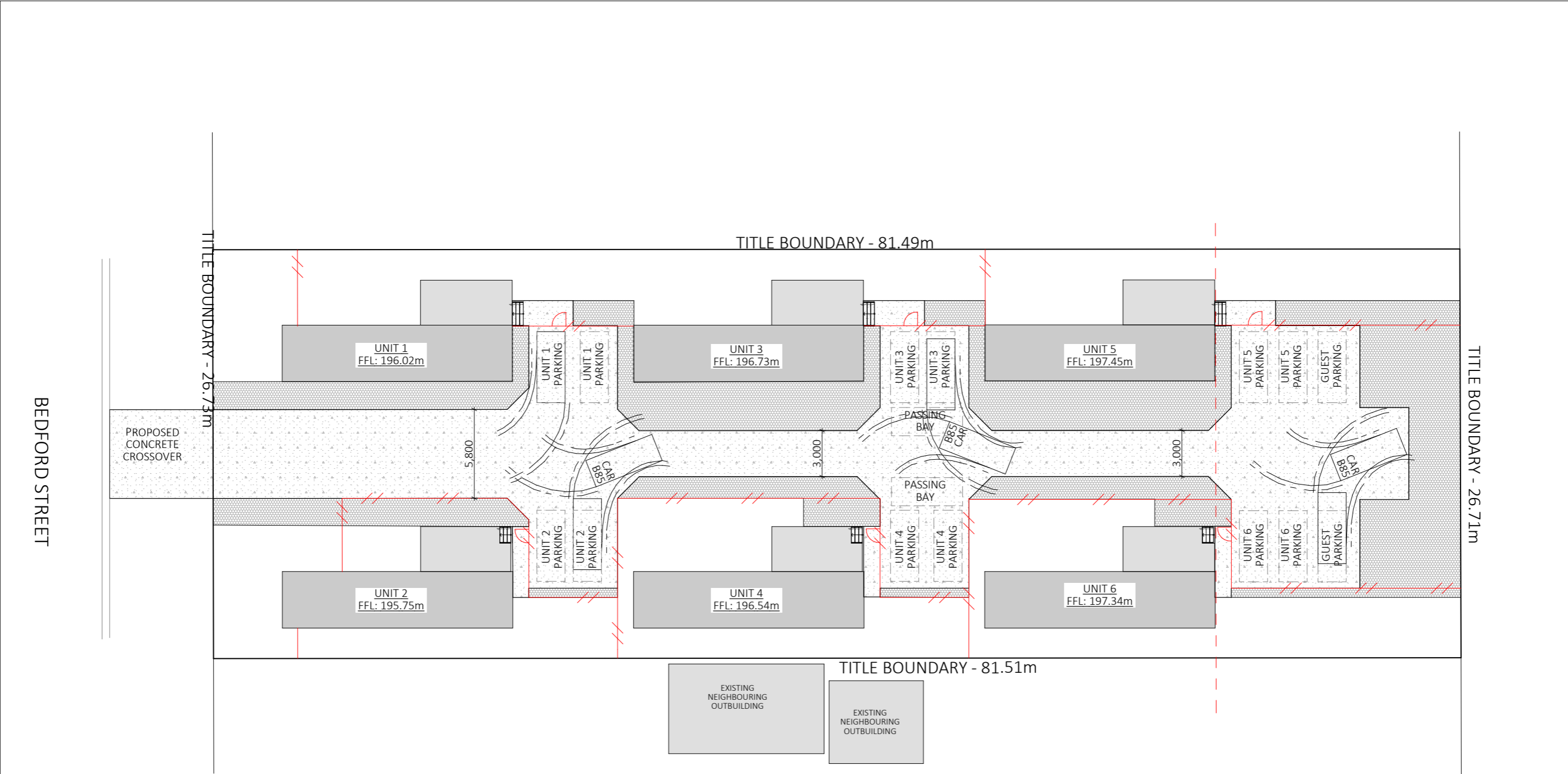
DRAWING
LANDSCAPE
PLAN

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SIGNATURE: DATE:


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R1	27/03/2023	FOR REVIEW				
			DRAWN	D.M.	DRAWING	5/17
			CHECKED	M.L.	SCALE (@A3)	1:250



- UNIT 1: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)
- UNIT 2: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)
- UNIT 3: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)
- UNIT 4: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)
- UNIT 5: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)
- UNIT 6: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)
- GUESTS: 2 x PARKING SPACES (FORWARD ENTRY/EXIT)

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	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: JID CONSTRUCTIONS PTY LTD SITE ADDRESS: 7 BEDFORD STREET, CAMPBELL TOWN, 7210.	DRAWING PARKING AND TURNING	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: DATE: SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV. R1	DATE 27/03/2023	DESCRIPTION FOR REVIEW	DESIGNER DRAWN CHECKED	M.L. D.M. M.L.	JOB NUMBER DRAWING SCALE (@A3)	BDFR01 6/17 1:250

WALL SCHEDULE:

WT1 90 x 38 ROLLED FORM GALV. METAL
REFER TO INTERNAL WALL LINING SCHEDULE.

REFER TO ELEVATIONS FOR EXTERNAL CLADDING SPECIFICATIONS

Notes:

GENERAL
REFER TO ELEVATIONS FOR EXTERNAL LININGS.
ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE.
ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.
ALL THRESHOLD PLATES TO BE COUNTERSUNK.

PAINT:
PAINT FINISH TO ALL WALL & CEILING LININGS

INSULATION REQUIREMENTS:
INSULATION TO BE INSTALLED IN ALL WALLS & CEILINGS.
INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

WALLS: R2.5 BULK INSULATION + BREATHABLE MEMBRANE
CEILING: R5.0 BULK INSULATION
FLOORS: R1.8 POLY FOAM BOARD

WALL LININGS:
INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
10mm PLASTERBOARD LINING TO ALL WALLS.
10mm MOISTURE RESISTANT PLASTERBOARD OR SUITABLE EQUIVALENT TO BE INSTALLED IN ALL WET AREAS.

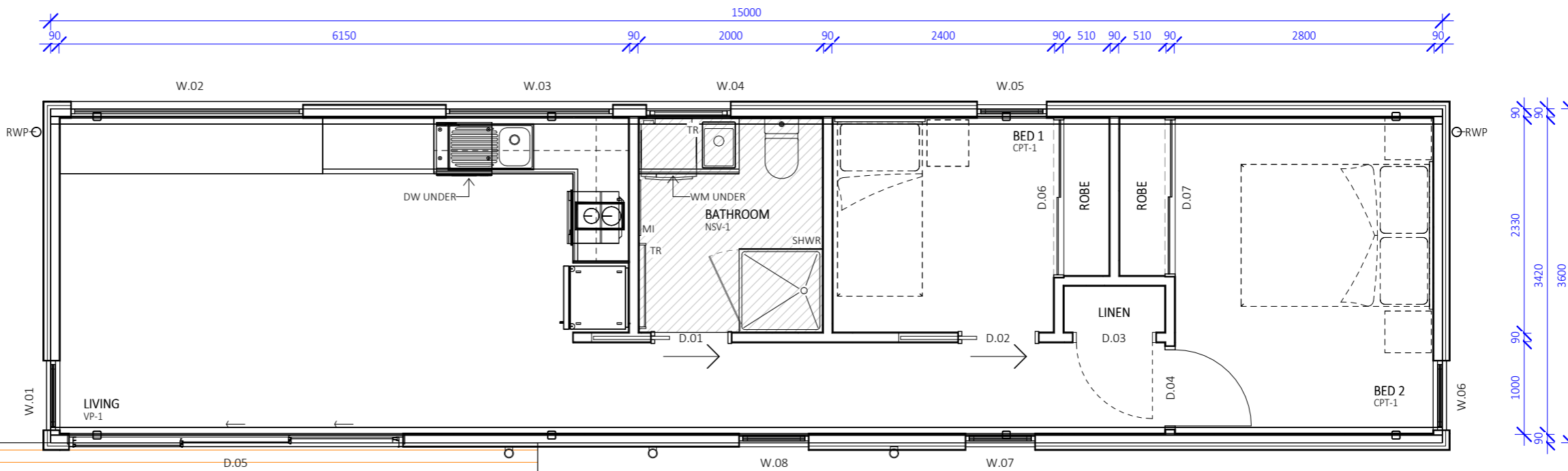
HARDWARE:
CROSS REFERENCE DOOR & WINDOW SCHEDULE WITH DOOR FURNITURE SCHEDULE BY OTHERS.
ALL DOOR HANDLE HARDWARE TO BE MOUNTED TO 1000H UP TO CENTERLINE.

CEILING LININGS:
REFER TO REFLECTED CEILING PLAN FOR ALL CEILING TYPES & SPECIFICATIONS.

FLOOR FINISHES:
VP-1: VINYL PLANK INSTALLED ON UNDERLAY - AS SPECIFIED
NSV-1: NON SLIP VINYL TYPE 1 - AS SPECIFIED
CPT-1: CARPET TYPE 1 INSTALLED ON UNDERLAY - AS SPECIFIED

JOINERY:
REFER TO SUBCONTRACTOR FOR SPECIFICATIONS.

FIXTURES & FITTINGS:
AS SPECIFIED.



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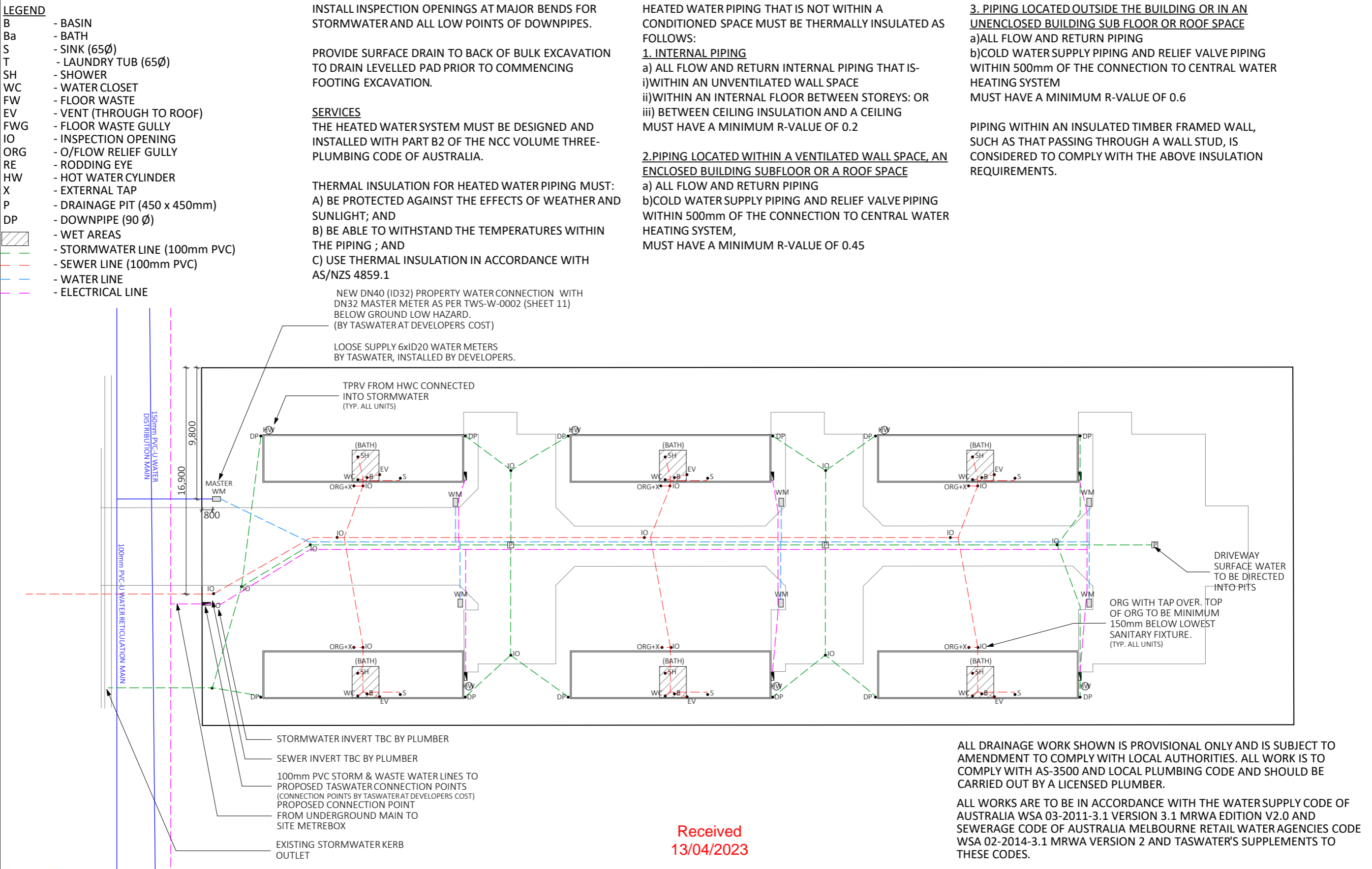
DRAWING
GROUND FLOOR
PLAN

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BDFR01
R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	7/17
			CHECKED	M.L.	SCALE (@A3)	1:50



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	<p>SITE ADDRESS: 7 BEDFORD STREET, CAMPBELL TOWN, 7210.</p>		SIGNATURE:	DATE:		R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	8/17
			SIGNATURE:	DATE:					CHECKED	M.L.	SCALE (@A3)	1:250

ROOF PLAN SCHEDULE:

ALL ROOF SHEETING, GUTTERING, DOWNPIPES & CAPPINGS / FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

ROOF TYPE: (RT- 1)
 LYSAGHT® TRIMDEK® 0.48BMT.
 REFER TO ROOF PLAN FOR ROOF PITCH

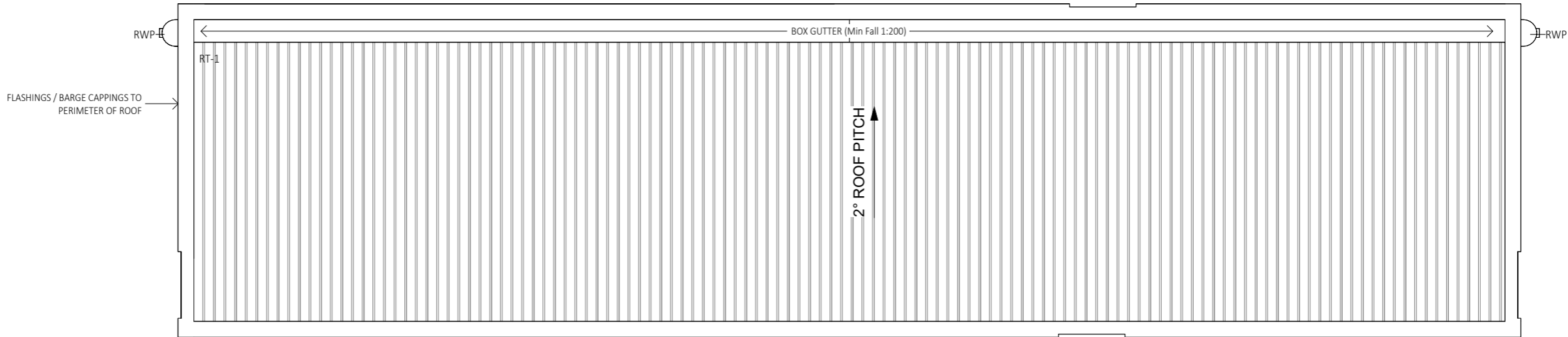
ROOF COLOUR:
 COLOURBOND® FINISH. COLOUR: MONUMENT.

GUTTER TYPE:
 FOLDED STAINLESS STEEL BOX GUTTER
 MINIMUM DIMENSION 300W X 100D

GUTTER COLOUR:
 STAINLESS STEEL

RWP TYPE:
 MIN. 90mm uPVC DOWNPIPES.

FLASHINGS / CAPPINGS:
 FLASHINGS & CAPPINGS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
 COLOUR: TO MATCH ROOF



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 JID CONSTRUCTIONS PTY LTD

SITE ADDRESS:
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 CAMPBELL TOWN, 7210.

DRAWING
ROOF PLAN

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 SIGNATURE: DATE:

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R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	9/17
			CHECKED	M.L.	SCALE (@A3)	1:50

REFLECTED CEILING SCHEDULE

- CF-1: 10mm PLASTERBOARD CEILING LINING. INSTALLED ON 16mm DIRECT FIX BATTEN SYSTEM TO MANUFACTURER'S SPECIFICATION. PAINT FINISH
- CH 2700 FINISHED CEILING LEVEL (mm)
- NOTE: ALL LOCATIONS OF SWITCHES & LIGHT FIXTURES TO BE CONFIRMED ON SITE WITH CLIENT.
- MULTIPLE LIGHT SWITCH
- SINGLE LIGHT SWITCH (2w = 2 WAY SWITCH)
- S.M.O. SMOKE ALARMS MUST BE HARDWIRED WITH BATTERY BACKUP TO COMPLY WITH PART 3.7.2 OF THE NCC 2019. ALL SMOKE ALARMS MUST BE INTERCONNECTED & LOCATED ON THE CEILINGS.
- DL RECESSED LED DOWNLIGHT (11w)
- IXL TASTIC COMBINATION LIGHT. FAN, HEAT & LIGHT UNIT (3 LAMP) 2x 275W HEAT LAMPS (NOT INCL. IN CALC). 1x 6W LED CENTRE LIGHT.
- R2.5 ACOUSTIC SOUND INSULATION IN WALLS (SHOWN DASHED)
- WIRING

Notes:

ALL FANS (INCLUDING KITCHEN RANGEHOOD) VENTED TO OUTSIDE VIA EAVES AND FITTED WITH BACKDRAUGHT DAMPERS / SHUTTERS.

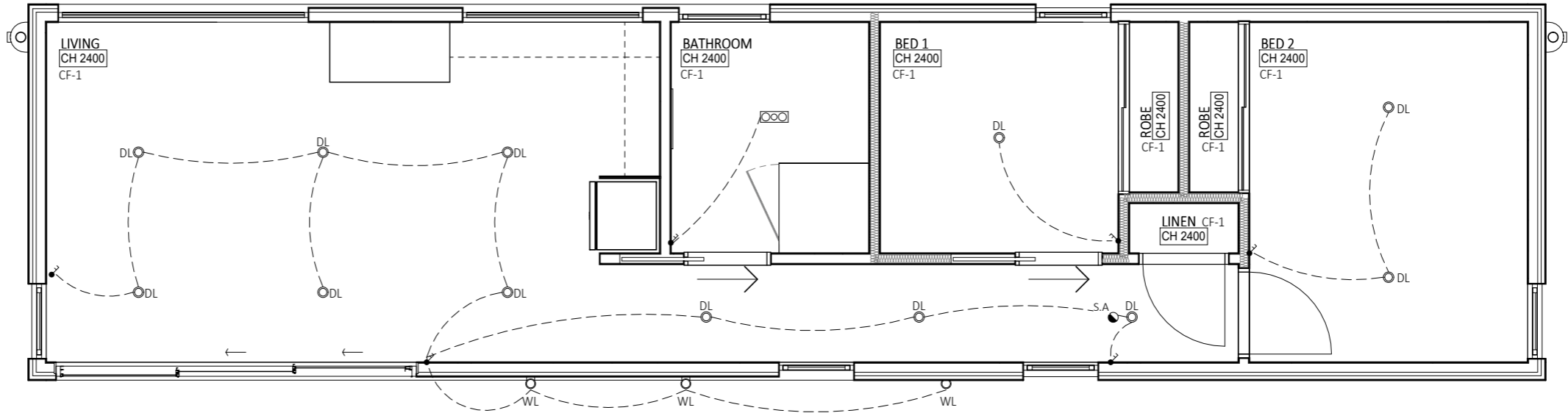
CORNICE:
ALL CEILING CORNICES TO BE SQUARE SET

DIMMER SWITCHES TO BE INSTALLED ON LIGHTS IN BEDROOMS & LIVING.

R5.0 CEILING INSULATION TO ALL CEILINGS

LIGHTING EFFICIENCY TABLE:
ALLOWANCE = 5w Per m2

Floor area = 103m2
Lighting wattage total = 221w
Lighting wattage per m2 = 2.15w/m2



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CLIENT/S:
JID CONSTRUCTIONS PTY LTD

SITE ADDRESS:
7 BEDFORD STREET,
CAMPBELL TOWN, 7210.

DRAWING
ELECTRICAL
PLAN

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SIGNATURE: DATE:

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			DRAWN	D.M.	DRAWING	10/17
			CHECKED	M.L.	SCALE (@A3)	1:50

ELEVATION SCHEDULE:

GENERAL
 ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE.
 ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.
 ALL THRESHOLD PLATES TO BE COUNTERSUNK.

CLADDING TYPE (C1):
 JAMES HARDIE™ AXON™ CLADDING
 TYPE: 133mm SMOOTH TEXTURE.
 INSTALLED TO MANUFACTURER'S SPECIFICATION ON 35mm TIMBER BATTENS.
 FINISH: DULUX® WEATHERSEILD® GLOSS.
 COLOUR: 'COLORBOND® MONUMENT®'

CLADDING TYPE (C2):
 JAMES HARDIE™ EASYLAP™ PANEL.
 TYPE: 8.5mm SMOOTH TEXTURE
 INSTALLED TO MANUFACTURER'S SPECIFICATION ON PLASTIC STRIPS OR 12mm EXPANDED POLYSTYRENE STRIPS. (REFER TO THERMAL BREAK NOTE).
 FINISH: DULUX® WEATHERSEILD® GLOSS.
 COLOUR: 'COLORBOND® NIGHT SKY®'

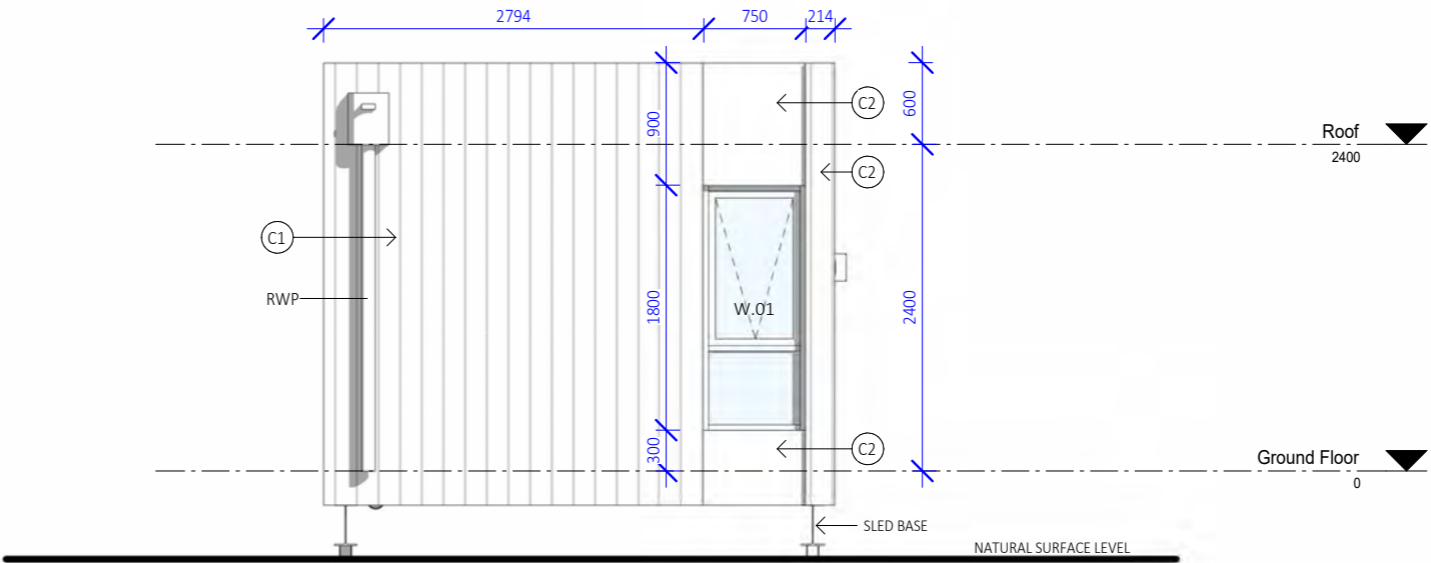
CLADDING TYPE (C3):
 JAMES HARDIE™ AXON™ CLADDING
 TYPE: 133mm GRAINED TEXTURE.
 INSTALLED TO MANUFACTURER'S SPECIFICATION ON PLASTIC STRIPS OR 12mm EXPANDED POLYSTYRENE STRIPS. (REFER TO THERMAL BREAK NOTE).
 FINISH: PAINT - INTERGRAIN® ULTRA DECK TIMBER STAIN.
 COLOUR: LIGHT OAK.

WINDOWS / DOORS:
 ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.

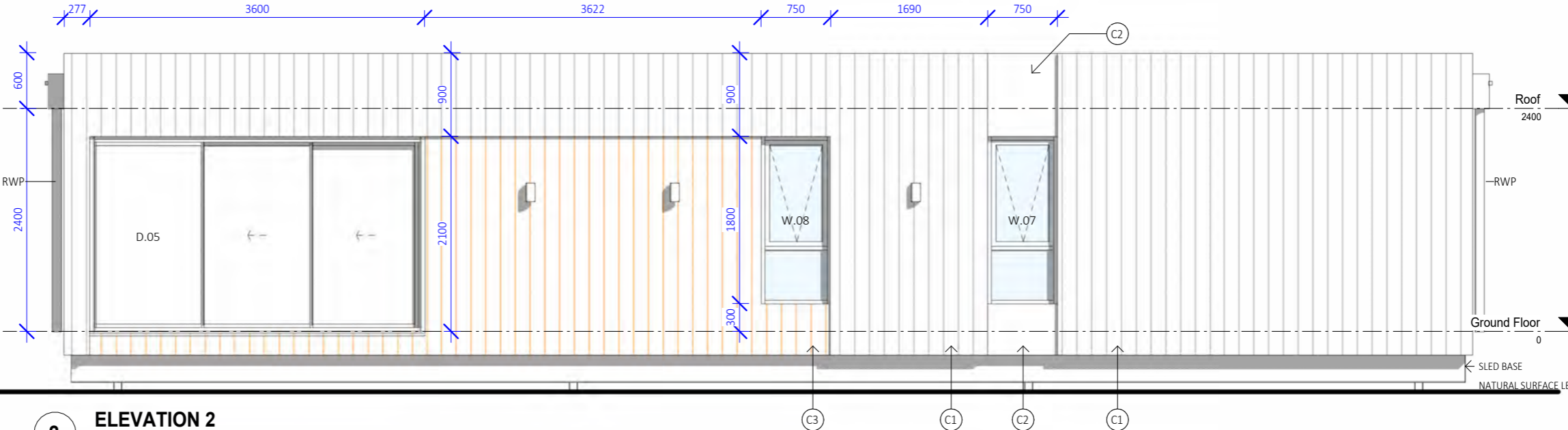
ALL EXTERNAL DOORS TO BE WEATHER STRIPPED.
 ALL FLASHINGS & FIXINGS TO MANUFACTURER'S SPECIFICATIONS.

ALL GLASS TO CONFORM TO NCC VOL 2, PART 3.6. & AS1288. INSTALLATION OF GLAZING TO BE IN ACCORDANCE WITH AS2047.

THERMAL BREAK
 A WALL THAT HAS LIGHTWEIGHT EXTERNAL CLADDING SUCH AS WEATHERBOARDS, FIBRE-CEMENT OR METAL SHEETING FIXED TO THE METAL FRAME; AND DOES NOT HAVE A WALL LINING OR HAS A WALL LINING THAT IS FIXED DIRECTLY TO THE METAL FRAME MUST HAVE A THERMAL BREAK, CONSISTING OF A MATERIAL WITH AN A-VALUE OF NOT LESS THAN 0.2, INSTALLED BETWEEN THE EXTERNAL CLADDING AND THE METAL FRAME. A THERMAL BREAK MAY BE PROVIDED BY MATERIALS SUCH AS TIMBER BATTENS, PLASTIC STRIPS OR POLYSTYRENE INSULATION SHEETING. THE MATERIAL USED AS A THERMAL BREAK MUST SEPARATE THE METAL FRAME FROM THE CLADDING AND ACHIEVE THE SPECIFIED A-VALUE. EXPANDED POLYSTYRENE STRIPS OF NOT LESS THAN 12 MM THICKNESS AND TIMBER OF NOT LESS THAN 20 MM THICKNESS ARE DEEMED TO ACHIEVE AN A-VALUE OF NOT LESS THAN 0.2. THE A-VALUE OF THE THERMAL BREAK IS NOT INCLUDED WHEN CALCULATING THE TOTAL R-VALUE OF THE WALL, IF THE THERMAL BREAK IS ONLY APPLIED TO THE METAL FRAME.



1 ELEVATION 1
1 : 50



2 ELEVATION 2
1 : 50

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DRAWING ELEVATIONS

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R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	11/17
			CHECKED	M.L.	SCALE (@A3)	1:50

ELEVATION SCHEDULE

GENERAL
 ALL DIMENSIONS SHOWN TO BE CONFIRMED ON SITE.

ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.

ALL THRESHOLD PLATES TO BE COUNTERSUNK.

CLADDING TYPE (C1):
 JAMES HARDIE™ AXON™ CLADDING
 TYPE: 133mm SMOOTH TEXTURE.
 INSTALLED TO MANUFACTURER'S SPECIFICATION ON 35mm TIMBER BATTENS.
 FINISH: DULUX® WEATHERSEILD® GLOSS.
 COLOUR: 'COLORBOND® MONUMENT®'

CLADDING TYPE (C2):
 JAMES HARDIE™ EASYLAP™ PANEL.
 TYPE: 8.5mm SMOOTH TEXTURE
 INSTALLED TO MANUFACTURER'S SPECIFICATION ON PLASTIC STRIPS OR 12mm EXPANDED POLYSTYRENE STRIPS. (REFER TO THERMAL BREAK NOTE).
 FINISH: DULUX® WEATHERSEILD® GLOSS.
 COLOUR: 'COLORBOND® NIGHT SKY®'

CLADDING TYPE (C3):
 JAMES HARDIE™ AXON™ CLADDING
 TYPE: 133mm GRAINED TEXTURE.
 INSTALLED TO MANUFACTURER'S SPECIFICATION ON PLASTIC STRIPS OR 12mm EXPANDED POLYSTYRENE STRIPS. (REFER TO THERMAL BREAK NOTE).
 FINISH: PAINT - INTERGRAIN® ULTRA DECK TIMBER STAIN.
 COLOUR: LIGHT OAK.

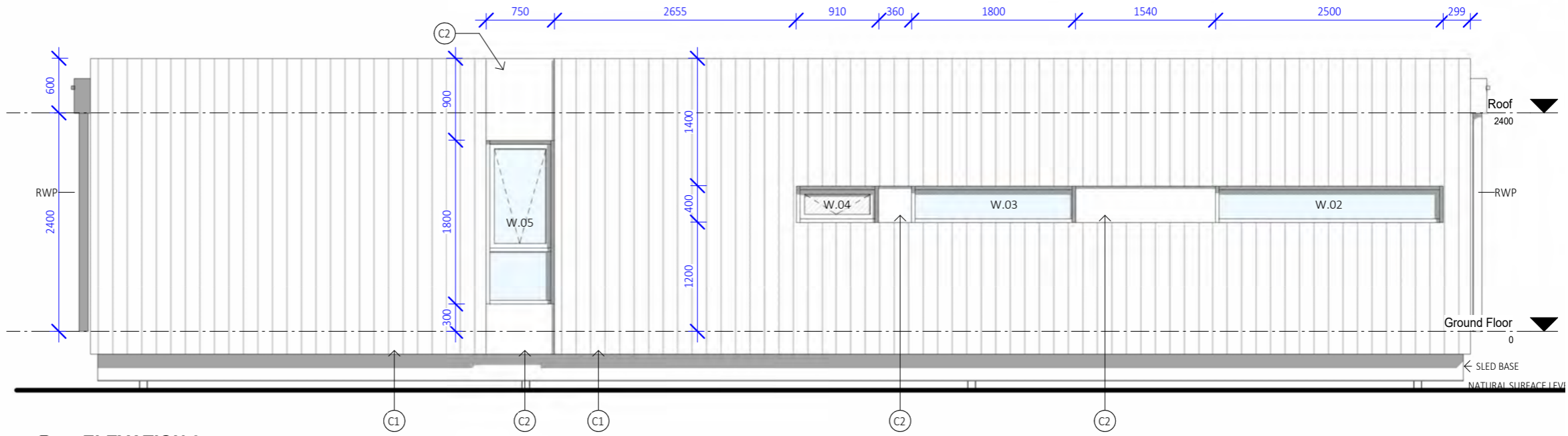
WINDOWS / DOORS:
 ALL ALUMINIUM FRAMES TO BE POWDER-COATED FINISH - COLOUR: MONUMENT.

ALL EXTERNAL DOORS TO BE WEATHER STRIPPED.

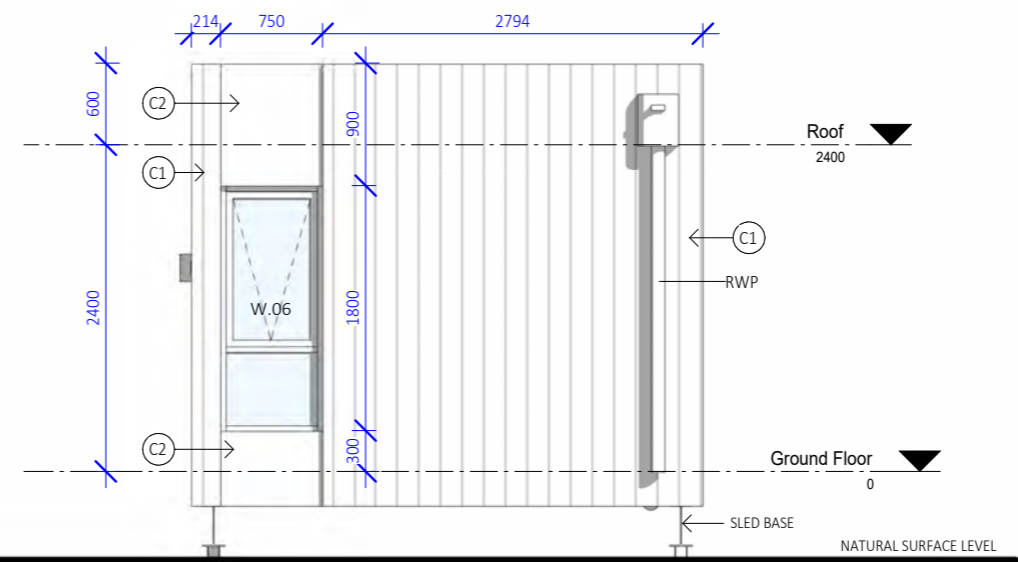
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THERMAL BREAK
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1 ELEVATION 3
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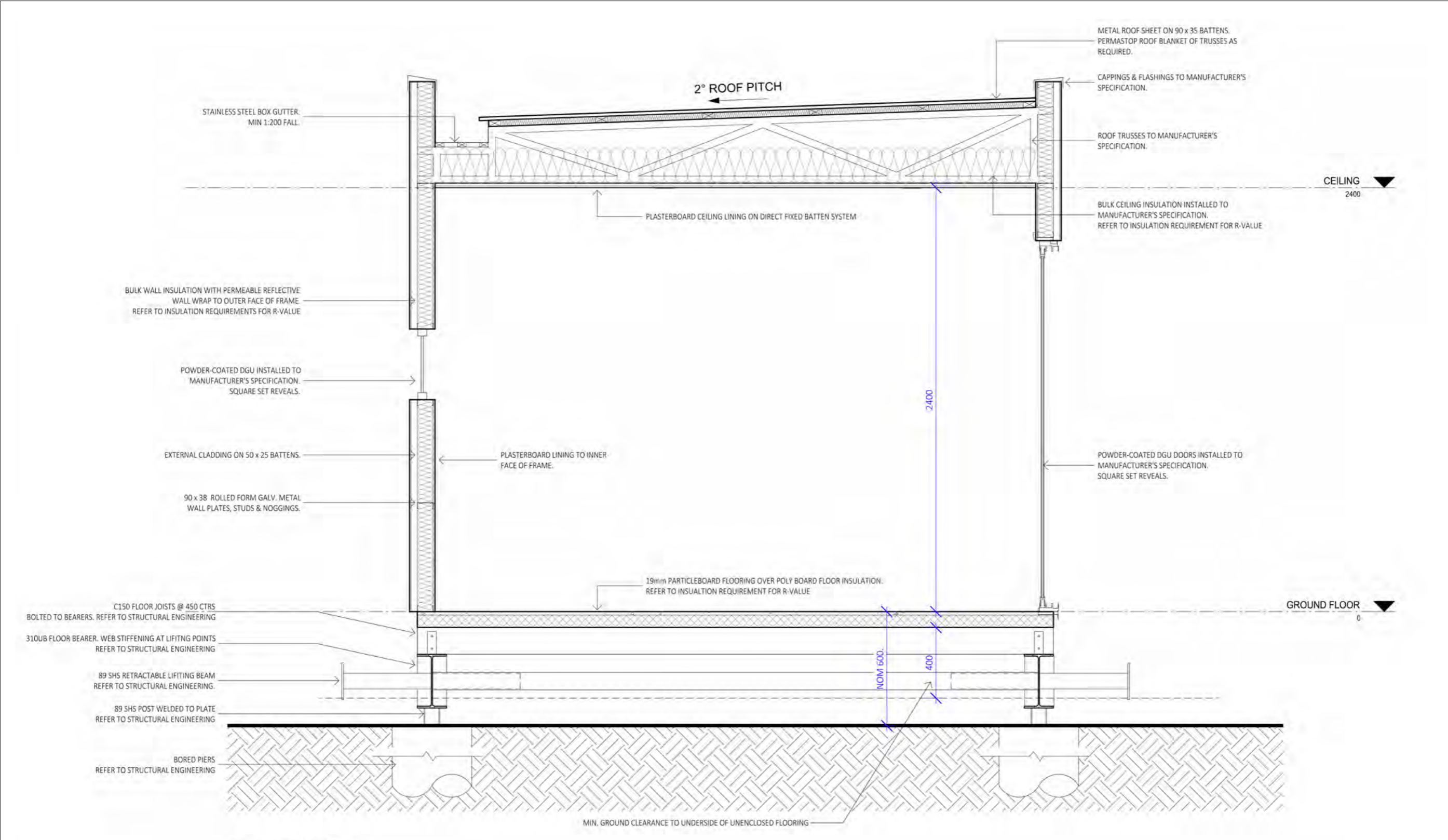
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							CHECKED	M.L.	SCALE (@A3)	1:20	

Table 3.8.1.1 Waterproofing and water resistance requirements for building elements in wet areas

Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (enclosed and unenclosed)					
With hob	Waterproof floor in shower area (including any hob or step-down)	(a) Waterproof all walls in shower area to a height the greater of— (i) not less than 150 mm above floor substrate; or (b) not less than 25 mm above maximum retained water level and	Waterproof wall junctions within shower area.	Waterproof wall / floor junctions within shower area.	Waterproof penetrations in shower area.
With step-down		(b) Water resistant walls in shower area to not less than 1800 mm above finished floor level of the			
Without hob or step-down					
Vessels or area where the fixture is installed					
With preformed shower base	N/A	Water resistant walls in shower area to not less than 1800 mm above finished floor level of the show.	Waterproof wall junctions within shower area.	Waterproof wall / floor junctions within shower area.	Waterproof penetrations in shower area.
Area outside shower area					
For concrete and compressed fibre-cement sheet flooring	Water resistant floor of the room.	N/A	N/A	Waterproof wall / floor junctions	N/A
For timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room.				
Areas adjacent to baths and spas					
For concrete and compressed fibre-cement sheet flooring	Water resistant floor of the room.	(a) Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions within 150 mm above a vessel for the extent of the vessel.	Water resistant wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
For timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room.	(a) Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions, within 150 mm above a vessel for the extent of the vessel.	Water resistant wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
Inserted baths and spas	(a) Waterproof shelf area, incorporating waterstop under the bath lip. (b) No requirement under bath.	(a) Waterproof to not less than 150 mm above the lip of the bath or spa, and (b) No requirement under bath.	(a) Waterproof junctions within 150 mm above bath or spa; and (b) No.	N/A	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
Vessels or area where the fixture is installed					
Laundries and WCs	Water resistant floor of the room	N/A	N/A	Water resistant wall / floor junctions.	N/A
Other areas					
Walls adjoining other vessels (e.g. sink, basin or laundry tub)	N/A	Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.	Waterproof wall junctions where a vessel is fixed to a wall.	N/A	Waterproof tap and spout penetrations where they occur in surfaces required to be waterproof or water resistant.

Door Schedule

Mark	Rough Opening (HxW)	Leaf Size (HxW)	Operation	Comments
01	2100 x 870		CAVITY SLIDER	
02	2100 x 870		CAVITY SLIDER	
03	2100 x 900	2040 x 820	HINGED	
04	2100 x 900	2040 x 820	HINGED	
05	2100 x 3600		DSTACK	DGU, POWDER-COATED ALUMINIUM
06	2100 x 1100		SLIDING ROBE	
07	2100 x 1100		SLIDING ROBE	

Window Schedule

Mark	Height x Width	Operation	Comments
01	1800 x 750	Fix / Awn	DGU, POWDER-COATED ALUMINIUM, SQUARE SET
02	400 x 2500	Fix	DGU, POWDER-COATED ALUMINIUM, SQUARE SET
03	400 x 1800	Fix	DGU, POWDER-COATED ALUMINIUM, SQUARE SET
04	400 x 910	Awn	DGU, POWDER-COATED ALUMINIUM, FROSTED GLASS, SQUARE SET
05	1800 x 750	Fix / Awn	DGU, POWDER-COATED ALUMINIUM, SQUARE SET
06	1800 x 750	Fix / Awn	DGU, POWDER-COATED ALUMINIUM, SQUARE SET
07	1800 x 750	Fix / Awn	DGU, POWDER-COATED ALUMINIUM, SQUARE SET
08	1800 x 750	Fix / Awn	DGU, POWDER-COATED ALUMINIUM, SQUARE SET

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DRAWING
 NOTES/
 WINDOW
 SCHEDULE

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			CHECKED	M.L.	SCALE (@A3)	NTS

DO NOT SCALE DRAWINGS

ALL DIMENSIONS IN MILLIMETRES, UNLESS OTHERWISE SPECIFIED. CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK. ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES. ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS. ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES. ALL PLUMBING AND DRAINAGE TO COMPLY WITH AS3500 AND LOCAL COUNCIL PLUMBING REQUIREMENTS. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

SITE WORKS

SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE. SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS. EXCAVATION AND FILLING OF THE SITE TO BE IAW NCC VOL 2. PART 3.1 AND AS 2870. DRAINAGE WORKS TO BE IAW NCC VOL 2. PART 3.1.2 AND AS/NZS 3500.3.2 & 3500.5. FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000 AT 1:20 MINIMUM AND TO A POINT WHERE PONDING WILL NOT OCCUR. FINISHED SLAB LEVEL TO BE 150 ABOVE FINISHED GROUND LEVEL OR 50 ABOVE PAVED SURFACES.

FOUNDATION AND SLAB

FOOTINGS, FOUNDATION & SLAB TO BE STRICTLY TO STRUCTURAL ENGINEERS DESIGNS AND SPECIFICATIONS.

ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE INSPECTED AND APPROVED BY BUILDING INSPECTOR AND/OR ENGINEER BEFORE ANY CONCRETE IS POURED. DAMP PROOF COURSE TO EXTEND 150MM ABOVE GROUND LEVEL. REFER TO SOIL REPORT FOR CLASSIFICATION.

STEEL WORK

REFER TO ENGINEERS SPECIFICATION/DRAWINGS.

WALL FRAMING

HARDWOOD MINIMUM STRESS GRADE F17, S3 STRENGTH GROUP J2 JOINT GROUP. SOFTWOOD MINIMUM STRESS GRADE MGP10,SD6 STRENGTH GROUP, JD4 JOINT GROUP. ALL TIMBER FRAMING TO COMPLY WITH AS1684.2-2010, NCC VOL 2. PART 3.4, ANY ENGINEERS DETAILS, MATERIAL SUPPLIERS SPECIFICATIONS AND LOCAL COUNCIL REQUIREMENTS. ALL NUTS AND BOLTS TO BE PROVIDED WITH WASHER. BOLT HOLES TO BE 2MM OVERSIZED IN UNSEASONED TIMBER. ALL EXTERNAL BOLTS, NUTS AND WASHERS TO BE GALVANIZED. TIMBER STUDS: 90X35 MPG 10 STRUC. PINE OR 90X35 F17 HWD AT 450crs. TOP AND BOTTOM PLATES AND NOGGINS: 90X35 MPG STRUC. PINE OR 90X35 F17 HWD. WALL BRACING AND TIE-DOWN OF TIMBER CONSTRUCTION TO ENGINEER'S DETAILS. ROOF TRUSSES AT 900crs MAX. DESIGNED, INSTALLED AND BRACED IAW MANUFACTURES SPECIFICATIONS.

ROOF AND WALL CLADDING

GENERALLY IAW NCC VOL 2. PART 3.5 ANY EXTERNAL TIMBER, TREADED PINE AND WESTERN CEDAR CLADDING TO BE FIXED IAW MANUFACTURERS SPECIFICATION. VAPOUR PERMEABLE SARKING TO BE PROVIDED AS PER DETAILS. WALL CLADDING TO BE IAW NCC VOL 2. PART 3.5.3 & MANUFACTURERS SPECIFICATIONS. FLASHINGS TO NCC VOL 2. PART 3.5.3.6. ROOF CLADDING TO BE INSTALLED STRICTLY IAW MANUFACTURES SPECIFICATIONS IAW NCC VOL 2. PART 3.5.1.3 AS 1562.1.

FASCIA, GUTTERS AND DOWNPIPES

COLORBOND METAL FASCIA, GUTTERING AND FLASHINGS INSTALLED IAW MANUFACTURERS SPECIFICATIONS. GUTTERS AND DOWNPIPES GENERALLY TO BE IAW NCC VOL 2. PART 3.5.2 & AS/NZS 3500.3.2 & THE TASMANIAN PLUMBING CODE. EAVE GUTTERING TO HAVE CROSS SECTION AREA OF 6500MM2. BOX GUTTING TO HAVE CROSS SECTION AREA OF 7900MM2. DOWNPIPES PAINTED TO CLIENTS REQUIREMENTS AND FIXED WITH WALL BRACKETS AT BEGINNING AT DOWNPIPE ELBOW, TO BE 90MM DIA AT MAX, 12,000CRS AND TO BE WITH IN 1200 OF INTERNAL GUTTER TO COMPLY WITH NCC VOL 2. PART 3.5.2.4. DOWNPIPES MUST NOT SERVE OVER 12M OF GUTTER. LAP GUTTERING 75MM IN DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. TAKE 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES AND LAPPED 150mm IN DIRECTION OF FLOW.

FIT OUT SCHEDULE

10mm PLASTERBOARD LINING TO WALLS AND CEILING WITH SQUARE SET WALL/CEILING JOINTS TO ALL AREAS, UNLESS STATED OTHERWISE IN SPECIFICATION. CEILING PLASTER FITTED TO METAL FURRING CHANNEL AT 450crs. VILLABOARD TO WET AREAS TO MANUFACTURERS SPECS AND TO COMPLY WITH 3.8 OF THE NCC VOL 2. ALL DOORS, WINDOWS, ARCHITRAVES, SKIRTING, WALL AND FLOOR SURFACES AND ALL FITTINGS AND FIXTURES AS PRESCRIBED IN SPECIFICATION.

ELECTRICAL

ALL WIRING, LIGHTING, ELECTRICAL OUTLETS AND FIXTURES MUST BE INSTALLED BY A LICENSED PRACTITIONER. ALL LIGHTING AND ELECTRICAL FITTINGS AND FIXTURES AS PRESCRIBED BY OWNER AT TIME OF INSTALLATION.

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FIRE SAFETY

GENERALLY TO BE IAW NCC VOL 2. PART 3.7 SARKING TO HAVE A FLAMMABILITY INDEX LESS THAN 5. SMOKE ALARM INSTILLATION TO BE IAW NCC PART 3.7.5. LOCATIONS INDICATED ON THE ELECTRICAL PLAN AND ARE TO BE INSTALLED ON CEILING 300mm AWAY FROM WALL JUNCTION. HEATING APPLIANCES GENERALLY TO BE IN COMPLIANCE WITH NCC 3.7.3 AND AS 2918:2018.

CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

DWELLING TO BE CONSTRUCTED IAW AS 3959,

FIRE DANGER INDEX (FDI) = 50 (1090K)

BUSHFIRE ATTACK LEVEL (BAL) = 12.5

AIR MOVEMENT

GENERALLY IAW NCC VOL 2. PART 3.12.4

CONDENSATION MANAGEMENT

VENTILATED ROOF SPACE MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/150 OF THE CEILING SPACE FOR A ROOF PITCHED AT LESS THAN 22°. IAW NCC VOL 2. PART 3.8.7.4.

SERVICES

GENERALLY IAW 3.12.5. HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IAW AS/NZS 3500.

FACILITIES

GENERALLY TO BE IAW NCC VOL 2. PART 3.8.3. SANITARY COMPARTMENT TO HAVE A MINIMUM 1200mm BETWEEN THE CLOSEST PAN AND THE NEAREST PART OF THE DOOR WHEN CLOSED. IF NOT, LIFT OFF HINGES ARE TO BE FITTED TO SWING DOORS TO BE IAW NCC VOL 2. PART 3.8.3.3. REFER TO PLAN FOR DETAIL. VENTILATION TO BE IAW NCC VOL 2. PART 3.8.5 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FAN FOR BATHROOM/WC & KITCHEN TO BE VENTED TO VENTILATED ROOF SPACE OR OUTSIDE IF THE ROOF SPACE IS NON VENTILATED.

BUILDING SEALING

GENERALLY TO BE IAW WITH NCC VOL 2. PART 3.12.3 THE 6 STAR PROVISION ALLOWS UP TO 1% OF THE CEILING INSULATION AREA TO BE LOST TO PENETRATIONS SUCH AS CEILING FANS AND RECESSED DOWN LIGHTS. IF THIS IS EXCEEDED, THE REMAINDER OF THE INSULATION MUST BE INCREASED BY 25% AND UPWARDS DEPENDING ON ACTUAL PERCENTAGE OF PENETRATIONS. ROOF LIGHTS TO HABITABLE ROOMS TO BE FITTED WITH OPERABLE OR PERMANENT SEAL TO MINIMISE AIR LEAKAGE. EXTERNAL WINDOWS AND DOORS TO HABITABLE ROOMS/CONDITIONED SPACES TO BE FITTED WITH AIR SEAL TO RESTRICT AIR INFILTRATION. EXHAUST FANS TO HABITABLE ROOMS/ CONDITIONED SPACES TO BE FITTED WITH SELF CLOSING DAMPER OR FILTER. BUILDING ENVELOPE TO BE CONSTRUCTED TO MINIMISE AIR LEAKAGE, CONSTRUCTION JOINTS AND JUNCTIONS OF ADJOINING, SKIRTING, ARCHITRAVES AND CORNICES.



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6 - STAR ENERGY EFFICIENCY RATING
BUILDING FABRIC
 GENERALLY IAW NCC 3.12.1
 BUILDING FABRIC INSULATION TO BE FITTED TO FORM A CONTINUOUS BARRIER TO ROOF/CEILING, WALLS AND FLOORS EXCEPT AROUND SERVICES/FITTINGS (SEE BELOW - BUILDING SEALING).
 REFLECTIVE BUILDING MEMBRANE WITH MIN. 0.2 R VALUE, INSTALLED TO FORM 20MM AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING/CLADDING, FITTED CLOSELY UP TO PENETRATIONS/ OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED MIN. 150MM.
 ANY SARKING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.

ENERGY EFFICIENCY
 GENERALLY IAW NCC VOL 2. PART 3.12
 CLIMATE ZONE 7 APPLICABLE TO TASMANIA (EXCLUDING ALPINE AREAS)

EXTERNAL DOORS AND WINDOWS
 GENERALLY GLAZING TO BE IAW AS 1288 & NCC VOL 2. PART 3.6
 INSTALLATION OF GLAZING TO BE IAW AS2047
 REFER TO WINDOW SCHEDULE FOR SIZES AND TYPES.
 EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS.
 ALL EXTERNAL DOORS TO BE SOLID CORE, INCLUDING GARAGE INTERNAL DOOR.

WET AREAS
 GENERALLY WET AREA WATERPROOFING TO BE IAW AS3740 AND NCC VOL 2. PART 3.8.
 FLOOR SURFACE IN BATHROOMS, LAUNDRY AND ALFRESCO SURFACES ABOVE HABITABLE AREA, SHALL BE IMPERVIOUS TO PREVENT MOISTURE BETWEEN WALLS AND FLOORS TO BE FLASHED TO PREVENT MOISTURE PENETRATION OF WALLS.
 WATERPROOFING OF SURFACES ADJACENT TO OPEN SHOWER, INCLUDING SHOWER OVER BATH, TO EXTEND 1.5 FROM A VERTICAL LINE PROJECTED FROM SHOWER ROSE, TO A HEIGHT 1.8 ABOVE FINISHED FLOOR.
 WALL SURFACES ADJACENT TO A PLUMBING FIXTURES, BATH ETC, TO BE PROTECTED TO A HEIGHT OF 1500 ABOVE FIXTURE.
 WALL TILES OR SIMILAR USED AS A SPLASH BACK MINIMUM OF 150mm HIGH AT VANITY AND BATH.

GENERAL
 ALL EXHAUST FANS TO BE SELF CLOSING, MAX 250MM DIA
 ALL WINDOW FRAMES TO BE WEATHER STRIPPED
 ALL GAPS AND CRACKS SEALED
 DOWN LIGHTS - LED (SEALED)
 ALL GLAZING TO REFER TO NATHERS CERTIFICATE FOR MINIMUM U & SHGC VALUES.
 PLEASE NOTE R VALUES NOTED REPRESENT ADDED INSULATION AND NOT TOTAL R VALUE.
 R2.5 INSULATION ALLOWED TO CEILING PERIMETER DUE TO HEIGHT RESTRICTIONS WHERE APPLICABLE
 R2.5 INSULATION TO ALL SKYLIGHT SHAFTS (IF APPLICABLE)
 ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH AS.3999.

TABLE 3.8.1.1 WATERPROOFING AND WATER RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH WITH THE SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING WATER STOP	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH EITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH STEP DOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEP DOWN	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH EITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH PREFORMED SHOWER BASE	N/A	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH EITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNENCLOSED SHOWER AREA	WATERPROOF TO NOT LESS THAN 150MM ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 1800MM ABOVE THE FINISHED FLOOR LEVEL	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800MM ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40MM WIDTH EITHER SIDE OF THE JUNCTION	WATERPROOF ALL PENETRATIONS
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40MM	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATER PROOF ENTIRE FLOOR	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40MM	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF THE BATH ENCLOSED WITH THE FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATER PROOF ENTIRE FLOOR	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF THE BATH ENCLOSED WITH THE FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. WATERPROOF ENTIRE SHELF AREA, INCORPORATING WATER STOP UNDER THE BATH LIP AND PROJECT NOT LESS THAN 5MM ABOVE THE TILE SURFACE	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150MM ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (E.G. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75MM OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCs	WATER RESISTANT TO ENTIRE FLOOR	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25MM ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS, WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40MM	N/A

Received
13/04/2023



ACC # 371799313
 ABN. 71 615 812 747
 PH. 6344 7319
 E. info@designtolive.com.au
 W. designtolive.com.au

CLIENT/S:
 JID CONSTRUCTIONS PTY LTD
 SITE ADDRESS:
 7 BEDFORD STREET,
 CAMPBELL TOWN, 7210.

DRAWING
 CONSTRUCTION
 NOTES 2

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.
 SIGNATURE: DATE:
 SIGNATURE: DATE:

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BDFR01
R1	27/03/2023	FOR REVIEW	DRAWN	D.M.	DRAWING	17/17
			CHECKED	M.L.	SCALE (@A3)	NTS

Our ref: PLN-23-0059

12/04/2023



Denika McDonald -Hodges
202 Wellington St
LAUNCESTON 7250
By email: denika@designtolive.com.au

Dear Denika,

**Additional Information Required for Planning Application PLN-23-0059
Multiple Dwellings x 6 (6 New) (vary Site Area per Dwelling) at 7 Bedford Street, Campbell Town**

Thank you for your application. The following additional information is required.

- Dedicated private open space for each multiple dwelling is to be demonstrated as per A1 and A2 of Clause 8.4.3 on amended plans, and/or demonstrate how the proposal meets the corresponding performance criteria for each provision.
- W5 of proposed Unit 1 appears to be less than 2.5m from a shared driveway, A3/P3 of Clause 8.4.6 must be demonstrated by way of amended plans/screening details or provision of a written submission demonstrating how the proposal meet the performance criteria.
- The Campbell Town Specific Area Plan applies to the subject site. NOR-S2.7.1 P1 is to be addressed as the density of proposed multiple dwellings is less than 1:400m² and therefore does not meet the acceptable solutions.

Please note: This application has been referred today to both TasWater and Council's Works & Infrastructure Department, and should either require additional information, you will be advised in due course.

In accordance with section 51(1AC) of the *Land Use Planning and Approvals Act 1993*, the following information is required to make a valid application under clause 6.1 of the *Tasmanian Planning Scheme – Northern Midlands*

- The submitted planning application form is to be resubmitted to have the signature of applicant (noting the signature section at the top of the page is missing) and owner details to be amended as that provided does not match the priority notice information as per the current Folio Text.

This information is required under section 54 of the *Land Use Planning and Approvals Act 1993*. In accordance with section 54 (2) of the Act, the statutory period for determining the application will not recommence until the requested information has been satisfactorily supplied.

Please send any emails to planning@nmc.tas.gov.au including the reference **PLN-23-0059**.

If you have any questions, please contact me on 6397 7303, or e-mail planning@nmc.tas.gov.au

Yours sincerely

A handwritten signature in black ink that reads "Rebecca Green". The signature is written in a cursive style with a large, stylized 'R' and 'G'.

Rebecca Green
Planning Consultant

Received
13/04/2023



Mail: 202 Wellington Street, South Launceston 7249
A.B.N: 71 615 812 747
Phone: 6344 7319
Email: info@designtolive.com.au

13 April 2023

Planning Application Cover Letter

Development: Proposed Multiple Dwellings

Owner:

Address: Lot 1 (7) Bedford Street, Campbell Town

Council: Northern Midlands

Zone: General Residential

Please find below further information for the proposed Development at the above address.

NOR-S2.7.1 A1

Relies on performance criteria P1 b) (iii), site area is below acceptable solution of 400m² per dwelling. The total lot size is 2178m² which is approx. 363m² per dwelling. The development is located partly within 400m of land zoned Open Space (Zone Number 29). It is approximately walking distance from the proposed driveway of the development.

Social benefit is defined as *'the social welfare provision made available to those in need'*. Due to the nature of the development and the reduced price point in comparison to property available for purchase in the current housing market, the proposal would provide an opportunity to members of the community to purchase a home that's affordable, rather than continuing to be priced out of the market due to rising house prices and interest rates.

Regards,
Denika McDonald-Hodges
(B.EnvDes, M.Arch)

Our ref: PLN-23-0059

20/04/2023

Denika McDonald -Hodges
202 Wellington St
LAUNCESTON 7250
By email: denika@designtolive.com.au



Dear Denika,

Additional Information Required for Planning Application PLN-23-0059
Multiple Dwellings x 6 (6 New) (vary Site Area per Dwelling) at 7 Bedford Street, Campbell Town

Thank you for your additional information received 13 April 2023. The following additional information remains outstanding:

- **Council's Works & Infrastructure Department require the following additional information after reviewing your application:**

The proposed 100mm kerb connection is not sufficient to drain this property. A 150mm connection is required to the Council stormwater main, and due to capacity issues in the downstream onsite stormwater is required in accordance with Council's onsite detention policy.

Please provide an engineering plan and a stormwater report by a suitably qualified person detailing the connection to the Council stormwater system and the required onsite detention.

This information is required under section 54 of the *Land Use Planning and Approvals Act 1993*. In accordance with section 54 (2) of the Act, the statutory period for determining the application will not recommence until the requested information has been satisfactorily supplied.

Please send any emails to planning@nmc.tas.gov.au including the reference **PLN-23-0059**.

If you have any questions, please contact me on 6397 7303, or e-mail planning@nmc.tas.gov.au

Yours sincerely

A handwritten signature in black ink that reads "Rebecca Green".

Rebecca Green
Planning Consultant

Received
04/07/2023

rare.

22-24 Paterson Street
Launceston, TAS 7250

P. 6388 9200

rarein.com.au

Our Ref: 231056

30th June 2023

Design to Live
202 Wellington St
South Launceston TAS 7250

ATTENTION: D MCDONALD-HODGES

Dear Denika

PROPOSED MULTIPLE DWELLINGS – 7 BEDFORD STREET, CAMPBELL TOWN – RAI RESPONSE

This letter is provided to address Northern Midlands Council's request for additional information dated 20/04/23 for planning application PLN-23-0059.

Rare project drawings 231056-C – Council RFI – 23-06-30 are provided and are to be reviewed in conjunction with this letter.

A stormwater detention design has been detailed in the above project drawings to satisfy the conditions of council's RAI and in accordance with Northern Midlands Council's *On-Site Stormwater Detention* policy. Based on a block size of approximately 2184m² (2250m² adopted for simplicity), with an overall impervious surfaces fraction of 47.4% (conservative 50% adopted), a minimum detention storage volume of 4.65m³ is required with a permissible site discharge (PSD) of 19.73L/s.

An above ground detention storage area has been detailed to provide a minimum of 5m³ volume with an orifice of Ø107mm to be provided at the outlet to limit peak flows during the 5% AEP storm event to the PSD noted above of 19.73L/s. The maximum ponding level during this event is RL 195.075 with an overflow weir to be provided to control discharge of flows above the design storm event onto the driveway and subsequently onto Bedford Street. The lowest proposed floor level for the structures on site is RL 195.75, which is located a minimum of 300mm (675mm) above the maximum ponding level.

As requested in Council's RAI, the site drainage and detention system is proposed to connect to Council's reticulated stormwater network via the existing side entry pit located to the south of the site within Bedford Street.

Should you have any further queries please do not hesitate to contact us.

Yours Faithfully,



Jack Saunders
Civil Engineer

Distribution
– Planner
– File Copy

Denika McDonald-Hodges – denika@designtolive.com.au
Launceston

